

Existing legal descriptions

FOR TENTATIVE PARCEL MAP NO. 36150:
 ASSIGNED BUT NOT ASSESSED APN: 316-100-058
 EXISTING APN: 316-100-028 AND PORTIONS OF 316-100-030 & 052
 PARCEL 1 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY.
 CONTAINS 2,687,577 SQ. FT. OR 61,698 ACRES.
 ASSIGNED BUT NOT ASSESSED APN: 316-100-055
 EXISTING APN: A PORTION OF 316-100-052
 PARCEL 2 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY.
 CONTAINS 3,333,612 SQ. FT. OR 7,659 ACRES.
 ASSIGNED BUT NOT ASSESSED APN: 316-100-057
 EXISTING APN: A PORTION OF 316-100-030
 PARCEL 3 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY.
 CONTAINS 176,741 SQ. FT. OR 4.057 ACRES.
 FOR BUILDINGS 3 AND 4:
 BUILDING 3,
 EXISTING APN: 316-100-048
 PARCEL 1 OF LOT LINE ADJUSTMENT NO. 998 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY.
 CONTAINS 267,632 SQ. FT. OR 6.14 ACRES.
 BUILDING 4
 EXISTING APN: 316-100-051
 PARCEL 1 OF LOT LINE ADJUSTMENT NO. 999 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY.
 CONTAINS 410,231 SQ. FT. OR 9.42 ACRES.

project information

Owner / Applicant
 PROLOGIS
 2817 EAST CEDAR ST, STE 200
 ONTARIO, CA 91761
 TEL: (909) 673-8730 (DIRECT)
 CONTACT: SCOTT MULKAY

Civil Engineer
 THENES ENGINEERING
 14349 FIRESTONE BLVD.
 LA MIRADA, CA 90638
 TEL: (714) 521-4811
 CONTACT: HEN LE

Architect
 HPA, INC.
 18831 BARDEEN AVE. SUITE #100
 IRVINE, CA 92612
 TEL: (949) 863-1770
 CONTACT: JAMIE CRUZ

Landscaper Architect
 HUNTER LANDSCAPE
 7111 FEE AVE STREET
 PLACENTIA, CA 92870
 TEL: (714) 986-2400
 CONTACT: TOM HAYES

Zoning
 BP (BUSINESS PARK / LIGHT INDUSTRIAL)

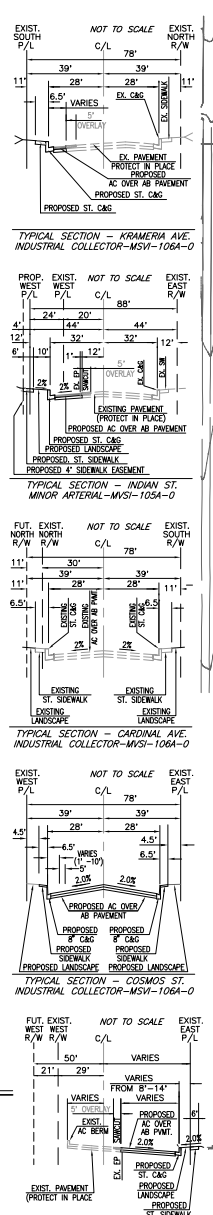
Assessors Parcel Number
 BUILDING 1: 316-100-057
 BUILDING 2: 316-100-055
 BUILDING 3: 316-100-048
 BUILDING 4: 316-100-051

site plan general notes

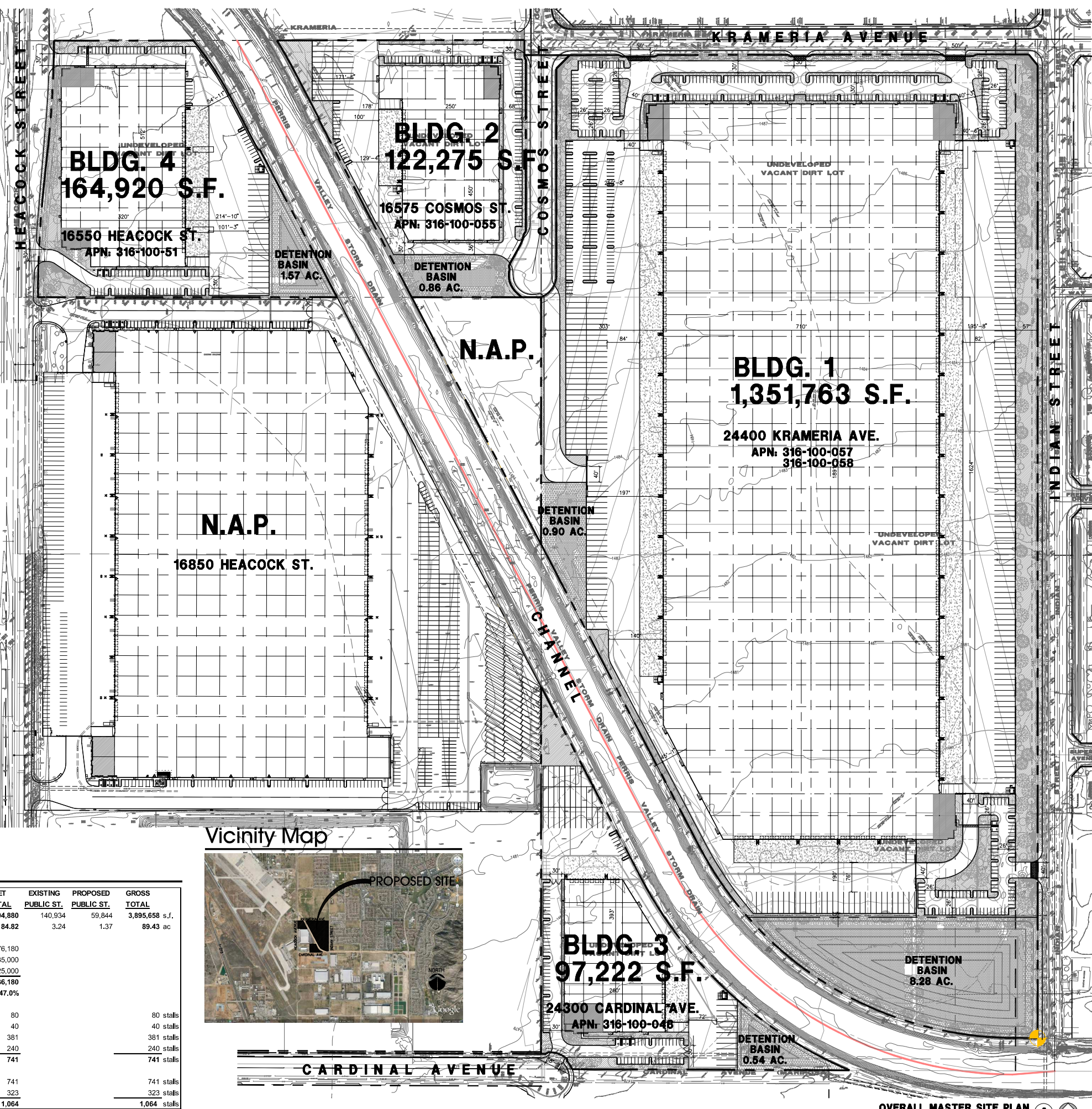
1. THE SOILS REPORT IS TO BE PART OF THESE CONTRACT DOCUMENTS
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS.
9. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE PLANNING DIVISION AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PLANNING DIVISION.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PLANNING DIVISION.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT
17. ALL ROOF DRAINS SHALL BE DIRECTED TO A LANDSCAPE AREA.

Tabulation

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	NET TOTAL	EXISTING PUBLIC ST.	PROPOSED PUBLIC ST.	GROSS TOTAL
Site area (in sq.ft.)	2,727,285	302,839	286,912	377,844	3,694,880	140,934	59,844	3,895,658 s.f.
Site area (in acres)	62.61	6.95	6.59	8.67	84.82	3.24	1.37	89.43 ac
Building area								
warehouse	1,321,763	112,275	87,222	154,920	1,676,180			
mezzanine office	20,000	5,000	5,000	5,000	35,000			
office	10,000	5,000	5,000	5,000	25,000			
Total	1,351,763	122,275	97,222	164,920	1,736,180			
Coverage	49.6%	40.4%	33.9%	43.6%	47.0%			
Parking Required								
1st, 20K @ 1/1,000 sf	20	20	20	20	80			80 stalls
2nd, 20K @ 1/2,000 sf	10	10	10	10	40			40 stalls
above 40K @ 1/4,000 sf	321	19	12	29	381			381 stalls
office @ 1/250 sf	120	40	40	40	240			240 stalls
Total	471	89	82	99	741			741 stalls
Parking Provided								
standard (9'x18')	471	89	82	99	741			741 stalls
trailers (14'x53')	236	22	39	26	323			323 stalls
Total	707	111	121	125	1,064			1,064 stalls



Vicinity Map



hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparcs.com

Owner:
PROLOGIS

 2817 East Cedar Street - Ste.#200
 Ontario, CA 91761
 tel: 909-673-8730

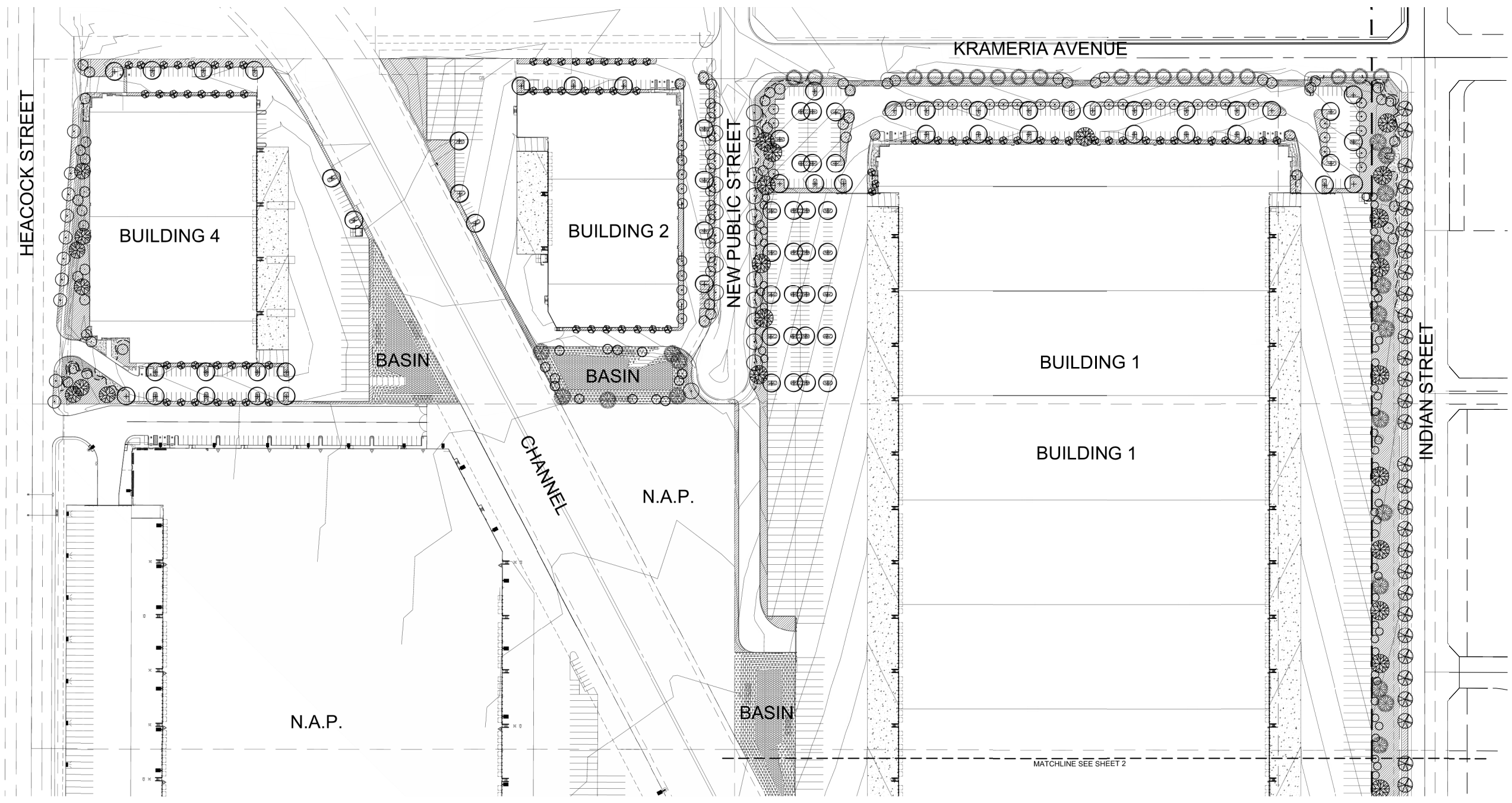
Project:
MORENO VALLEY LOGISTICS CENTER
 BUILDINGS 1, 2, 3 & 4
 Moreno Valley, CA 92551

