

Legacy Park

Planned Unit Development Guidelines
Draft November 2016

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Purpose

The purpose of the Legacy Park Planned Unit Development guidelines to promote a high standard of neighborhood design and architectural quality; provide innovation and diversity in housing choices, contribute to Moreno Valley open space and recreational facilities and instal storm water control systems. The Legacy Park Plan provides two new City parks one on-site and one off-site fitness park on the adjacent property as well as paseos that connect to the Department of Water Resources (DWR) Juan Bautista De Anza bikeway/trail and the two new retaining basins. The Plan promotes recreational opportunities through the addition of these new facilities. It is further intended that the community be designed to conserve energy and water use.



Figure 1: Illustrative Site Plan

1.0 Site Planning and Design

This section includes design standards that avoid monotonous, repetitive appearances and that encourage a pleasant, pedestrian-oriented neighborhood environment. Two different lot sizes are provided to increase diversity of home types (Refer to Figure 2: Land Plan).



Legend

- 50x100 Lots (5,000 SF)
- 50x80 Lots (4,000 SF)
- Common Areas
- Basins
- Parks

Figure 2: Land Plan

1.1 Standards

Standards for Legacy Park are shown on the table below.

Table 1: Legacy Park Standards

Standards		
Minimum Lot Size	4,000 SF	5,000 SF
Number of Homes	76	145
Number of Plans	3	4
Number of Elevations	3	4
Min. Lot Width (at setback line)	50'	50'
Min. Lot Depth*	80'	100'
Typical House Width	40'	40'
Max. Building height	2-story or 35'	
Front Setbacks		
Street-facing Garage**	18'	18'
Two-story Living Space	12'	12'
Single-story Living Space	10'	10'
Porch***/ Portico	4'	4'
Rear Setbacks****		
Two-story Living Space	10'	15'
Two-story Deck	10'	15'
Single-story Living Space	5'	10'
California Rooms (has up to 3 sides)	5'	10'
Patio Cover or Trellis	5'	10'
Side Setbacks		
Typical Condition	5'	5'
Side Street	10'	10'
Min. Distance Between Living Spaces	10'	10'
Max. Coverage (including garage)	50%	50%
Note: All setbacks are considered minimums as measured from the right-of-way.		
*Except at knuckles and cul-de-sacs.		
**Garages shall be 20' along D Street and L Street.		
***Minimum porch depth shall be 6'.		
****Rear setbacks measured from lot line not landscaped easement.		

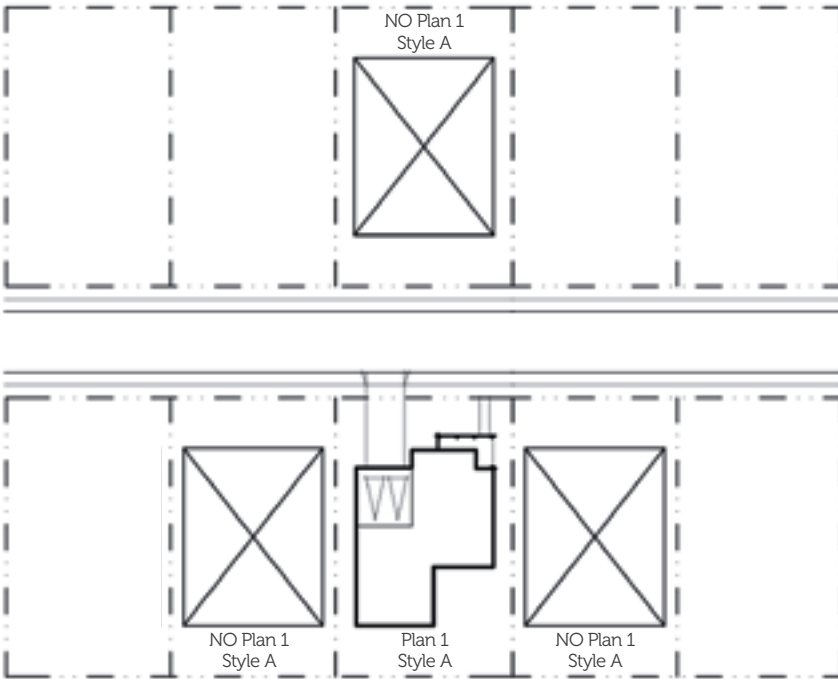


Figure 3: Plan/Elevation Style Plotting Diagram

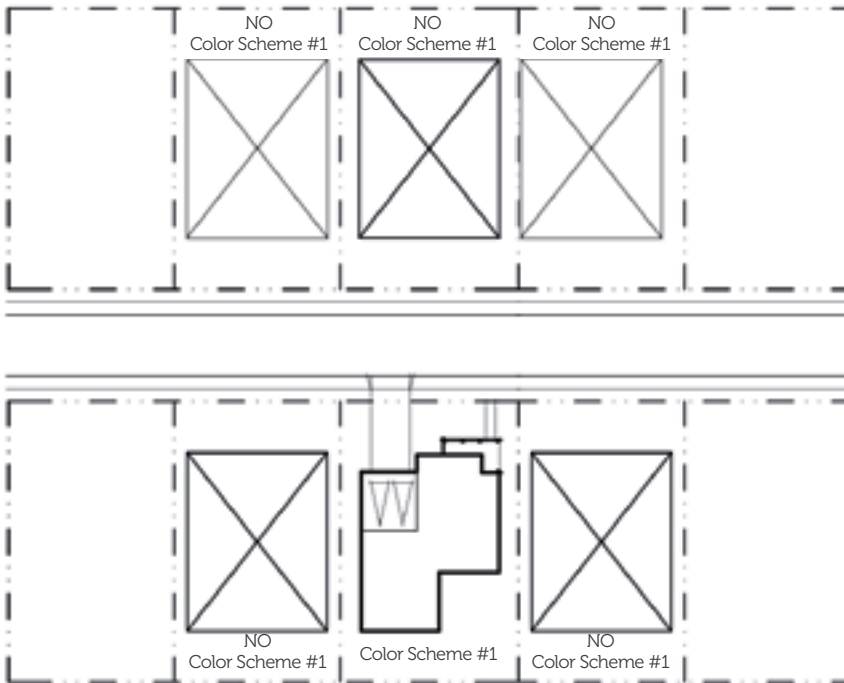


Figure 4: Color Scheme Plotting

1.2 Streetscape Diversity

In order to ensure architectural diversity above typical subdivision communities, plans should have variation in floor plans, massing and minor variations in size.

- Plot the minimum required floor plans and elevations from Table 1: Legacy Park Standards.
- Do not use a floor plan consecutively more than two (2) times in a row whether reversed or not.
- Prohibit the same plan and elevation on the lot most directly across from it and on the adjacent lots.
- Prohibit repeat of like color schemes even if on a different plan for the three (3) lots most directly across from it and on the single lot to each side of it.
- Improve opportunities for on-street parking by plotting garages next to garages and living space next to living space.
- Unless a street incline prevents otherwise, a left or right side garage may not be plotted more than 3 times in a row.

1.3 Street Activation

The living portions of the home should be the most visually interesting portion of the street scene. Home design should place entries, windows, front porches, covered terraces and living areas directly facing the street on most plan variations. Streetscape composition shall:

- Orient homes toward the street with clearly define entries.
- Provide a direct pedestrian path between the home and the sidewalk.



1.3.1 Outdoor Living

Outdoor living spaces, including porches and courtyards, activate the streetscene and promote neighbor interaction. Outdoor living spaces can also create indoor/outdoor environments to enhance livability.

A. Porches

Porches are encouraged to add architectural interest to the front of a residential structure. They help add depth to a building façade, break-up large wall masses and provide a pedestrian-friendly scale. The design of the porch shall be consistent with the architectural style. If provided, porches shall be at least 6 feet deep to accommodate seating.

B. Front Courtyards

The Spanish and Hacienda styles lend themselves to the use of front courtyards to promote social interaction. A 3½-foot high courtyard wall is permitted in the required front setback, provided there is 5-foot minimum setback from the property line to allow for landscape. The courtyard wall and gate shall have a finish material to match the architectural style, i.e. stucco, stone, wood, etc.

C. Entries

The entry shall be articulated as a focal point of the building's front elevation. Entries are encouraged to be covered or recessed in order to create a welcoming appearance, promote individuality and increase privacy. Where residences have front doors that are not visible from the street, an entry element such as a trellis, portal element, or similar architectural feature to identify the entry and a sense of arrival.



1.4 Visible Edges

Homes located along the edges of the community impact how residents and visitors view the development. Elevations facing outside edges shall provide the following:

- Main roof span shall have variety between plans (front-to-rear, side-to-side, gables and hipped roofs).
- Single-story alternative massing.
- Significant massing offset(s).
- Compatible color variety consistent with architectural style



Example of Rear Visible Edge

1.5 Garage Location and Design

Plot and reverse plans when possible so that garages and/or entries are adjacent to each other. Occasionally, break this pattern so that it will not become overly repetitious or reflect the massing directly across the street.

- Minimum 2-car garage size is 20-foot x 20-foot clear dimension with a 16-foot wide door or two single doors.
- Tandem garages recommended to be 36 feet deep.
- Only a 2-car garage space is permitted to face the street; additional garage spaces may be provided in tandem configurations.