Consultants:

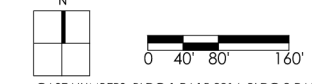
Civil:	Thienes Engineering
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscaper:	Hunter Landscape
Fire Protection:	-
Soils Engineer:	-

Title: **Overall Master Site Plan**
 Project Number: **14092**
 Drawn by: **J.E.C.**
 Date: **8-26-2016**
 Revision:

Sheet:
DAB A1.0
 PA15-0014-0018



PRELIMINARY LANDSCAPE PLAN



CASE NUMBERS BLDG 1-PA15-0014; BLDG 2-PA15-0015; BLDG 3-PA15-0016; BLDG 4-PA15-0017
DATE 8/28/15

Prologis

14-000
11.17.14
08.28.15
02.16.16

Moreno Valley Logistics Center

Moreno Valley, California



HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408

PLANTING LEGEND

TREES				
SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Heisteria arbutifolia</i> Toyon	15 Gal	71	L
	<i>Magnolia grandiflora</i> Southern Magnolia	24" Box	50	L
	<i>Pinus canariensis</i> Canary Island Pine	24" Box	10	L
	<i>Pinus alberta</i> Alghun Pine	24" Box	69	L
	<i>Picea chinensis</i> Chinese spruce	24" Box	107	L
	<i>Platanus acerifolia</i> London Plane	24" Box	19	M Standard
	<i>Platanus racemosa</i> California Sycamore	24" Box	41	M Multi
	<i>Quercus agrifolia</i> Coast Live Oak	24" Box	37	L
	<i>Thuja lanata</i> African Sumac	24" Box	68	L
	<i>Carpinus 'Desert Marquis'</i> Blue Palo Verde	24" Box	79	L Multi
	<i>Tintaria conferta</i> Brisbane Box	15 Gal	113	L
	Designated Street Tree	24" Box	20	L

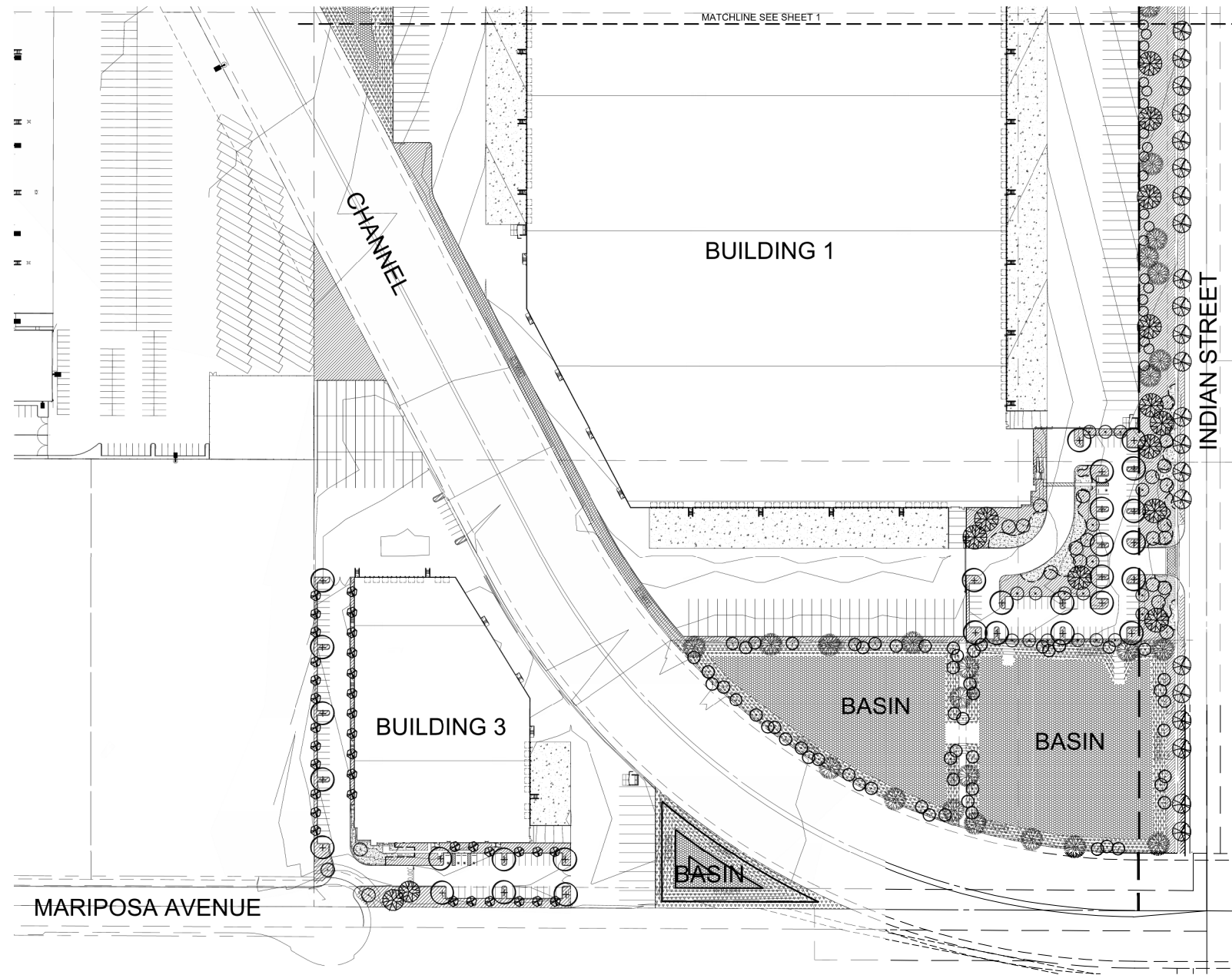
SHRUBS				
SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Adiantum</i> species Staghorn Fern	5 Gal	191	L
	<i>Callitriche californica</i> Baja Fairy Duster	5 Gal	50	L
	<i>Lavandula 'Goodwin Creek Grey'</i> Lavender	1 Gal	115	L
	<i>Leptospermum s. 'Ruby Glow'</i> New Zealand Tea Tree	5 Gal	296	L
	<i>Leucobalanus f. 'Green Cloud'</i> Toxas Ranger	5 Gal	164	L
	<i>Rhamnus californica</i> Coffeeberry	5 Gal	143	L
	<i>Rosmarinus o. 'Tuscan Blue'</i> Rosemary	5 Gal	123	L
	<i>Salvia arborescens</i> Autumn Sage	5 Gal	201	L
	<i>Senecio nemorosus</i> Fairyway Cassia	5 Gal	337	L
	<i>Sambucus mexicana</i> Mexican Elderberry	5 Gal	55	L
	<i>Westringia frutescens</i> Coast Rosemary	5 Gal	584	L

ACCENTS				
SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Agave schottlandii</i> Agave	15 Gal	13	L
	<i>Anacardium occidentale</i> Pecan Nut	5 Gal	55	L
	<i>Dasylirion wheeleri</i> Desert Spoon	15 Gal	24	L
	<i>Hesperaloe parviflora</i> Red Yucca	15 Gal	106	L
	<i>Muhlenbergia chrysantha</i> Deergrass	5 Gal	173	M
	<i>Pennisetum s. 'Capeau'</i> Purple Fountain Grass	5 Gal	240	L

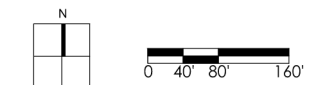
GROUND COVER				
SYMBOL	BOTANICAL COMMON NAME	SIZE	SPACING	WUCOLS REMARKS
	<i>Acaia</i> Acaia	1 Gal	6" O.C.	L
	<i>Baccharis pilularis</i> Coyote Bush	1 Gal	24" O.C.	L
	<i>Carex rostrata</i> Cluster Field Sedge	Seed		Hydro-Seed
	<i>Lantana montevidensis</i> Purple and White Lantana	1 Gal	24" O.C.	L
	<i>Lemna s. 'Vernon Prince'</i> California Rye-Grass	1 Gal	24" O.C.	L
	<i>Sida californica</i> California Wild Rose	2 Gal	30" O.C.	L
	<i>Rosmarinus s. 'Drooping'</i> Prostrate Rosemary	1 Gal	30" O.C.	L
	Tall Fescue Turf Hydro-seeded Turf	Seed		H

VINES				
SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	WUCOLS REMARKS
	<i>Dactylis buxifolia</i> Broomed Trumpet Vine	1 Gal	380	L

SWALE MIX AVAILABLE FROM SANDERS HYDROSEEDING, INC.
 4 LBS/SAC AGROSTIS PALLENS
 5 LBS/SAC NASSELLA CERNUA
 3 LBS/SAC MUHLBERGIA RIGENS
 3 LBS/SAC HORDEUM DEPRESSUM
 2 LBS/SAC MELICA IMPERFECTA
 5 LBS/SAC VULPIA MICROSTACHYS
 2 LBS/SAC MUHLBERGIA MICROSPERMA



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 ONTARIO, CA 91761
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 CONTACT: SCOTT MULKAY

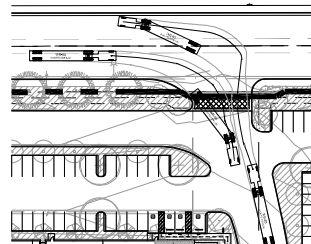
Civil Engineer
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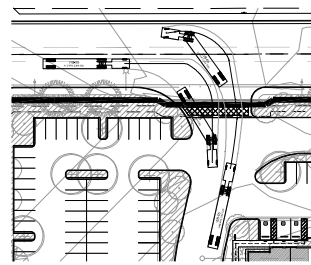
Landscape Architect
 HUNTER LANDSCAPE
 711 FEE ANA STREET
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 CONTACT: TOM HAYES

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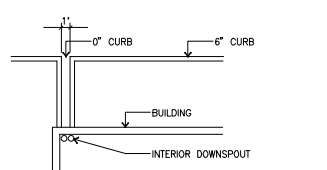
Assessors Parcel Number
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 316-100-058