1.5.1 Garage Doors

Garage doors are the most impactful feature of the garage. Builders are encouraged to consider the following in the design and selection of garage doors:

- Design garage door patterns consistent with the style of the home.
- Provide different style door patterns .
- Vary the inclusion of window lites.



1.6 Corner Lots

Corner lots also have high visibility and are important to design of a quality community. Typically, corner lots are wider to accommodate the side yard setback and allow for side porches. To encourage variety, more than one plan shall be used as a corner plan. Architecture on corner lots shall:

- Provide the same level of architecture as the front elevation
- Provide window details to match on side elevation.
- Create a significant massing offset.
- Where possible, expose $\frac{1}{3}$ the length of the home.
- Consider wrap around porches, courtyards, or entry doors oriented toward the side street.



2.0 Architectural Requirements

The following principles will guide the architecture to ensure quality implementation:

- Use architectural elements and details that reinforce architectural styles.
- Choose appropriate massing, roof forms and colors to define the architectural styles.
- Ensure that plans and styles provide a degree of individual identity while being compatible.

2.1 Building Form and Massing

Homes should be broken down into smaller components to reduce the massing volume. This can be achieved through a variety of architectural techniques and treatments such as:

- Varied roof forms, pitches and heights.
- Changes in materials and color.
- Offset first-story and second-story massing.
- Clearly defined entry features.



2.2 Materials & Finishes

Specific materials are identified for each architectural style within these Guidelines. The natural colors of clay, wood and slate roof tile are encouraged when using concrete tile formulations.

- Lighter materials should be placed above materials of a heavier weight.
- Use complementary building materials that promote a harmonious appearance and provide interest and variety consistent with the architectural styles.
- Where possible, use style-appropriate concrete roof tile blends; prohibit overly dramatic blends with extreme contrast.

Material finishes should express permanence and quality.

- Create a more solid and permanent appearance with stone or other masonry materials, particularly as accents.
- Install masonry using traditional methods.
- Avoid frequent changes in materials.
- Detail finishes properly with the architectural style.
- Use high-quality, durable, low-maintenance materials.

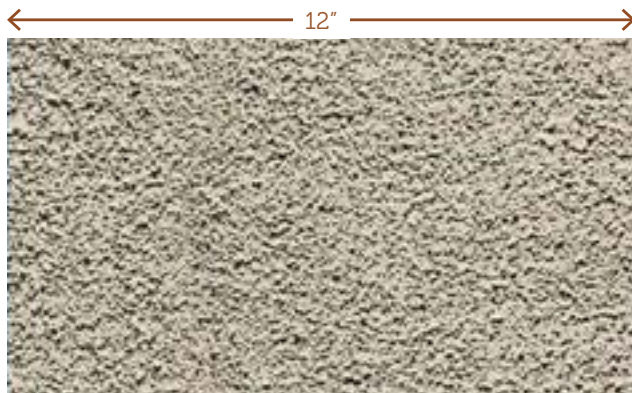
2.2.1 Stucco

Stucco finish should project high quality and be appropriate to the architectural style. Heavy Lace and Spanish Texture stucco finishes are prohibited.

A. Stucco Details

All stucco trim details (such as window surrounds, window sills, roof eaves, column details, lintels, etc.) must be constructed with a level of precision and accuracy to express the authentic execution of the style.

- Use clean, crisp and smooth stucco details.
- Use a different trim stucco finish from the wall stucco finish.
- No rough, “blob”-like and uneven stucco finish.
- Carefully locate stucco control joints if applicable on elevation designs.



Medium Sand Float (16/20 Aggregate)



Heavy Lace Texture - Prohibited



Fine Sand Float (20/30 Aggregate)



Spanish Texture - Prohibited

Source: Technical Services Information Bureau

2.2.2 Veneers

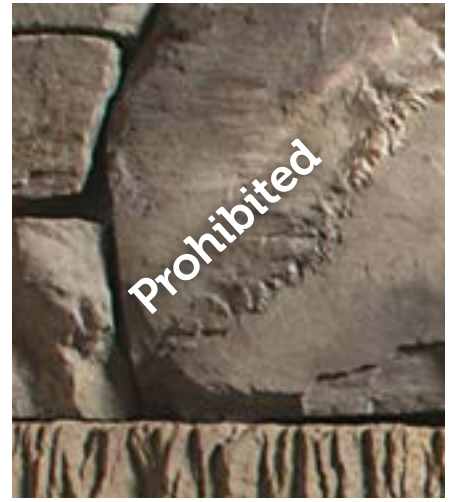
Manufactured stone shall have a texture and color that mimics natural stone and be of exceptional quality. The mortar joint types and colors for each masonry product used should be specified.



Stone with poor application of color example



Unnatural looking stone from a worn out mold with poor detailing example



Unnatural looking stone from an old and deteriorating mold example

Source: Creative Mines



Stone corner application example



Stacked stone application example



Grouted stone application example

Source: Creative Mines



Veneer close to slab as possible example

A. Stucco Scream Details

The stucco weep screed at stone or brick adhesively applied veneers should be detailed to be as close to finish grade/finish slab as possible while still maintaining the minimum dimensions required by the building code. Stucco weep screeds that “float” above the finished grade by more than six inches are prohibited.

Sufficient details, notes and specifications should be provided in the construction documents to ensure proper construction in the field.

B. Material Wrapping

Architectural elements must not end at the corner of a building and shall wrap around the corner and extend to a logical terminus point that is incorporated into the overall architectural design.

Wrap columns, tower elements and pilasters entirely.



Examples of veneers wrapping columns entirely



Example of siding terminating at an inside corner

2.2.3 Wood

Wood is a material used in many architectural styles. However, maintenance concerns, a desire for long-term architectural quality and new high-quality manufactured alternative wood materials make use of real wood material less desirable. Where “wood” is referred to in these Guidelines, it can also be interpreted as simulated wood trim with style-appropriate wood texture.

2.2.4 Ornamental Details

Use details that appear as functional elements and match the architectural style.

2.2.5 Gutters & Downspouts

Integrate gutters and downspouts into the home design when used.

2.2.6 Eave Paint

Eave paint shall match the fascia color (spray paint of the wall color on the eaves is prohibited).





Example of prohibited horizontal windows

2.3 Windows

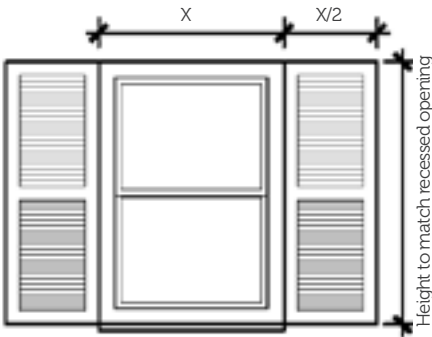
Window details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade shall be responsive to the architectural style of the building. Size and shape shall be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are a way to further enhance the architecture and shall be proportionate to the window opening. In general, windows shall enhance rather than dominate the overall architectural character.

- No horizontal bathroom windows are permitted.
- Divided lite windows are encouraged and should reflect the architectural style.
- Non street-facing and rear yard windows may delete the divided lites.

2.3.1 Shutters

All shutters shall comply with the following:

- Mount shutters on finished wall material; embedded shutters prohibited.
- Match shutter size to the recessed opening window width.
- Use material at least 1.5-inches thick.



Shutter size corresponds to window size



Example of prohibited embedded shutter

2.4 Lighting

Appropriate lighting is essential in creating an inviting evening atmosphere for the community. All lighting shall be non-obtrusive.

- Limit all exterior lighting to the minimum necessary for safety.
- Shield all exterior lighting to minimize glare and light spill onto adjacent properties.
- Use exterior entry lights that complement the architectural style.
- Use low voltage lighting whenever possible in common areas.

2.5 Mechanical Equipment

Mechanical equipment shall be screened from street view. Mechanical equipment includes:

- HVAC equipment.
- Gas and electric meters.
- Cable/TV panels.
- Pool and spa equipment.
- Exterior landscape/lighting equipment.

2.6 Addresses

Addresses must be a minimum of 6 inches high and clearly visible from the nearest emergency vehicle right-of-way.

2.7 Solid Waste

Space shall be provided for the refuse storage bins out of view from the street.



Exterior lighting matches architectural style

2.8 Gateways & Doors

Main entry doors and gateways should be thoughtfully selected to match the specific style of architecture. Courtyard openings and entries function as a statement for the entire home and add interest to the streetscape. These elements should be treated with detail of equal level.

Gateways shall:

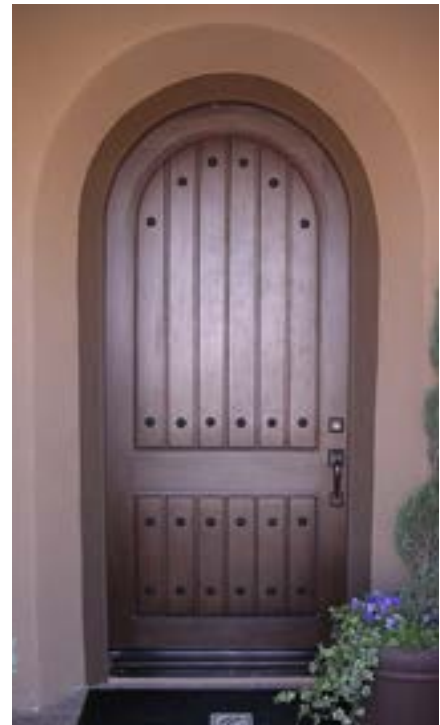
- Match or complement entry and garage doors in character, materials and finish.
- Include decorative iron gates when appropriate to the architectural style.

Entry doors shall:

- Accentuate and announce the main entry of the home.
- Reinforce the style of architecture.

Other doors shall:

- Use architecturally complementary garage and/or utility doors on visible corner-side elevations.
- Only use decorative screen doors with openings concealed in a private courtyard or similar space recessed under a covered roof.



Main entry door matches architectural style

2.9 Color

The use of color and materials is an essential ingredient to quality development. Successful application of color and materials improves the character and essence of the community.

The primary goal of color and materials palettes is to further enhance and define the architectural styles within these Guidelines. Equally important is the balance of diversity and harmony; variety of color and materials must be achieved within the context of a harmonious community.

Colors selected should be appropriate to the styles they represent and used to further differentiate from the other styles (i.e. the body color for an Arts & Crafts home should typically be darker than for a Spanish home).

Architectural screens, fences and accessory structures should be compatible in material, color and texture to the main buildings (Refer to Figure 4: Color Scheme Plotting for color plotting requirements).

3.0 Architectural Styles

These design guidelines are intended to be flexible and are, therefore, illustrative in nature. It is not the intent of these design guidelines to require that all of the identified design components and elements be incorporated into the actual building designs. Rather, these guidelines serve as a “palette” of character defining elements that can be used in home designs. Builders, along with their architects and planners, are encouraged to utilize creativity and imagination when developing exciting design proposals for Legacy Park.

3.1 Design Principles

While these design guidelines do not limit architectural styles, the styles employed should be authentic and distinct. Traditional styles tend to have defining features that should be consistently implemented across the product offering. Additional styles may be proposed however, they must follow the same principles and attention to detail as the specific styles listed here.

By emphasizing authentic styles, these guidelines discourage sameness and monotony. The multi-style streetscene should be diverse as to form, massing, features, windows, front doors, garage doors, materials and colors.

To some extent, resource efficiency should influence architectural styles. The concept of resource efficiency includes reduction of wasteful elements in the design and construction of the house as well as conservation of energy and water during occupancy of the house.



3.2 Authentic Adaptations

Recognizable authentic architecture is based on traditional forms, materials and details that reasonably express the heritage of a particular style. Historically derived, or authentically adapted, elevations continue to focus on forms and details, but allow for the integration of modern materials, colors and artistic interpretation to generate a contemporary, yet recognizable, expression of an architectural style. Historically adapted elevations combine these notions into physical reinterpretation of an architectural style.

Authentic adapted elevations should express a recognizable architectural style from the Legacy Park collection of styles but can use artistic design to incorporate new, modern or progressive forms, details and materials in the modern context of architecture. Any of the Legacy Park styles may be expressed as an authentic adapted or historically derived elevation using any, all, or a sampling of elements.



Legacy Park

Arts & Crafts

Arts & Crafts homes can be found nestled in the original town centers of older communities. Stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena, the style focuses on exterior elements with tasteful and artful attention. This architecture relies on the simple house tradition, combining hip and gable roof forms with wide, livable porches and broad overhanging eaves.

Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves and rusticated, textural materials. The overall effect is the creation of a natural, warm and livable home of artful and expressive character.



Details	Standard	Enhancements
Roofs	Side-to-side gable with cross gable Roof pitches 3.5:12 to 8:12 Standard overhangs Exposed rafter tails Deeper rakes Bargeboard at gable end	Extended eaves Shaped rafter tails preferred Outlookers & brackets
Roof Materials	Flat, shake concrete tile	
Wall Materials	Medium sand float stucco finish (16/20) Horizontal siding	Shingle siding OR board & batten OR brick OR stone accents (natural OR painted to match stucco)
Architectural Elements	Porches OR covered OR defined entry	Heavy timber columns, posts & beams
Trim & Details	Appropriately sized columns	Gable end details Tapered OR double-post porch columns on brick OR stone piers
Windows	Vertically proportioned windows Window grids Fully trimmed windows	Grouped windows with continuous head trim Vertical windows at first floor Horizontal windows at 2nd floor along belt course
Doors & Gates	Paneled front entry doors Paneled garage door	Front entry wood & glass doors Garage door with windows

Farmhouse

The California Farmhouse blends the country farm home with California sensibilities of outdoor living, earth colors and simple use of materials. Predominant features include large and sometimes wrapping front porch to extend the living space to the outside. This presents a warm welcome to neighbors. Wood columns and railings with cross braces, exposed rafter tails and siding accents give this style a charming appeal.

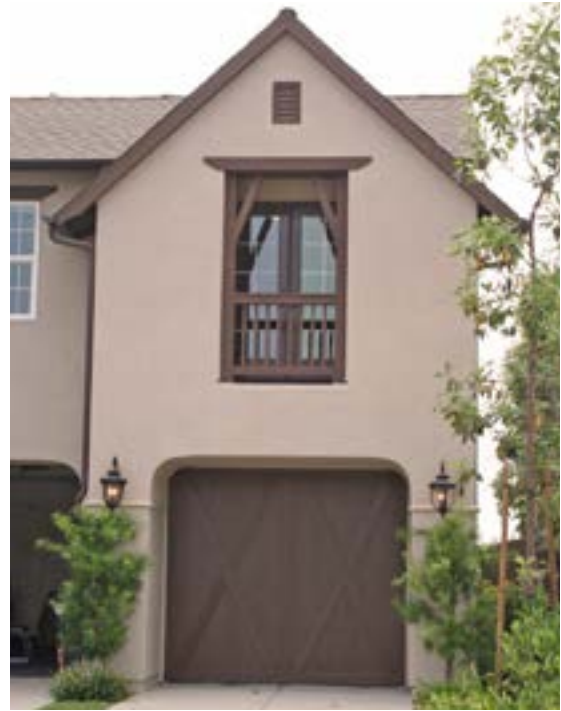


Details	Standard	Enhancements
Roofs	Clean, asymmetrical gable roof with cross gables Roof pitches 4:12 to 6:12 12" to 18" overhangs at eaves 6" to 12" overhangs at rakes	Dormer roof projections Simple shaped, square OR half round rafter tails Boxed eaves
Roof Materials	Flat tile OR composition roof	
Wall Materials	Stucco: 16/20 finish 30/30 finish at feature elements	Horizontal siding accents Stone accents
Architectural Elements	Simple square post & beam supports at porch	Proportionally large porch at entry Square "wood" columns with brackets, cross braces & railing
Trim & Details	Stucco-wrapped, high density foam trim Exposed eaves & simple square rafter tails	Wall mounted light fixtures at garage door
Windows	Horizontally proportioned windows with divided lites Unifying sill	Plank OR Lazy-Z shutters Balanced header & sill trim Pot shelves
Doors & Gates	Entry doors highlighted by roof element OR porch feature Well-placed & proportional entry light fixture	Rectangular OR arched surrounds (follows door design)

Legacy Park

European Cottage

The European Cottage is a picturesque style that evolved out of medieval Tudor and Norman domestic architecture. The evolving character that resulted in the English “cottage look” became extremely popular with the addition of stone and brick veneer details in the 1920s. Roof pitches are steeper and include gable, hip and half-hip roof forms. The primary exterior stucco is accented with stone and brick bases, veneers and tower elements. Some of the most recognizable features of this style are the accents in the gable end forms and the sculptured swooping walls at the front elevation.



Details	Standard	Enhancements
Roofs	4:12 to 12:12 roof pitches Standard overhangs Gable end details	Dormers Swoop roof
Roof Materials	Flat tile OR composition roof	
Wall Materials	Stucco: 16/20 finish	Stone accent ½ timbering
Architectural Elements	Traditional pediment surround entry Porches OR meaningful entries	Tower Element Bay windows
Trim & Details	Appropriately sized simple columns Plank OR Lazy-Z shutters	Metal details
Windows	Vertically proportioned windows Window grids on upper levels	Dormer windows
Doors & Gates	Paneled entry doors Paneled garage door with windows	

Italian

In the 1860s, the Italian Villa was one of the fashionable architectural styles in the United States based on the formal and symmetrical palaces of the Italian Renaissance. Italian homes are straightforward and boxy, with only window crowns and cornice moldings as ornamentation. The shallow pitched hipped roof, often with decorative brackets, identifies this style. As it became a popular building material, cast iron expanded the Italian style vocabulary to include a variety of embellished designs for porches, balconies, railings and fences.