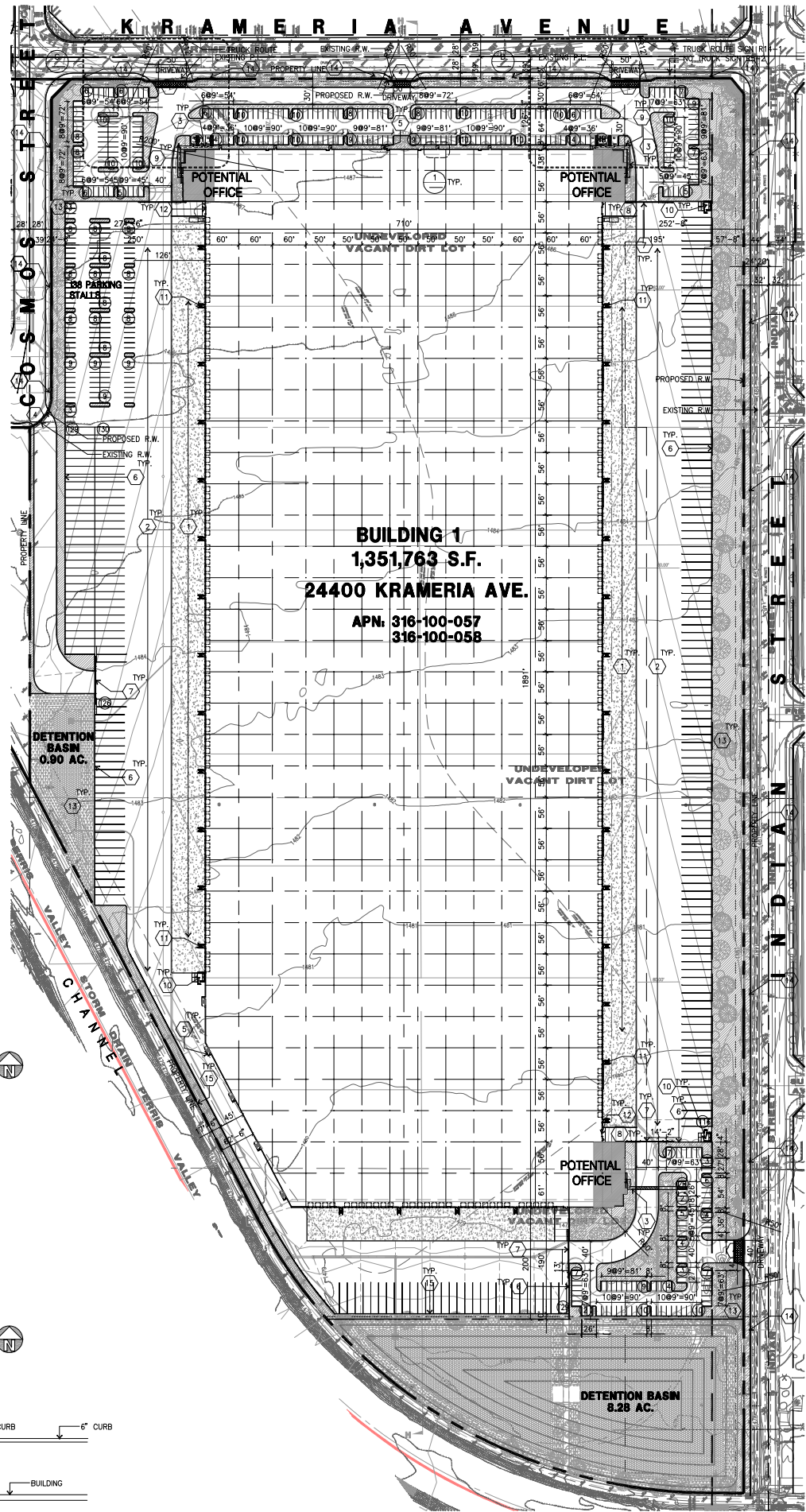
NORTH-EAST TRUCK ENTRY
 scale: 1" = 60'-0"



NORTH-WEST TRUCK ENTRY
 scale: 1" = 60'-0"



CURB CUTS, TYP.
 scale: 1/8" = 1'-0"

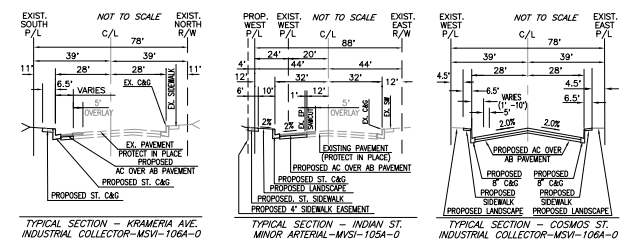


BUILDING 1
 1,351,763 S.F.
 24400 KRAMERIA AVE.
 APN: 316-100-057
 316-100-058

OVERALL SITE PLAN BUILDING 1
 scale: 1" = 100'-0"

site plan general notes

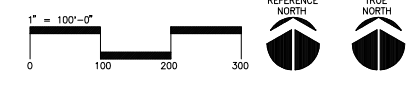
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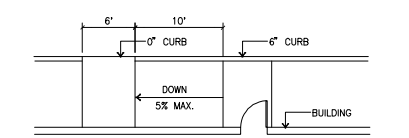
TYPICAL SECTION - KRAMERIA AVE INDUSTRIAL COLLECTOR-MSV-1064-0
 TYPICAL SECTION - INDIAN ST. MINOR ARTERIAL-MSV-1054-0
 TYPICAL SECTION - COSMOS ST. INDUSTRIAL COLLECTOR-MSV-1064-0

tabulation

	BLDG. 1	s.f.
Site area (in sq.ft.)	2,727,285	ac
Site area (in acres)	62.61	
Building area		s.f.
warehouse	1,321,763	
office mezzanine	20,000	
office	10,000	
Total	1,351,763	
Coverage	49.6%	
Parking Required		
1st. 20K @ 1/1,000 sf	20	stalls
2nd. 20K @ 1/2,000 sf	10	stalls
above 40K @ 1/4,000 sf	321	stalls
office and mezzanine @ 1/250 sf	120	stalls
Total	471	
Parking Provided		
standard (9'x18')	324	stalls
handicap (9'x18')	9	stalls
parking in truckyard (9'x18')	138	stalls
Total	471	stalls
Trailer Parking Required		
1 trailer parking per dock door		
New dock doors	200	
Trailer Parking Provided		
trailers (14'x53')	230	stalls
Landscape Provided		
in sq. ft.	274,241	s.f.
Percentage	10%	



OVERALL SITE PLAN



EXIT RAMP, TYP
 scale: 1/8" = 1'-0"

site plan keynotes

1. 6" THICK MINIMUM REINFORCED CONCRETE TRUCK APRON, W/ #3 @ 18" O.C.E.W. 3500 PSI W. CONSTRUCTION AND/OR EXPANSION JOINTS A MAXIMUM OF 18'-0" O.C. EXPANSION JOINTS TO BE A MIN. OF 1'-1/2" DEEP AND A MAXIMUM ULTIMATE WIDTH OF 1/4". VERIFY WITH SOILS ENGINEER. PROVIDE HEAVY BROOM FINISH. ALL JOINTS TO BE CLEANED AN FILLED W/ ASPHALTIC CAULKING.
2. ASPHALT CONCRETE (AC) PAVING PER SOILS ENGINEER RECOMMENDATION AS APPROVED BY THE CITY.
3. CONCRETE WALKWAY
4. DRIVEWAY APRONS TO BE CONSTRUCTED PER CITY STANDARD 118C MODIFIED. PROVIDE STAMPED CONCRETE W/ LIGHT BROOM FIN. AT ALL DRIVE LOCATIONS. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AT A MAXIMUM OF 15' O.C. SPACING.
5. 5'-4" X 4'-4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR
6. 14" HIGH CONCRETE TILT-UP SCREEN WALL
7. 8" W WROUGHT IRON SLIDING GATE.
8. CONCRETE RAMP
9. BIKE RACK, EACH RACK HOLDS 7 BIKES
10. TRASH ENCLOSURE TO BE TWO BIN AND FULLY COVERED PER CITY STANDARD.
11. CONCRETE STAIRS AND LANDING
12. 12" X 14" DRIVE-IN DOOR
13. LANDSCAPE. SEE CONCEPTUAL LANDSCAPE PLAN.
14. FIRE HYDRANT LOCATION
15. 8" W WROUGHT IRON FENCE.

utility information

TELEPHONE:
 VERIZON
 15150 JUANITA ST.
 HEALY, CA 92543
 PHONE: (951) 658-7306
 CONTACT: PHIL BRILLIANT
 NEW BUSINESS

ELECTRIC:
 MORENO VALLEY UTILITIES
 14177 FREDERICK ST.
 MORENO VALLEY, CA 92552
 PHONE: (951) 413-3450
 CONTACT: MICHELLE PIERCE

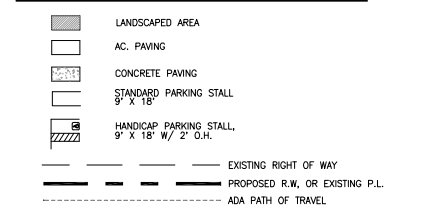
WATER:
 EASTERN MUNICIPAL WATER DISTRICT
 2270 TRUMBUE ROAD
 PERDUE, CA 92571
 PHONE: (951) 928-3777
 CONTACT: NEW BUSINESS

SEWER:
 EASTERN MUNICIPAL WATER DISTRICT
 2270 TRUMBUE ROAD
 PERDUE, CA 92571
 PHONE: (951) 928-3777
 CONTACT: NEW BUSINESS

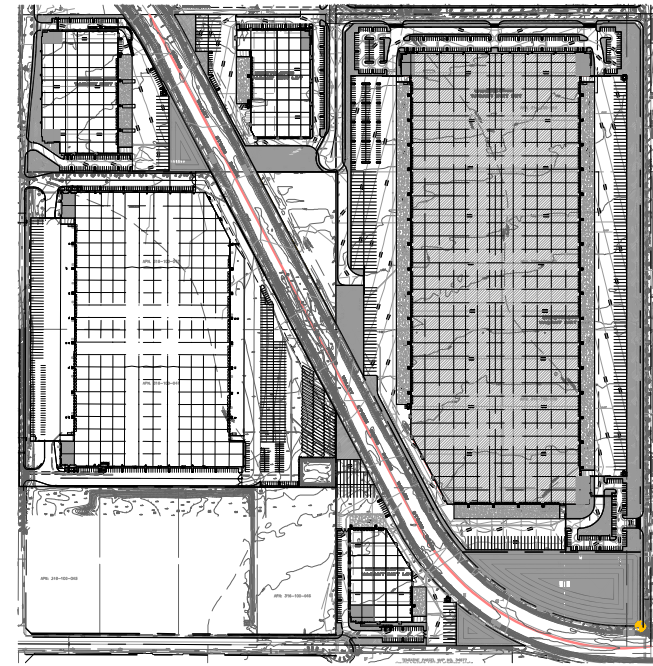
CABLE TV:
 TIME WARNER
 1520 AUTO CENTER DR.
 ONTARIO, CA 91761
 PHONE: (951) 390-4777
 CONTACT: MARK DAUENHAUER

GAS:
 THE GAS COMPANY
 2000 TRUMBUE ROAD SC 8058
 ROMOLAND, CA 92380
 PHONE: (909) 392-3902
 CONTACT: DAVE MULLIGAN

site legend



vicinity map



KEY MAP
 scale: NTS



hpa, inc.
 18831 barden avenue - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparcs.com

Owner:
PROLOGIS

 2817 East Cedar Street - Ste.#200
 Ontario, CA 91761
 tel: 909-673-8730

Project:
MORENO VALLEY LOGISTICS CENTER
 BUILDING 1
 24400 Krameria ave.
 Moreno Valley, CA 92551

Consultants:
 Civil: Thienes Engineering
 Structural: -
 Mechanical: -
 Plumbing: -
 Electrical: -
 Landscape: Hunter Landscape
 Fire Protection: -
 Soils Engineer: -

Title: overall site plan
 Project Number: 14092
 Drawn by: J.E.C.
 Date: 8-26-2016
 Revision:

Sheet:
1-DAB A1.1A
 PA15-0014-0018

Owner:

PROLOGIS



2817 East Cedar Street - Ste.#200
Ontario, CA 91761

tel: 909-673-8730

Project:

**MORENO VALLEY
LOGISTICS CENTER**

BUILDING 1

24400 Krameria Ave.
Moreno Valley, CA 92551

Consultants:

- Civil: **Thenes Engineering**
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: **Hunter Landscape**
- Fire Protection: -
- Soils Engineer: -