Elements	Standards	Enhancements
Roofs	Main hip roof with hip ancillary roofs 1-story shed roofs permitted Roof pitches 3.5:12 to 5:12 Tight to 12-inch overhangs at rakes 12- to 18-inch overhangs at eaves	Closed/shaped eave with corbels at accent elements
Roof Materials	"S" concrete tile	Clay tile
Architectural Elements	Window & door trim	
Wall Materials	Medium sand float stucco finish (16/20)	Brick OR stone accents
Trim & Details	Formal entry with smooth stucco trim Rectangular OR full arch top with fine sand float stucco finish (20/30) OR smooth manufactured foam trim	Metal balconies & pot shelves Simulated precast surrounds, precast trim Simulated precast columns at entry OR between windows Belt course Base trim
Windows	Grid patterned at front & visible windows Trim around front & visible windows Paneled OR louvered shutters on accent window	Round arch top accent windows Symmetrically ordered & stacked windows & openings Recessed windows
Doors & Gates	Paneled front entry doors Paneled garage door	Garage door with windows

Legacy Park

Monterey

Influenced by both the Spanish Colonial and the New England Colonial homes, the Monterey style features Spanish detailing while maintaining the Colonial style form. With its stucco or masonry walls, red barrel, “S” or flat concrete shake roofs, this style exhibits many of the same elements as an historical Spanish home: simple building form and mass, rusticated corbels, head trim, posts or balconies (if used) and gable roof forms. Many successful adaptations of this style focused simply on careful massing, detail and the natural beauty inspired through its blend of rich Spanish and Colonial heritage.



Details	Standard	Enhancements
Roofs	Clean, uncomplicated roof solutions of hips OR gables Roof pitches 4:12 to 5:12 12" to 18" overhangs at eaves Tight rakes Balcony & main roof are same low pitch	Modest projected rafter tails, shaped tails preferred Parapets with barrel tile cap
Roof Materials	Concrete "S" tile OR flat tile	2-piece barrel tile with mud boost on 1st two courses
Wall Materials	Stucco: 16/20 finish 30/30 finish at feature elements Material change at second floor	Brick OR slump block on first floor at main entrance Board & batt OR horizontal siding at upper level
Architectural Elements		Balconies cantilevered OR supported Balconies & railings made of heavy timber wood
Trim & Details	Stucco-wrapped, high density foam trim Closed OR exposed eaves Well-placed & proportional entry light fixture Plank-style shutters on feature windows	Wood OR metal railing Gutter/downspouts exposed & treated as design feature
Windows	Vertically proportioned windows with divided lites	Awnings
Doors & Gates	Rectangular OR arched surrounds (follows door design)	Entry located under covered balcony

Spanish

The Spanish style attained wide-spread popularity after the Panama-California exposition of 1914 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work and carefully proportioned windows appropriate to its wall mass.

Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrasts of materials and textures.



Elements	Standards	Enhancements
Roofs	Hip OR gable roofs Roof pitches 3½:12 to 5:12 Tight to 18" overhangs at eaves Tight to 12" overhangs at rakes	Rafter tails, shaped tails preferred Parapets with barrel tile caps
Roof Materials	Concrete "S" tile	2-piece barrel clay tile Boosted tile (25%) Stacked tile on 1st two courses Mudded bird stops
Wall Materials	Medium sand float stucco finish (16/20)	Decorative ceramic tile OR brick accents
Architectural Elements		Porches, balconies OR verandas
Trim & Details	Stucco-wrapped, high density foam trim with fine sand float stucco finish (20/20) Closed OR exposed eaves Gable end details Decorative metal Well-placed & proportional entry light fixtures	Wall mounted light fixtures at garage door
Windows	Vertically proportioned windows with divided lites	Fabric awnings
Doors & Gates	Front entry doors without a porch, deeply recessed from front facade	Rectangular OR arched surrounds (following door design)

Legacy Park

Traditional

The American Traditional style is a combination of the early English and Dutch houses found on the Atlantic coast. Their origins were adaptations of Adams and other classical styles. Details from these original styles are loosely combined in many examples. Current interpretations have maintained the simple elegance of the early prototypes with added refinements and new design details. Another identifying feature of this style is the monumented entry with decorative crown (pediment) supported by pilasters or columns projecting forward of the otherwise flat facade to form an entry.



Elements	Standards	Enhancements
Roofs	Roof pitches 3:12 to 8:12 18" to 24" overhang at eaves & rakes Exposed rafter tails	Standing seam metal roof accents Cornice emphasized by dentils OR decorative molding
Roof Materials	Flat concrete shake tile OR flat concrete slate tile OR high definition asphalt shingles	
Wall Materials	Medium sand float stucco finish (16/20) Re-sawn wood siding accents	Wood siding Board & batt OR groove joint Brick
Architectural Elements	Entry feature with traditional pediments & substantial portico stoop OR surround	Front porches
Trim & Details	Head & sill trim shall consist of one of the following materials & be of proper proportion: Proportional, high density foam trim with fine sand float stucco finish (20/30) OR re-sawn wood trim Simple columns with base trim	Shaped wood corbels Louvered shutters flanking windows Low-walled entry courtyards with hardscape paving, in lieu of porches Balconies - cantilevered OR supported with posts Decorative metal at post to beam connection Plank style garage door
Windows	Window mullions	Round-top fan light Bay windows
Doors & Gates	Panel OR planked doors	Windows in garage doors

4.0 Landscape Design

The landscape and planting design provides the identity for Legacy Park that is sustainable over time and meets the City of Moreno Valley's Landscape standards. The plant palette chosen for the Legacy Park is appropriate to the site's climate while providing color and seasonal change. All Legacy Park community areas will be landscaped as shown on Figure 5: Overall Landscape Plan, Figure 6: Landscape Sections, and Figure 7: Landscape Plan Enlargements. The landscape will provide a unified look to the community. A community identity sign will be provided at the entry. Refer to Figure 8: Entry Monument Elevation.

Front yard landscaping is required on all lots and will be designed to meet the City of Moreno Valley landscape requirements to include drought tolerant/xeriscape landscaping on all of the lots. Refer to Figure 9: Front Yard Landscape Plan.

Landscaping adjacent to Indian and Gentian Avenue and shall be maintained by the City of Moreno Valley Landscape Maintenance District (LMD).

Special paving will be provided to identify key pedestrian crossings along the main entry drive and at the connection to the Juan Baustista De Anza Trail as shown on Figure 5: Overall Landscape Plan. The special stamped concrete provides additional pedestrian amenities and traffic calming. Final pavement color and texture is subject to the approval of the Public Works department.

Six exercise stations will be provided adjacent to the trail. The City of Moreno Valley will maintain the trail and exercise stations. Refer to Figure 10: Landscape Maintenance Plan.

4.1 Community Landscape, Walls and Fencing

The visible Legacy Park Theme walls include a six-foot high decorative tan split-face (street side only) block wall with pilasters with colored concrete caps. An entry monument will be located at the entrance to the community.

At rear yards adjacent open space areas, a split-face (visible open space side only) wall will be provided. Tubular steel fencing will also be provided adjacent to the detention basin per City of Moreno Valley standards except where private lots are adjacent.

The walls and fencing shall meet the following requirements as shown on Figure 11: Wall and Fence Plan and Details. All walls and fencing will be maintained by the Legacy Park HOA.



Examples of decorative paving for the public streets

Decorative Theme Walls

All decorative Theme walls will be block or an approved alternative. This includes perimeter and private areas.

Colored masonry caps to match the masonry color will be used at wall tops.

Theme wall pilasters will match block material and color and will have complementarily colored concrete caps.

Retaining walls will match block wall conditions.

Trail Fencing

The trail fencing will be per City standards.

Interior Fencing

The interior privacy fencing will be tan vinyl for both interior property line and fence return conditions.

All interior fencing height will vary but will be no lower than six feet high.

Gates will be constructed of tan vinyl to match the fence.

4.2 Detention Basin

The landscape plan provides for detention basins as shown and approved with the final recorded tract map and the Final Water Quality Plan. These areas will be maintained by the Legacy Park Homeowner's Association (HOA).



Figure 5: Overall Landscape Plan

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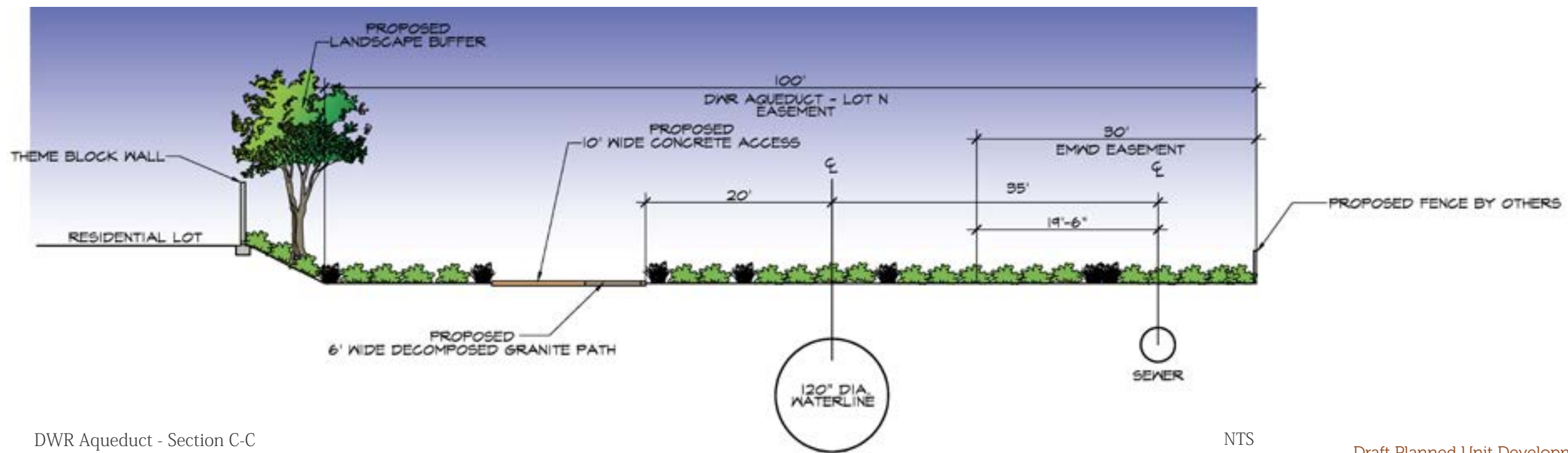
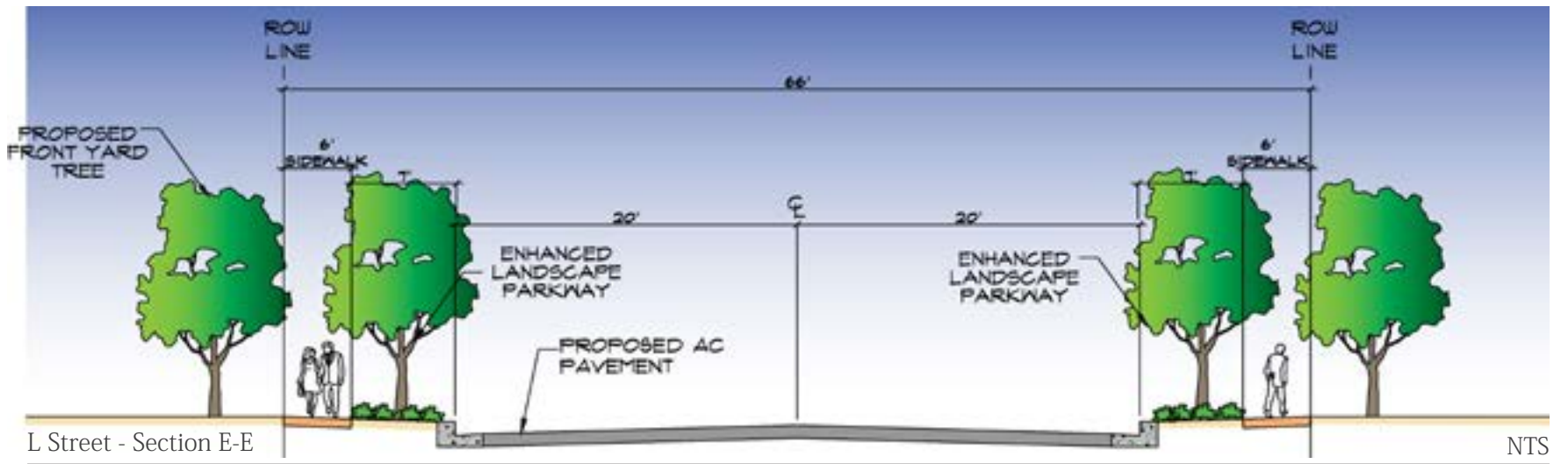
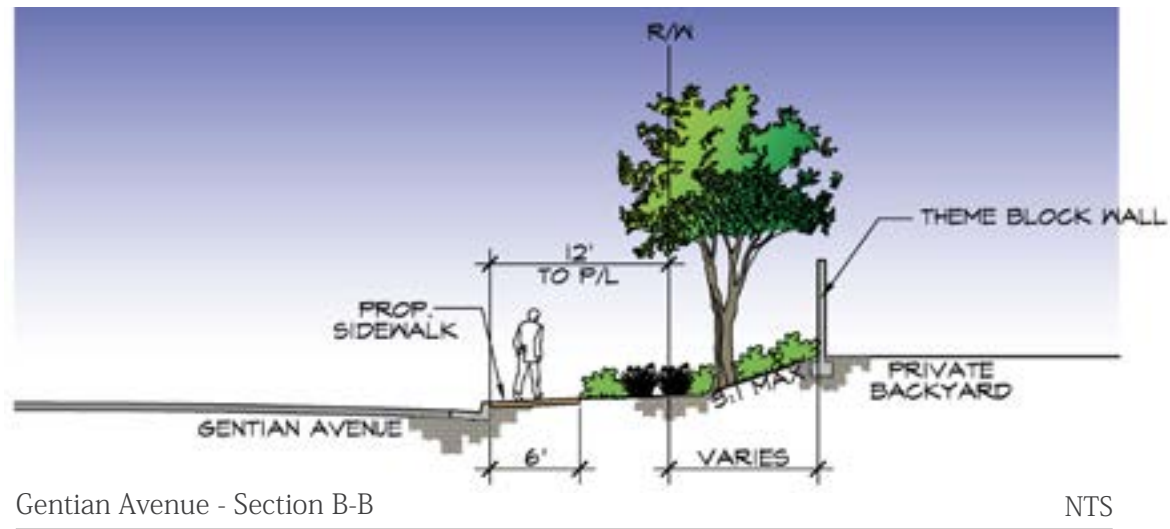
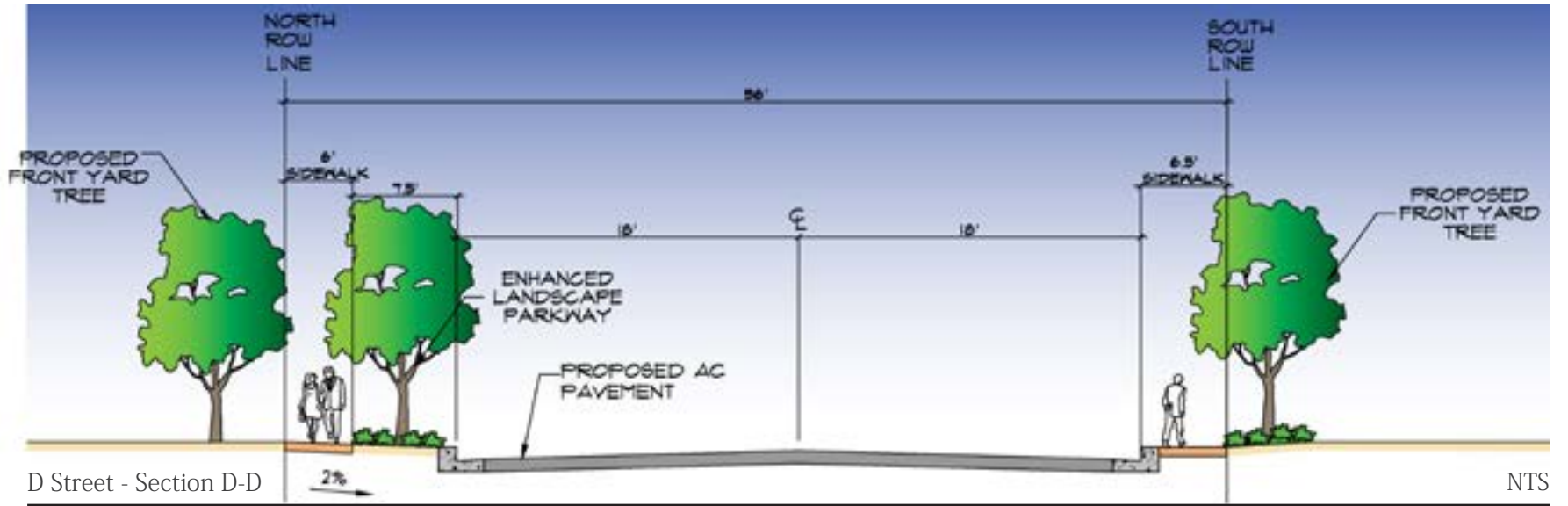
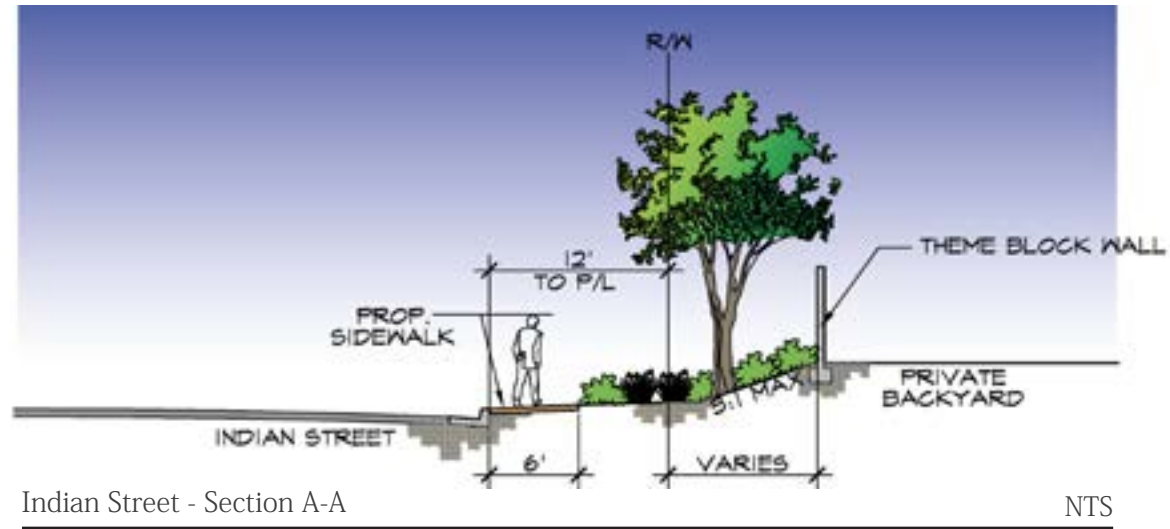
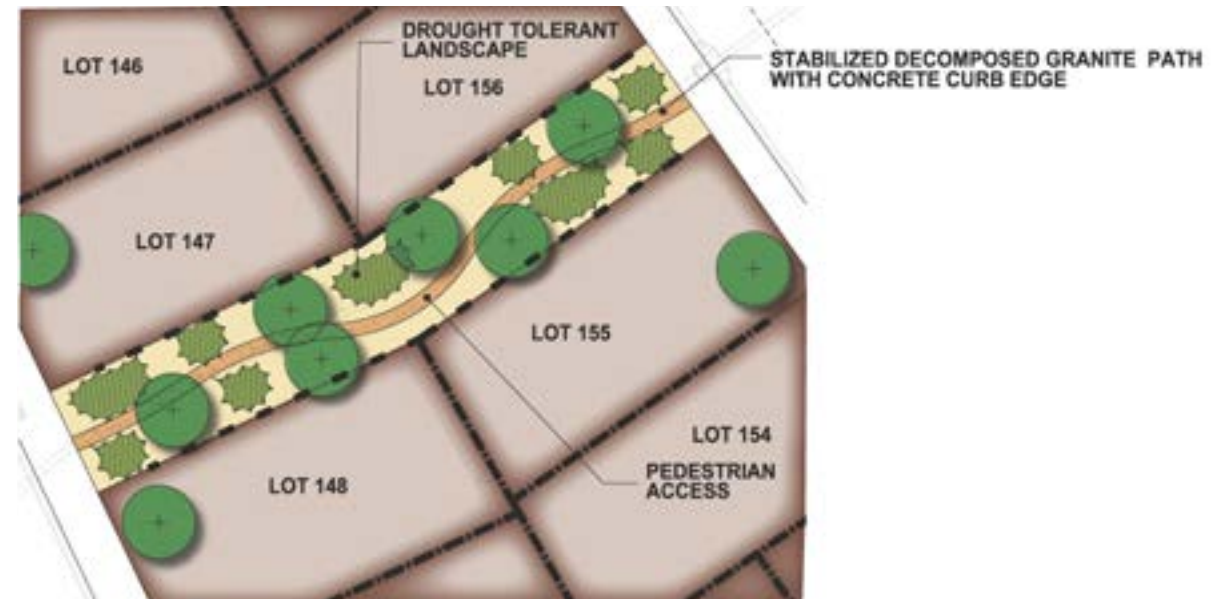