Title: **OVERALL FLOOR PLAN**

Project Number: **14092**

Drawn by: **J.E.C.**

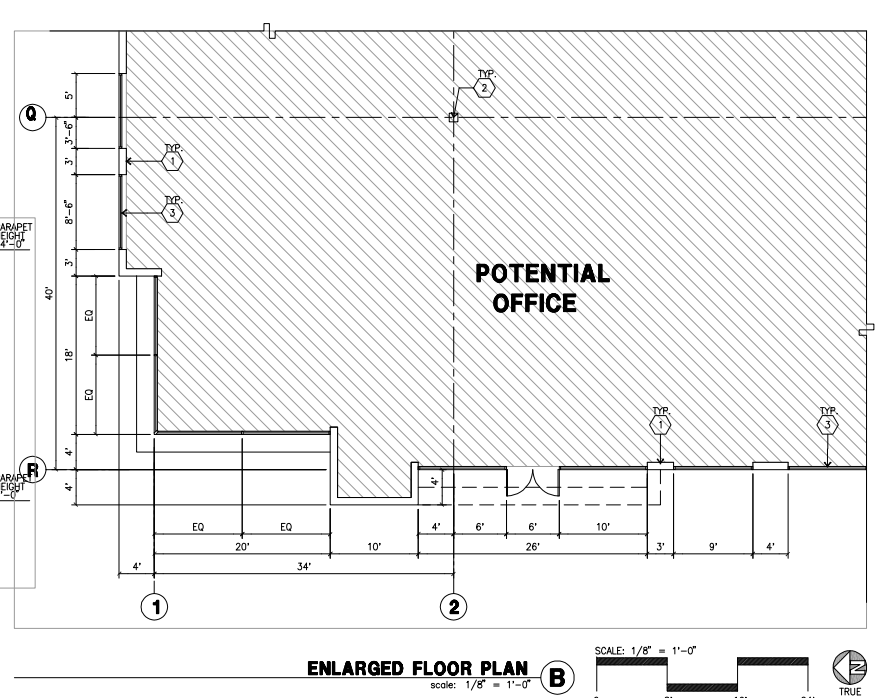
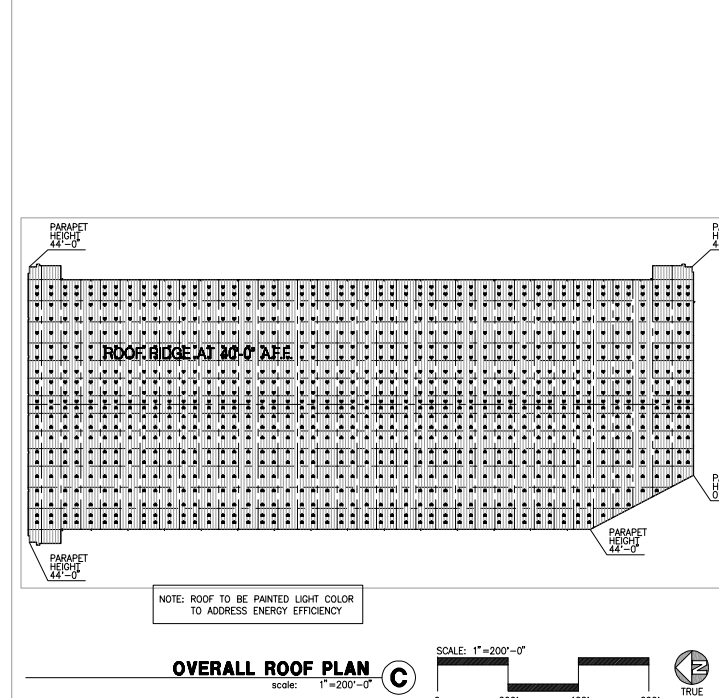
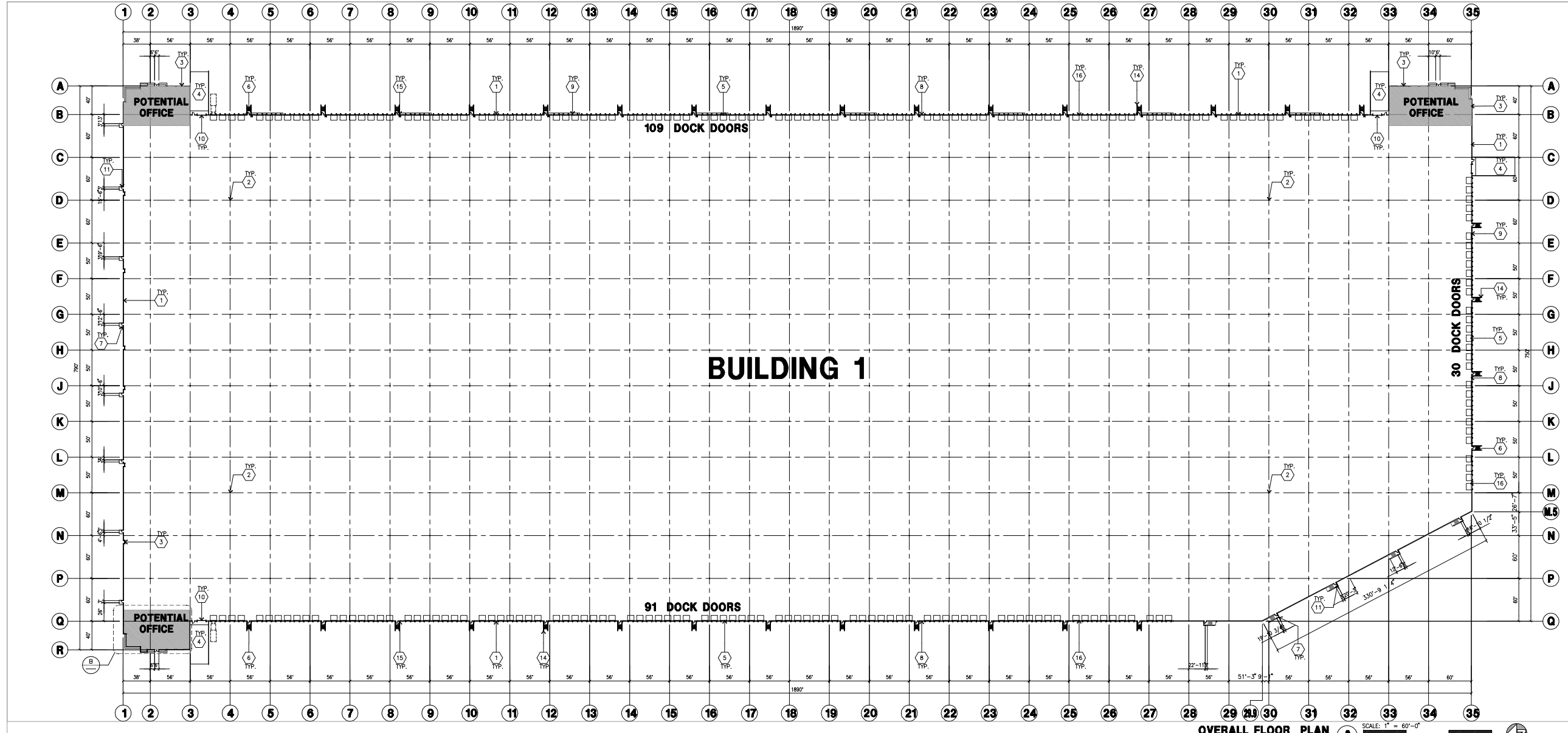
Date: **8-26-2016**

Revision: _____

Sheet:

1-DAB-A2.1

PA15-0014-0018



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O'H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O'H., STANDARD GRADE. DESIGNED TO RESIST WIND 110 MPH., EXPOSURE "C".
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST WIN 110 MPH., EXPOSURE "C".
- 12 SOFFIT LINE ABOVE
- 13 BRACE FRAME.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 15 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 16 Z GUARD
- 17 APPROXIMATE LOCATION OF ROOF TOP UNIT.
- 18 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.

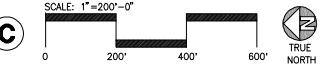
FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UNREINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 16" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - C. 4,000 P.S.I. REQUIREMENT.
 - D. SLUMP TO BE 4" +/- 1"
 - E. JOINT SPACING PER A.C.I. 302-IR-96
 - F. SAW-CUT DEPTH 1/4 T; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. NOT USED
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.

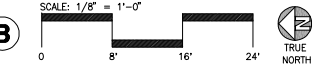
GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
 - B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
 - C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
 - D. NOT USED
 - E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
 - F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
 - G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.G.
 - H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
 - I. FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
 - J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
 - K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
 - L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
 - M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT" THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
 - N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11336.1.1.1
 - O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
7. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FF35 FL24 MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE
 12. WHERE INDICATED, PROVIDE VAPOR BARRIER (15MIL STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 - CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 13. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER

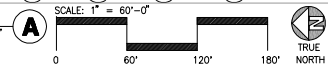
OVERALL ROOF PLAN
scale: 1"=200'-0"

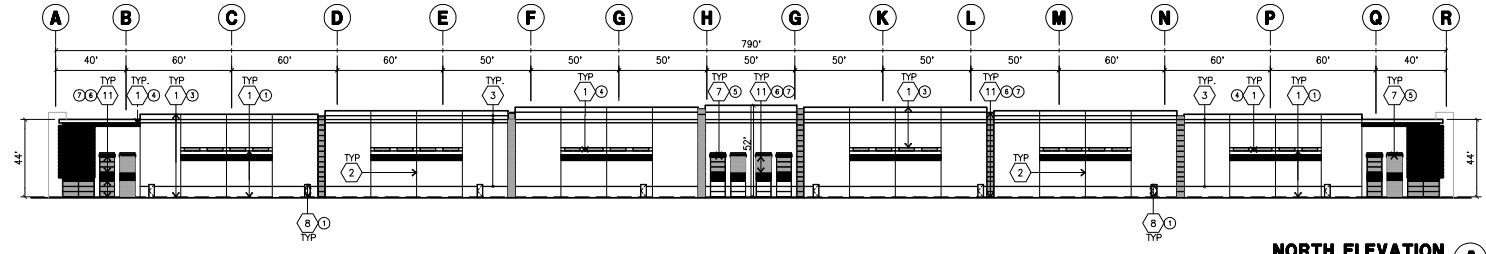


ENLARGED FLOOR PLAN
scale: 1/8"=1'-0"

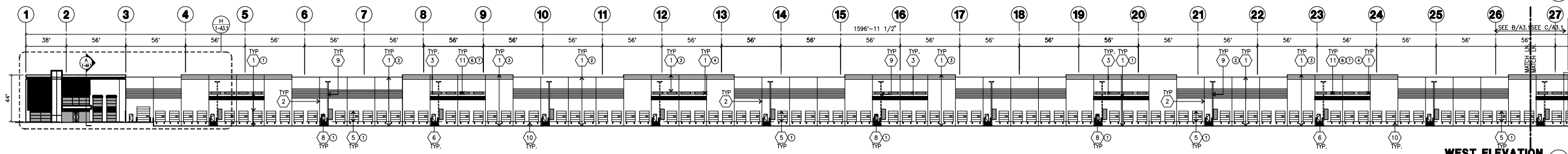


OVERALL FLOOR PLAN
scale: 1"=60'-0"

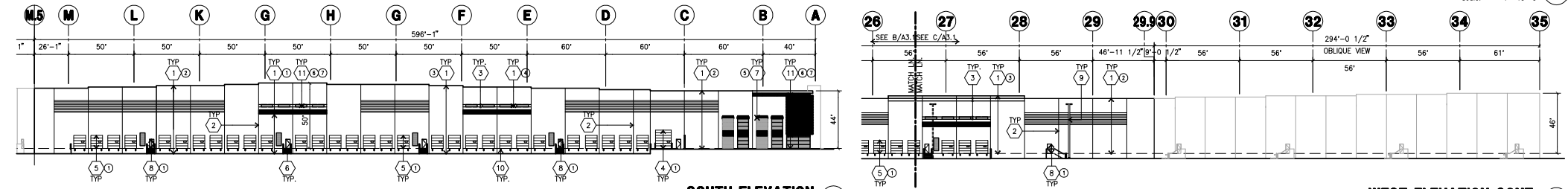




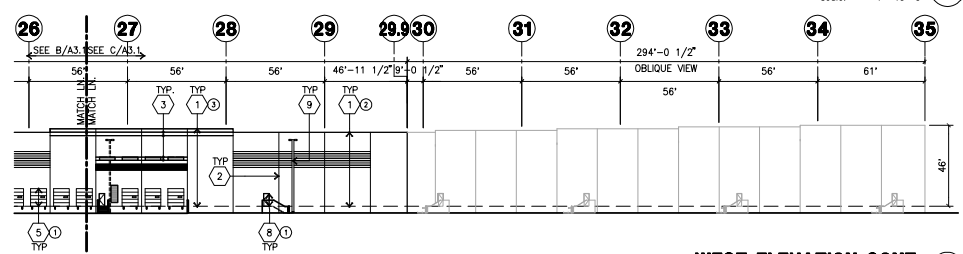
NORTH ELEVATION
scale: 1"=40'-0"



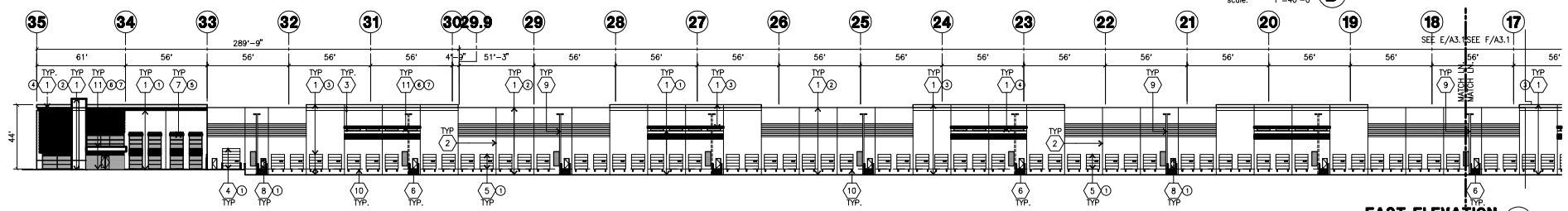
WEST ELEVATION
scale: 1"=40'-0"



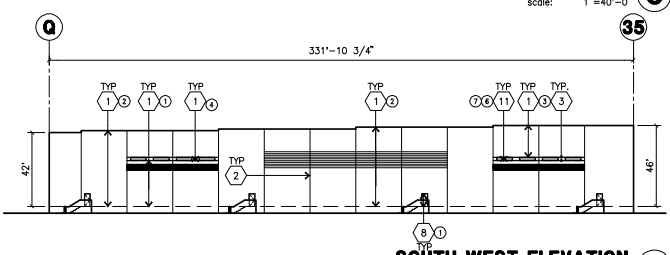
SOUTH ELEVATION
scale: 1"=40'-0"



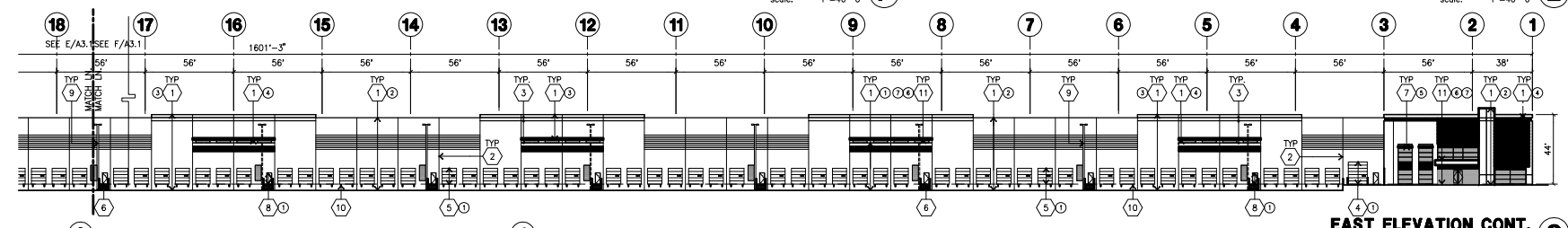
WEST ELEVATION CONT.
scale: 1"=40'-0"



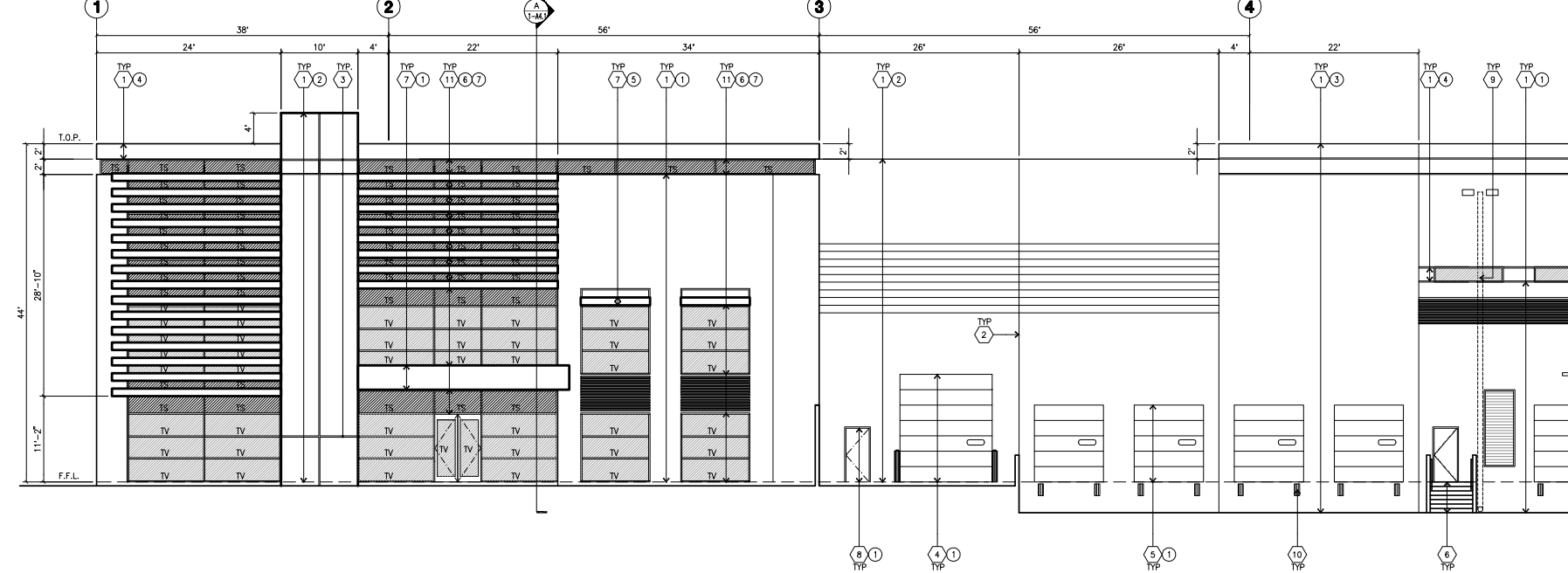
EAST ELEVATION
scale: 1"=40'-0"



SOUTH WEST ELEVATION
scale: 1"=40'-0"



EAST ELEVATION CONT.
scale: 1"=40'-0"



ENLARGED WEST ELEVATION @ POTENTIAL OFFICE AREA
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 1" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAIN TO CURB OR TANK TO STORM DRAIN. NOT REQUIRED AT DOOR HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 1" WIDE WARNING STRIPS INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM. TREAD PER ADA REQUIREMENTS.
- 7 CANOPY
- 8 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT AND OVERFLOW SCUPPERS
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPERS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

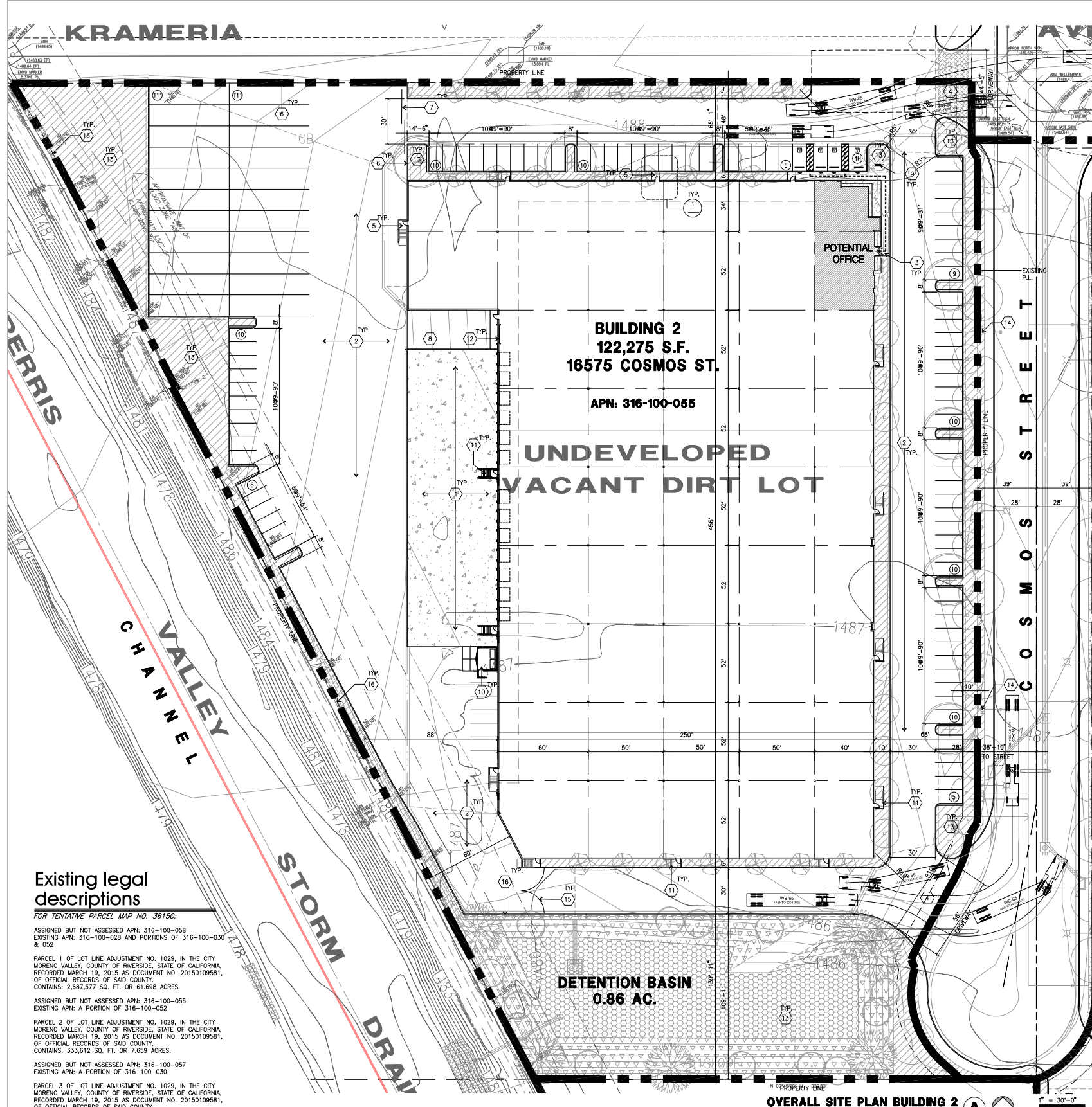
- 1 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. PLD-9 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. PLD-8 SABLE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. PLD-8 JAGGARE
- 4 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. PLD-7 LIQUORICE TINT
- 5 CANOPY PAINT BRAND, PROLOGIS STD. PLD-7 (CLEARCOAT)
- 6 MULLIONS PAINT BRAND, CLEAR ANODIZED
- 7 GLAZING COLOR: GREEN REFLECTIVE GLAZING

GLAZING LEGEND

- TEMPERED SPANDREL GLASS
- TEMPERED VISION GLASS

PAINT AND MATERIAL LEGEND

- 1
- 2
- 3
- 4
- 5



site plan general notes

1. THE SOILS REPORT IS TO BE PART OF THESE CONTRACT DOCUMENTS
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS NOTED OTHERWISE.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION, SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS.
9. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "C" DRAWINGS FOR FINISH.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE PLANNING DIVISION AND APPROVED BY PUBLIC UTILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PLANNING DIVISION.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PLANNING DIVISION.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
16. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT.
17. ALL ROOF DRAINS SHALL BE DIRECTED TO A LANDSCAPE AREA.

project information

Owner / Applicant
PROLOGIS
2817 EAST CEDAR ST. STE 200
ONTARIO, CA. 91761
TEL: (909) 673-8730 (DIRECT)
CONTACT: SCOTT MULKAY

Civil Engineer
THIENES ENGINEERING
14349 FIRESTONE BLVD.
LA MIRADA, CA 90638
TEL: (714) 521-4811
CONTACT: HEN LE

Architect
HPA, INC.
18831 BARDEEN AVE. SUITE #100
IRVING, CA 92612
TEL: (949) 863-1770
CONTACT: JAMIE CRUZ

Landscaper Architect
HUNTER LANDSCAPE
711 FEE ANA STREET
PLACENTIA, CA 92670
TEL: (714) 986-2400
CONTACT: TOM HAYES

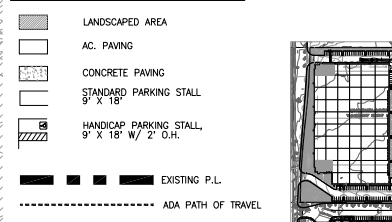
Zoning
BP (BUSINESS PARK / LIGHT INDUSTRIAL)