Figure 6: Landscape Sections

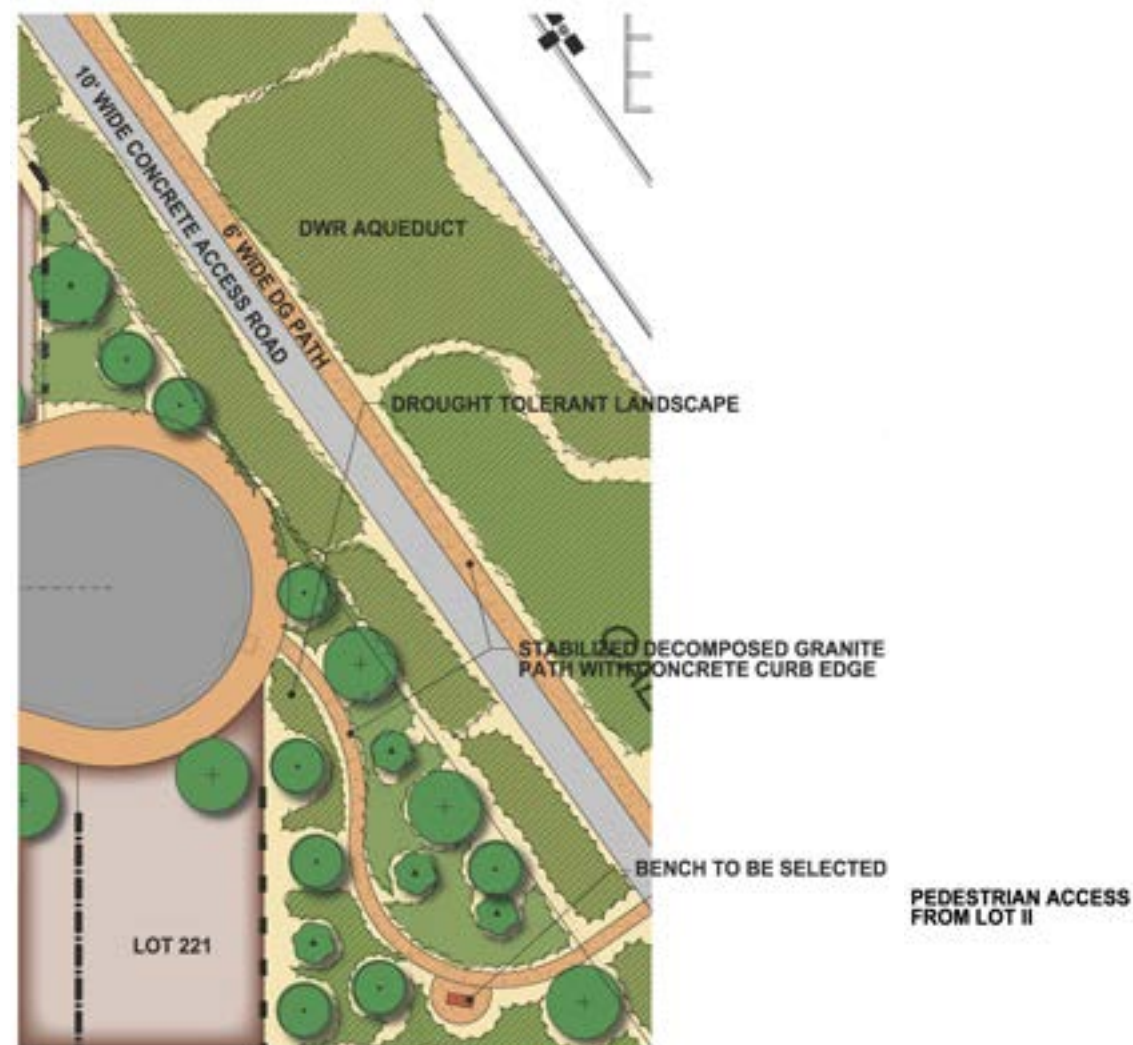
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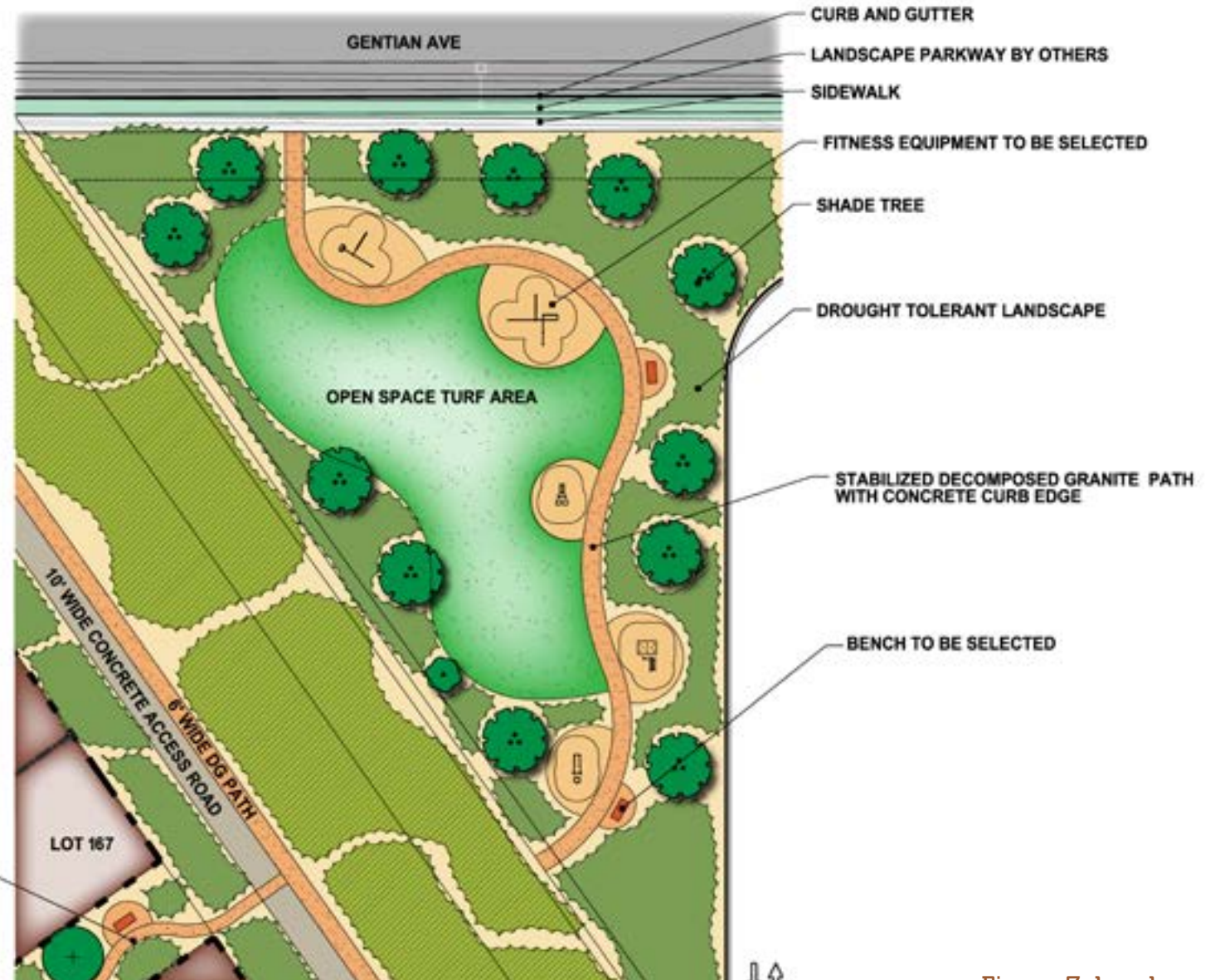
Lot 'BB' Enlargement