Assessors Parcel Number
316-100-055

site plan keynotes

1. 6" THICK MINIMUM, REINFORCED CONCRETE TRUCK APRON, W/ #3 @ 18" O.C.E.W. 3500 PSI W. CONSTRUCTION AND/OR EXPANSION JOINTS A MAXIMUM OF 18'-0" O.C. EXPANSION JOINTS TO BE A MIN. OF 1'-1/2" DEEP AND A MAXIMUM ULTIMATE WIDTH OF 1/4". VERIFY WITH SOILS ENGINEER. PROVIDE HEAVY BROOM FINISH. ALL JOINTS TO BE CLEANED AND FILLED W/ ASPHALTIC CHALKING.
2. ASPHALT CONCRETE (AC) PAVING PER SOILS ENGINEER RECOMMENDATION AS APPROVED BY THE CITY.
3. CONCRETE WALKWAY
4. DRIVEWAY APRONS TO BE CONSTRUCTED PER CITY STANDARD 118C MODIFIED. PROVIDE STAMPED CONCRETE W/ LIGHT BROOM FIN. AT ALL DRIVE LOCATIONS. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AT A MAXIMUM OF 15' O.C. SPACING.
5. 5'-0" TO 5'-6" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. 14" HIGH CONCRETE TILT-UP SCREEN WALL
7. 8" WROUGHT IRON SLIDING GATE
8. CONCRETE RAMP
9. BIKE RACK, EACH RACK HOLDS 7 BIKES
10. TRASH ENCLOSURE TO BE TWO BIN AND FULLY COVERED PER CITY STANDARD.
11. CONCRETE STAIRS AND LANDING
12. 12' X 14' DRIVE-IN DOOR
13. LANDSCAPE. SEE CONCEPTUAL LANDSCAPE PLAN.
14. FIRE HYDRANT LOCATION
15. 8" WROUGHT IRON SWING GATE.
16. 8" WROUGHT IRON FENCE.

site legend



tabulation

	BLDG. 2	s.f.
Site area (in sq. ft.)	302,839	ac
Site area (in acres)	6.95	
Building area		s.f.
warehouse office	112,275	s.f.
mezzanine office	5,000	s.f.
office	5,000	s.f.
Total	122,275	
Coverage		40.4%
Parking Required		stalls
1st. 20K @ 1/1,000 sf	20	stalls
2nd. 20K @ 1/2,000 sf	10	stalls
above 40K @ 1/4,000 sf	19	stalls
office @ 1/250 sf	40	stalls
Total	89	stalls
Parking Provided		stalls
standard (9'x18')	85	stalls
handicap (9'x18')	4	stalls
Total	89	stalls
Trailer Parking Required		
1 trailer parking per dock door	13	
New dock doors		
Trailer Parking Provided		
trailers (14'x53')	28	stalls
Landscaped Provided		
in sq. ft.	39,489	s.f.
Percentage	13%	

utility information

TELEPHONE:
VERIZON
150 SO JUANITA ST.
MENLO PARK, CA 94025
PHONE: (650) 329-5454
CONTACT: PHIL BRILLINGER

ELECTRIC:
MORENO VALLEY UTILITIES
14177 FREDERICK ST.
MORENO VALLEY, CA 92552
PHONE: (951) 413-3480
CONTACT: MICHELLE PIERCE

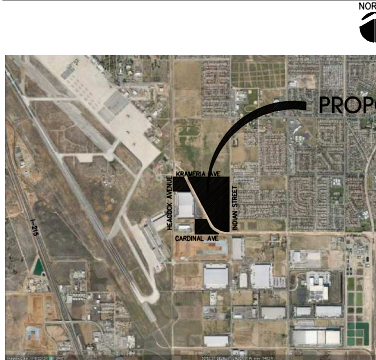
GAS:
THE GAS COMPANY
25000 TRUMBULE ROAD SC 8058
TOWNSHIP, CA 92380
PHONE: (951) 335-3902
CONTACT: DAVE MULLIGAN

WATER:
EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBULE ROAD
PERRIS, CA 92571
PHONE: (951) 928-3777
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SEWER:
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PERRIS, CA 92571
PHONE: (951) 928-3777
CONTACT: NEW BUSINESS

CABLE - TV:
TIME WARNER
1500 AUTO CENTER DR.
ONTARIO, CA 91761
PHONE: (951) 975-3380
CONTACT: MARK DAUENHAUER

vicinity map



Existing legal descriptions

FOR TENTATIVE PARCEL MAP NO. 36150:
ASSIGNED BUT NOT ASSESSED APN: 316-100-058
EXISTING APN: 316-100-028 AND PORTIONS OF 316-100-030 & 052

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 2,687,577 SQ. FT. OR 61.698 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-055
EXISTING APN: A PORTION OF 316-100-052

PARCEL 2 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 333,612 SQ. FT. OR 7.659 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-057
EXISTING APN: A PORTION OF 316-100-030

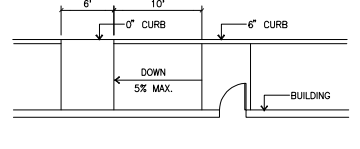
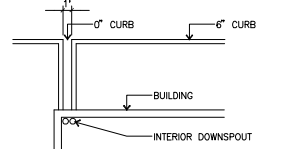
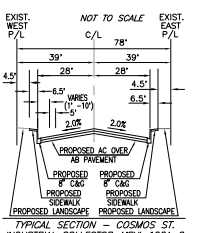
PARCEL 3 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 176,741 SQ. FT. OR 4.057 ACRES.

FOR BUILDINGS 3 AN 4:
BUILDING 3,
EXISTING APN: 316-100-048

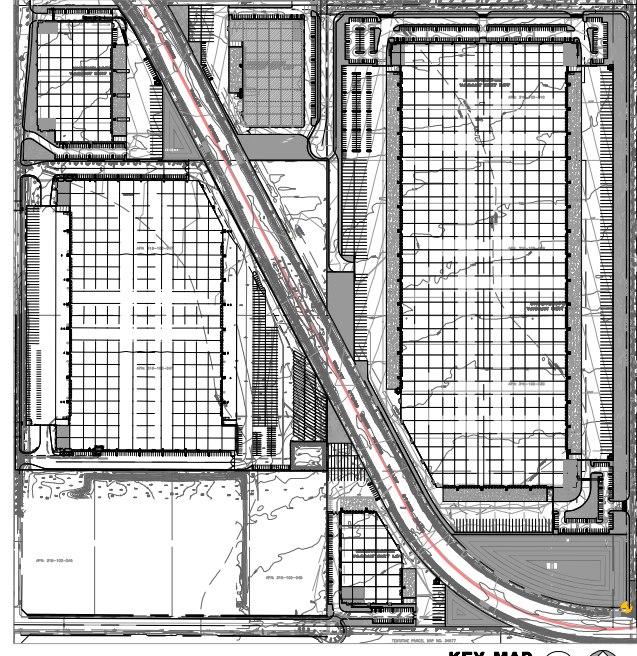
PARCEL 1 OF LOT LINE ADJUSTMENT NO. 998 AND CERTIFICATE OF COMPLIANCE IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629751 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 267,632 SQ. FT. OR 6.14 ACRES.

BUILDING 4
EXISTING APN: 316-100-051

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 999 AND CERTIFICATE OF COMPLIANCE IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 410,231 SQ. FT. OR 9.42 ACRES.



OVERALL SITE PLAN



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparcs.com

Owner:
PROLOGIS



2817 East Cedar Street - Ste.#200
Ontario, CA 91761

tel: 909-673-8730

Project:

MORENO VALLEY
LOGISTICS CENTER

BUILDING 2

16575 Cosmos St.
Moreno Valley, CA 92551

Consultants:

- Civil: Thienes Engineering
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscaper: Hunter Landscape
- Fire Protection: -
- Soils Engineer: -

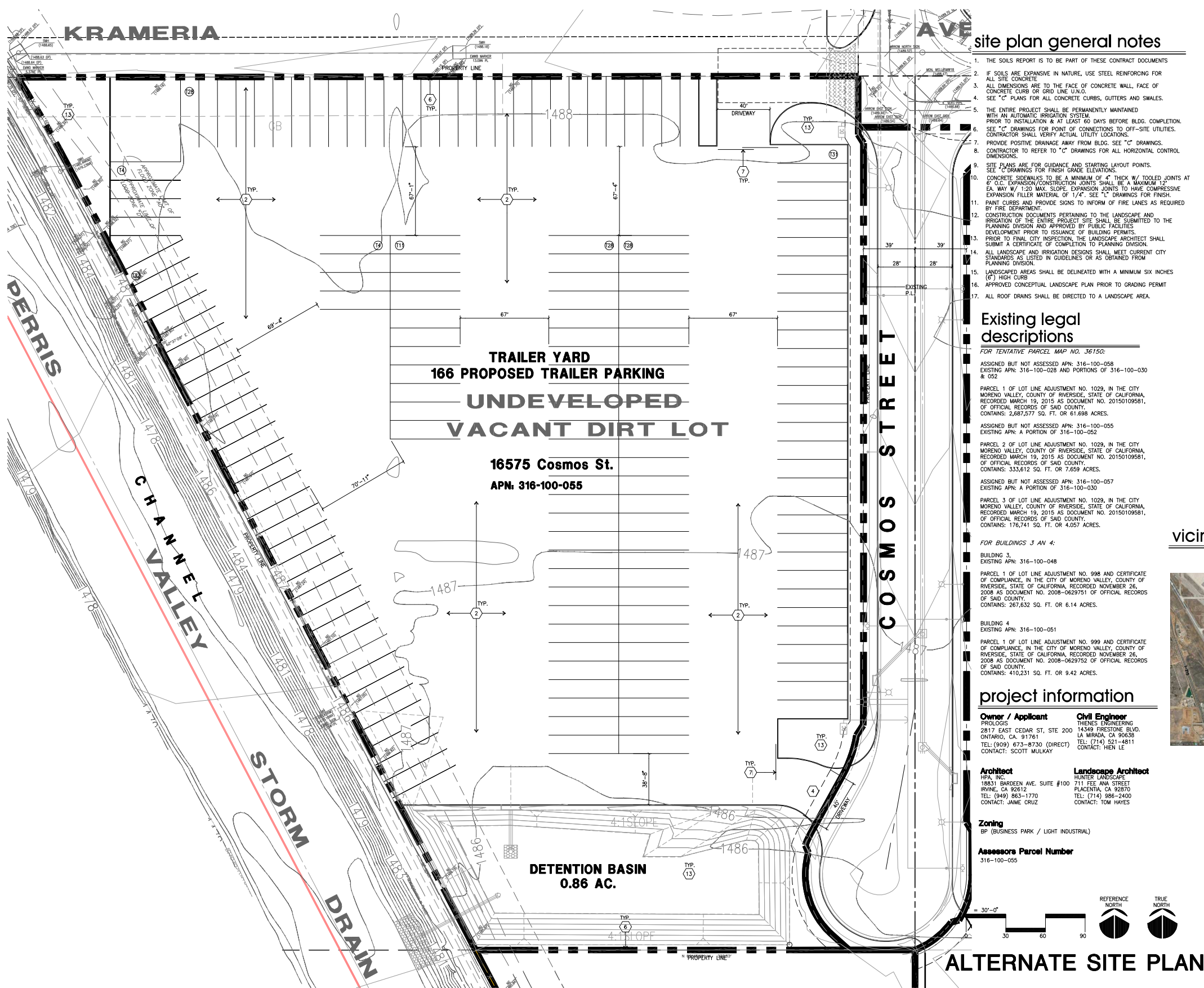
Title: overall site plan

Project Number: 14092
Drawn by: J.E.C.
Date: 8-26-2016
Revision:

Sheet:

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PA15-0014-0018



site plan general notes

1. THE SOILS REPORT IS TO BE PART OF THESE CONTRACT DOCUMENTS
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS NOTED OTHERWISE
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM. PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION, CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
7. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS.
8. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
9. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. MAX W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" SEE "C" DRAWINGS FOR FINISH.
10. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
11. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE PLANNING DIVISION AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
12. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PLANNING DIVISION.
13. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PLANNING DIVISION.
14. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
15. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT
16. ALL ROOF DRAINS SHALL BE DIRECTED TO A LANDSCAPE AREA.