Lot 'JJ' Enlargement



Lot 'FF' Enlargement

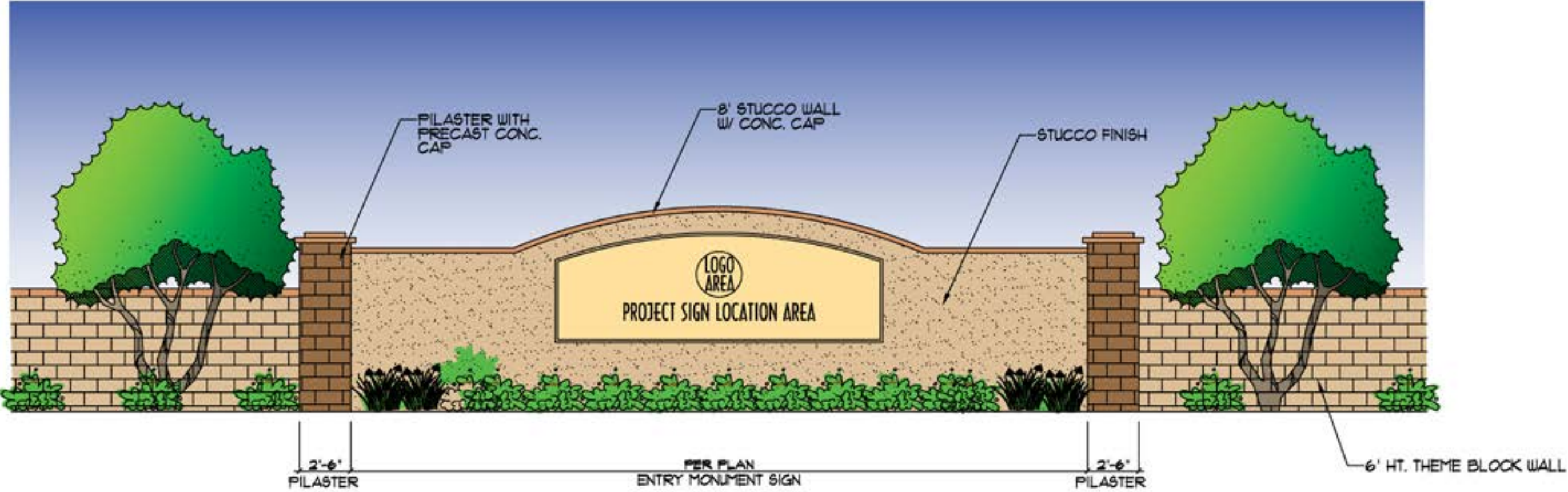


Lot 'A-TPM36606' Enlargement



Figure 7: Landscape Plan Enlargements

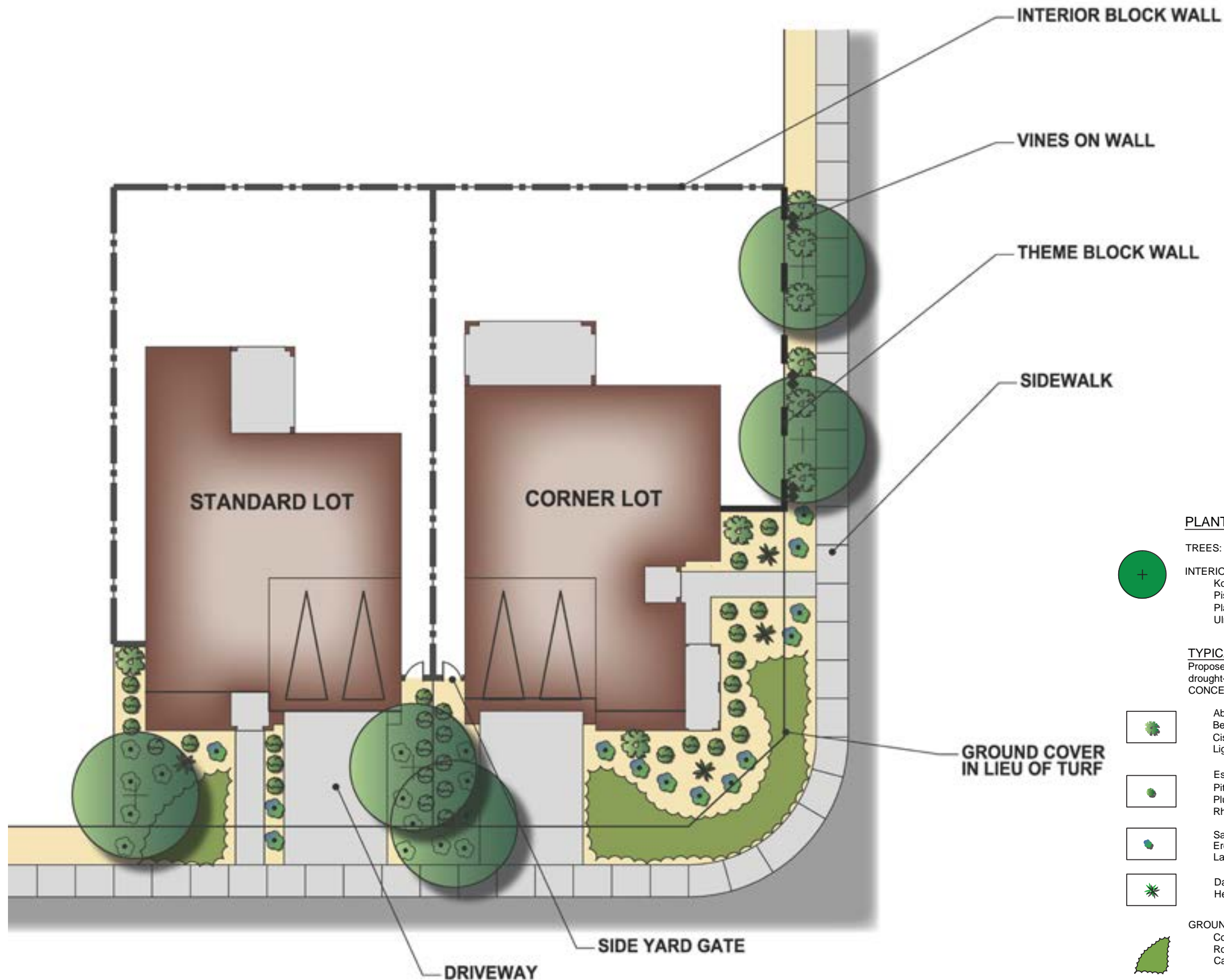
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Entry Monument Elevation

Figure 8: Entry Monument Elevation

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PLANT PALETTE

TREES: (Conceptual list including but not limited to:)

INTERIOR STREET TREE (Two 24" Box per Standard Lot, Three per corner Lot):		
Koelreuteria bipinnata	Chinese Flame Tree	Moderate
Pistacia chinensis	Chinese Pistache	Moderate
Platanus acerifolia	London Plane Tree	Moderate
Ulmus parviflora 'True Green'	Chinese Elm	Moderate

TYPICAL FRONT YARD LANDSCAPE (Homeowner Maintained)

Proposed planting with combination of shrubs and trees at an equivalent o.c. spacing in addition to a drought-tolerant groundcover.

CONCEPTUAL PLANT PALETTE TO INCLUDE, BUT NOT BE LIMITED TO:






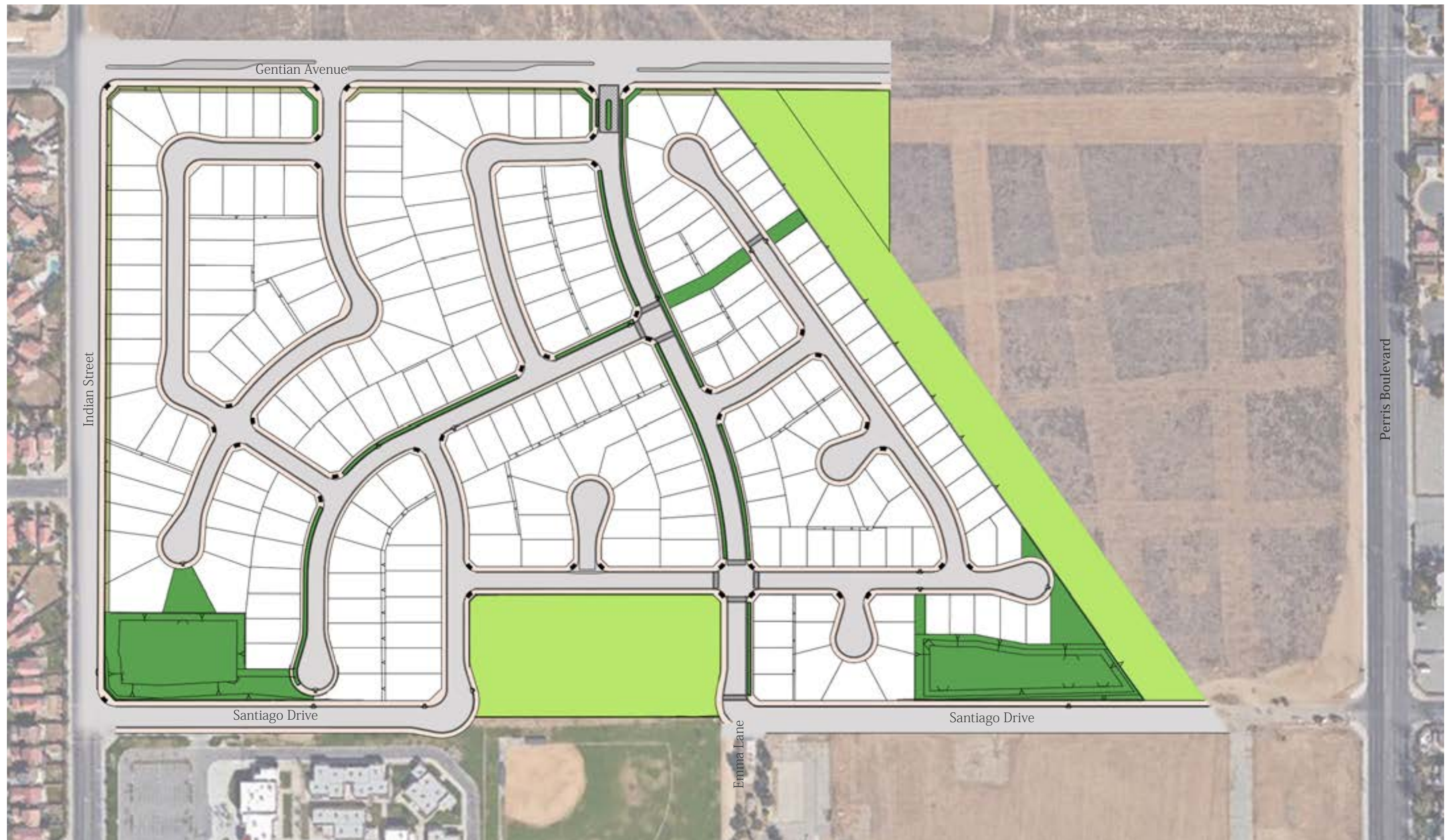
	Abelia x. grandiflora Berberis thunbergii Cistus x. purpureus Ligustrum japonicum	Glossy Abelia Moderate 'Crimson Pygmy' Japanese Barberry Orchid Rock Rose 'Texanum' Texas Privet	Moderate Moderate Low Moderate
	Escallonia 'Compacta' Pittosporum tobira Plumbago capensis Raphiolepis i. 'Springtime'	Compact Escallonia 'Shima' Cream De Mint Mock Orange Royal Cape Plumbago Indian Hawthorne	Moderate Moderate Moderate Moderate
	Salvia leucantha Eremophila maculata Lavandula stoechas	Mexican Sage 'Valentine' NCN	Low Low Low
	Dasyliion wheeleri Hesperaloe parviflora	Desert Spoon Brakelights	Low Low
	GROUND COVER (One Gallon @ 3' o.c. or rooted cuttings @ 18" o.c. triangular spaced):		
	Cotoneaster dammeri Rosmarinus o. Carissa macrocarpa	'Lowfast' Bearberry Cotoneaster 'Prostratus' Prostrate Rosemary 'Green Carpet'	Moderate Low Low



Figure 9: Front Yard Landscape Plan

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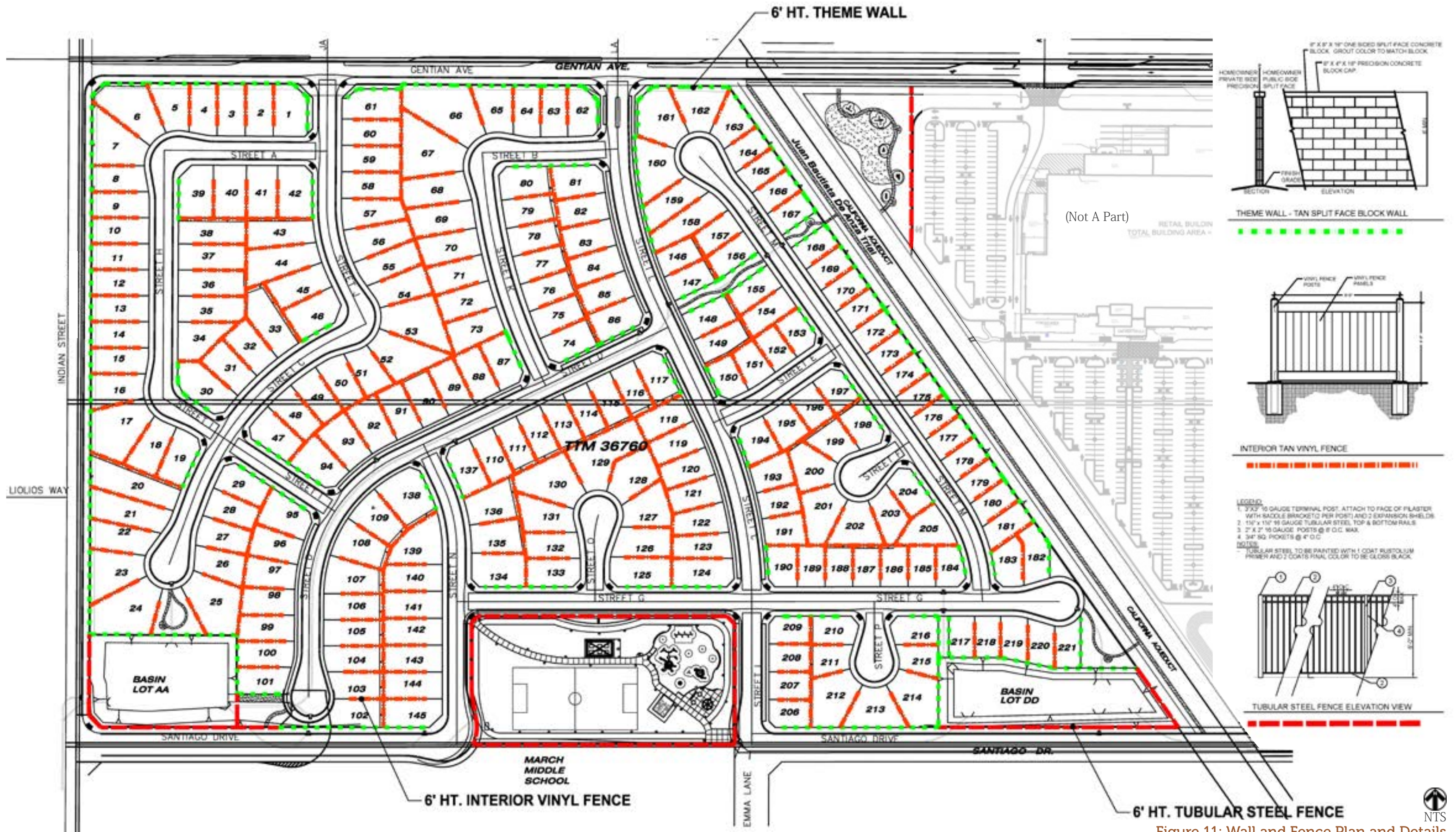


Legend

- Home Owners Association
Common Areas & Basins
- City of Moreno Valley
LMD Easement
- City of Moreno Valley
Parks

Figure 10: Landscape Maintenance Plan

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