Existing legal descriptions

FOR TENTATIVE PARCEL MAP NO. 36150:
ASSIGNED BUT NOT ASSESSED APN: 316-100-058
EXISTING APN: 316-100-028 AND PORTIONS OF 316-100-030 & 052

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 2,687,577 SQ. FT. OR 61.688 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-055
EXISTING APN: A PORTION OF 316-100-052

PARCEL 2 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 333,612 SQ. FT. OR 7.659 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-057
EXISTING APN: A PORTION OF 316-100-030

PARCEL 3 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 176,741 SQ. FT. OR 4.057 ACRES.

FOR BUILDINGS 3 AND 4:
BUILDING 3, EXISTING APN: 316-100-048

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 998 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 267,632 SQ. FT. OR 6.14 ACRES.

BUILDING 4 EXISTING APN: 316-100-051

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 999 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 410,231 SQ. FT. OR 9.42 ACRES.

project information

Owner / Applicant
PROLOGIS
2817 EAST CEDAR ST, STE 200
ONTARIO, CA 91761
TEL: (909) 673-8730 (DIRECT)
CONTACT: SCOTT MULKAY

Civil Engineer
THIENES ENGINEERING
14349 FIRESTONE BLVD.
LA MIRADA, CA 90638
TEL: (714) 521-4811
CONTACT: HEN LE

Architect
HPA, INC.
18511 BARDEEN AVE. SUITE #100
IRVINE, CA 92612
TEL: (949) 863-1770
CONTACT: JAMIE CRUZ

Landscape Architect
HUNTER LANDSCAPE
711 FEE ANA STREET
PLACENTIA, CA 92870
TEL: (714) 986-2400
CONTACT: TOM HAYES

Zoning
BP (BUSINESS PARK / LIGHT INDUSTRIAL)

Assessors Parcel Number
316-100-055

site plan keynotes

- 1 NOT USED
- 2 ASPHALT CONCRETE (AC) PAVING PER SOILS ENGINEER RECOMMENDATION AS APPROVED BY THE CITY.
- 3 NOT USED
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER CITY STANDARD 118C MODIFIED. PROVIDE STAMPED CONCRETE W/ LIGHT BROOM FIN. AT ALL DRIVE LOCATIONS. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AT A MAXIMUM OF 15' O.C. SPACING.
- 5 NOT USED
- 6 14" HIGH CONCRETE TILT-UP SCREEN WALL
- 7 8" WROUGHT IRON SLIDING GATE.
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 LANDSCAPE. SEE CONCEPTUAL LANDSCAPE PLAN.

utility information

TELEPHONE:
VERIZON 150 SO JUANITA ST. HEMET, CA 92343
PHONE: (951) 658-7305
CONTACT: PHIL BRULLINGER

ELECTRIC:
MORENO VALLEY UTILITIES 14177 FREDERICK ST. MORENO VALLEY, CA 92555
PHONE: (951) 413-5489
CONTACT: MICHELLE PIERCE

GAS:
THE GAS COMPANY 25200 TRUMBULE ROAD SC 8058 COWLAND, CA 92820
PHONE: (951) 335-3902
CONTACT: GAVI MULLIKAN

WATER:
EASTERN MUNICIPAL WATER DISTRICT 2270 TRUMBULE ROAD PERRIS, CA 92571
PHONE: (951) 928-3777
CONTACT: NEW BUSINESS

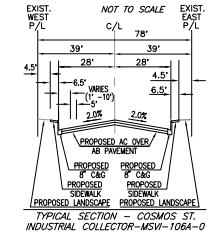
SEWER:
EASTERN MUNICIPAL WATER DISTRICT 2270 TRUMBULE ROAD PERRIS, CA 92571
PHONE: (951) 928-3777
CONTACT: NEW BUSINESS

CABLE - TV:
TIME WARNER 1500 AUTO CENTER DR. ONTARIO, CA 91761
PHONE: (951) 975-3380
CONTACT: MARK DAUENHAUER

site legend

- LANDSCAPED AREA
- AC. PAVING
- CONCRETE PAVING
- STANDARD PARKING STALL 9' X 18'
- HANDICAP PARKING STALL 9' X 18' W/ 2' O.H.
- PROPOSED R.W., EXISTING P.L.

vicinity map



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca 92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:
PROLOGIS

Project:
MORENO VALLEY LOGISTICS CENTER

BUILDING 2

16575 Cosmos St.
Moreno Valley, CA 92551

tel: 909-673-8730

Consultants:

Civil: THIENES ENGINEERING

Structural: -

Mechanical: -

Plumbing: -

Electrical: -

Landscape: HUNTER LANDSCAPE

Fire Protection: -

Soils Engineer: -

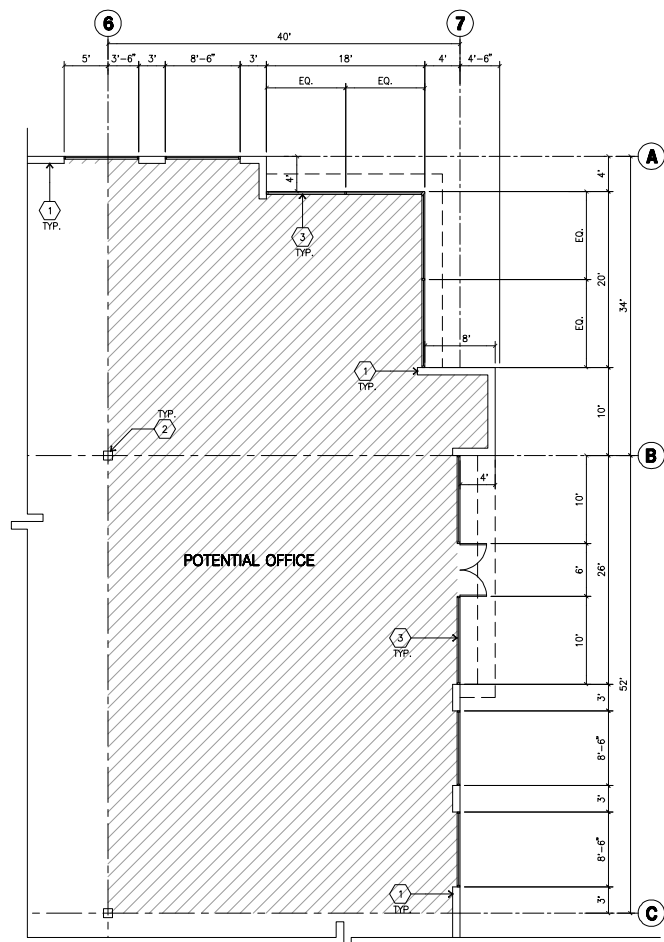
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Project Number: 14092

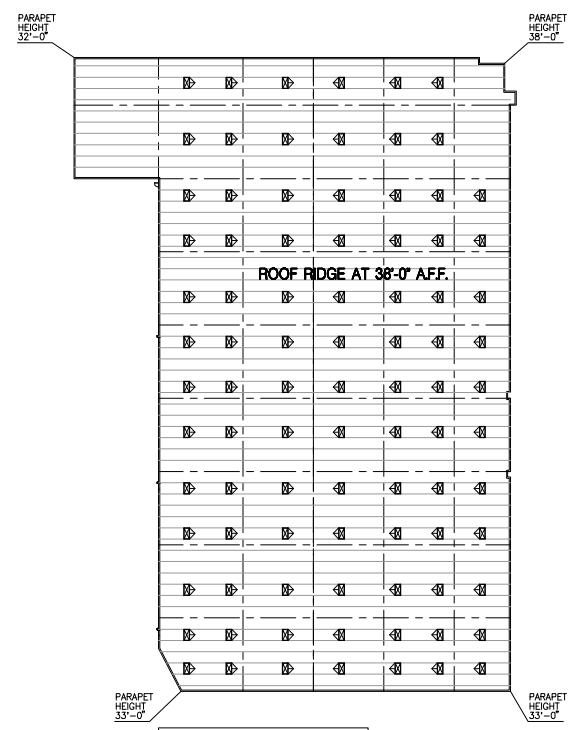
Drawn by: J.E.C.

Date: 8-26-2016

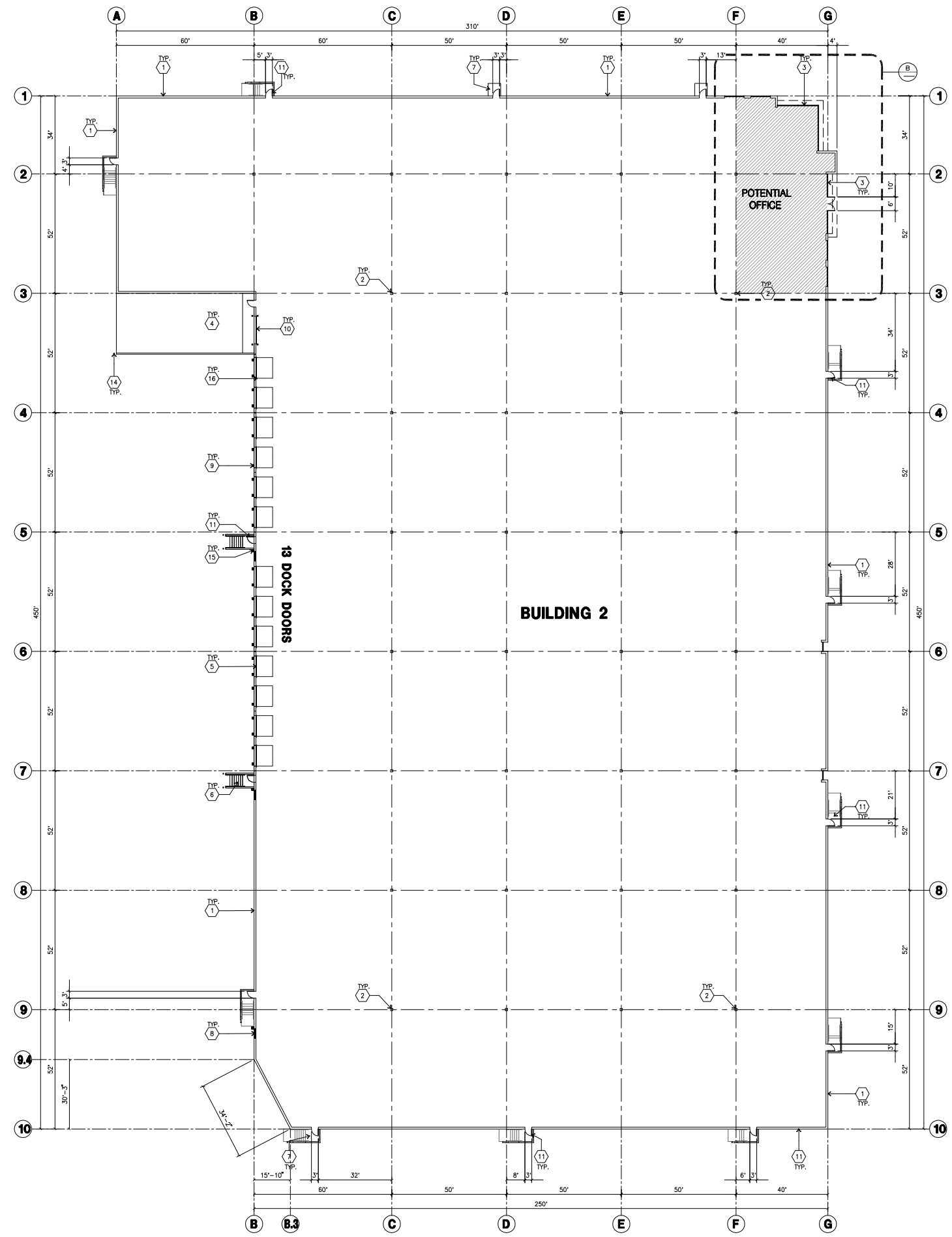
Revision:



ENLARGED FLOOR PLAN B
 scale: 1/8"=1'-0"
 TRUE NORTH



OVERALL ROOF PLAN C
 scale: 1"=50'-0"
 TRUE NORTH



OVERALL FLOOR PLAN A
 scale: 1"=20'-0"
 TRUE NORTH

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR.
- 7 5'-0" X 5'-0" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" MAX PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 DOCK DOOR BUMPER.
- 9 LOUVERED OPENING FOR VENTILATION.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 DESIGNED TO RESIST WIND 110 MPH, EXPOSURE "C".
- 12 3" X 3" HOLLOW METAL EXTERIOR MAN DOOR.
- 13 DESIGNED TO RESIST WIND 110 MPH, EXPOSURE "C".
- 14 SOFFIT LINE ABOVE.
- 15 BRACE FRAME.
- 16 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 17 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 18 Z GUARD.
- 19 APPROXIMATE LOCATION OF ROOF TOP UNIT.
- 20 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 90%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UNREINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 16" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-IR-96
 - G. SAW-CUT DEPTH 1/4"; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. NOT USED
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 7. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FT35 FL24 MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE
 12. WHERE INDICATED, PROVIDE VAPOR BARRIER (5MIL STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.

CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIGORAN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.

CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, OR LINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11339.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.

HPA
 architecture

hpa, inc.
 18831 barden avenue - ste. #100
 Irvin, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hpaarch.com

Owner:
PROLOGIS

PROLOGIS

2817 East Cedar Street - Ste.#200
 Ontario, CA 91761

tel: 909-673-8730

Project:
MORENO VALLEY LOGISTICS CENTER

BUILDING 2

18575 Cosmos St.
 Moreno Valley, CA 92551

Consultants:

Civil: **Thanes Engineering**

Structural: -

Mechanical: -

Plumbing: -

Electrical: -

Landscape: **Hunter Landscape**

Fire Protection: -

Soils Engineer: -

Title: **OVERALL FLOOR PLAN**

Project Number: **14092**

Drawn by: **J.E.C.**

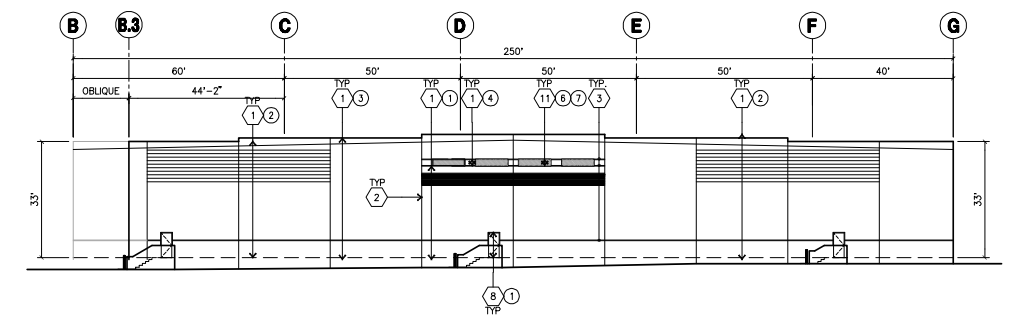
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Revision:

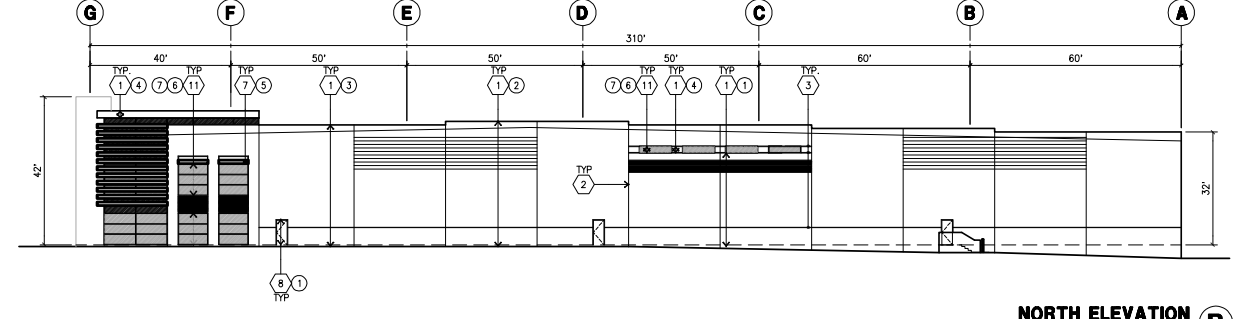
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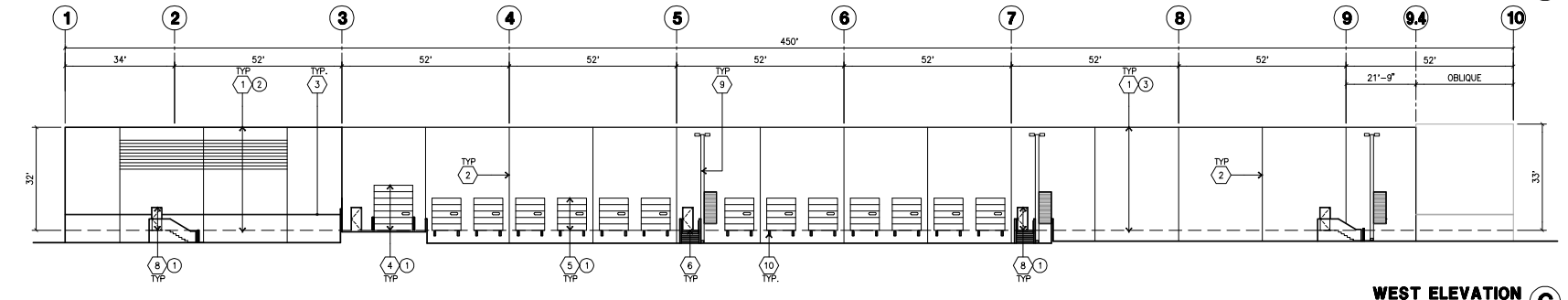
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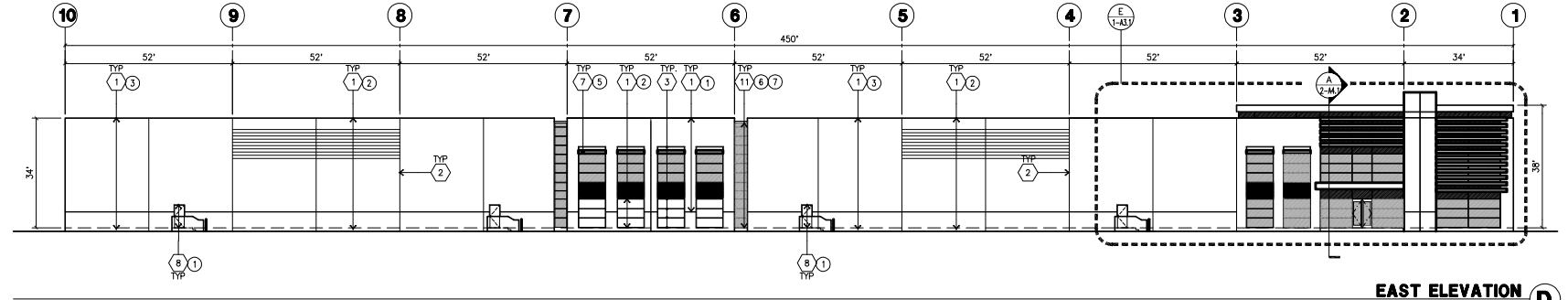
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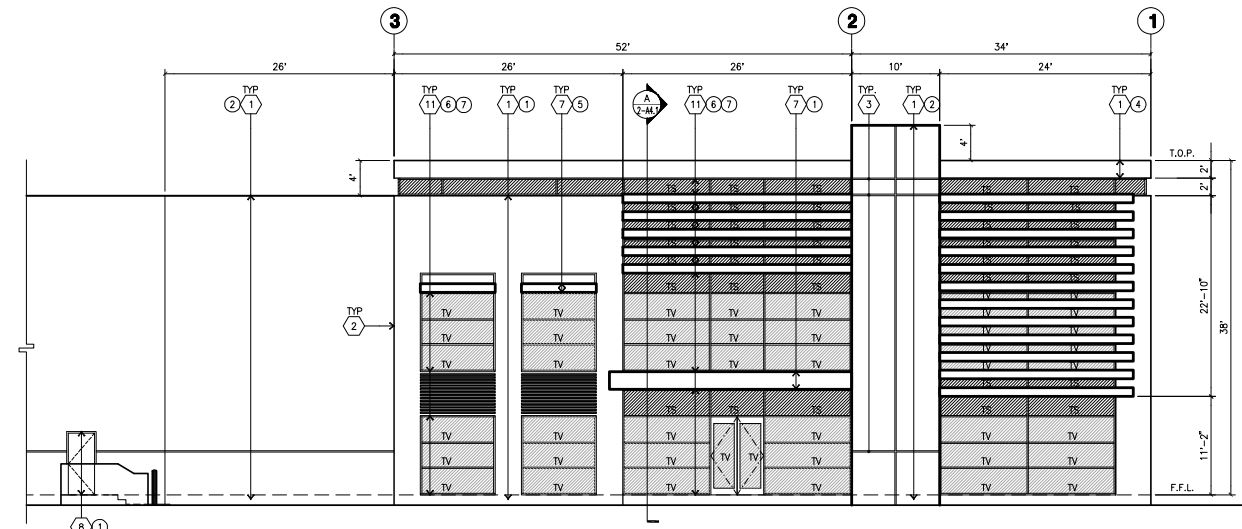
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WEST ELEVATION
scale: 1"=20'-0"



EAST ELEVATION
scale: 1"=20'-0"



ENLARGED EAST ELEVATION • POTENTIAL OFFICE AREA
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR • DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR • DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON-SLIP NOSSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 CANOPY
- 8 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT AND OVERFLOW SCUPPERS
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPERS



GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON






COLOR SCHED. - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. FLD-9 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. FLD-4 SABLE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. FLD-8 JAGUAR
- 4 CONCRETE TILT-UP PANEL PAINT BRAND, PROLOGIS STD. FLD-7 LUDWIGICE TNT
- 5 CANOPY PAINT BRAND, PROLOGIS STD. FLD-7 (CLEARCOAT)
- 6 MULLIONS PAINT BRAND, CLEAR ANODIZED
- 7 GLAZING COLOR GREEN REFLECTIVE GLAZING

GLAZING LEGEND

-  TEMPERED SPANDREL GLASS
-  TEMPERED VISION GLASS

PAINT AND MATERIAL LEGEND

- 1 
- 2 
- 3 
- 4 
- 5 

project information

Owner / Applicant
 PROLOGIS
 2817 EAST CEDAR ST, STE 200
 ONTARIO, CA 91761
 TEL: (909) 673-8730 (DIRECT)
 CONTACT: SCOTT MULKAY

Civil Engineer
 THIENES ENGINEERING
 14349 FRESTONE BLVD.
 LA MIRADA, CA 90638
 TEL: (714) 521-4811
 CONTACT: HEN LE

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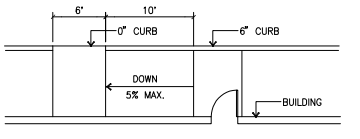
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 HUNTER LANDSCAPE
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 TEL: (714) 986-2400
 CONTACT: TOM HAYES

Zoning
 BP (BUSINESS PARK / LIGHT INDUSTRIAL)

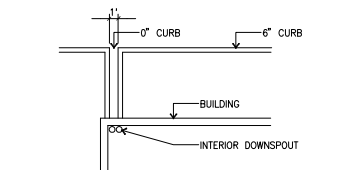
Assessors Parcel Number
 316-100-048

site plan general notes

- THE SOILS REPORT IS TO BE PART OF THESE CONTRACT DOCUMENTS
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM
- PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION, SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROMOTE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE PLANNING DIVISION AND APPROVED BY PUBLIC UTILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PLANNING DIVISION.
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- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT
- ALL ROOF DRAINS SHALL BE DIRECTED TO A LANDSCAPE AREA.



EXIT RAMP, TYP
 scale: 1/8" = 1'-0"



CURB CUT, TYP
 scale: 1/8" = 1'-0"

Existing legal descriptions

FOR TENTATIVE PARCEL MAP NO. 36150:
 ASSIGNED BUT NOT ASSESSED APN: 316-100-058
 EXISTING APN: 316-100-028 AND PORTIONS OF 316-100-030 & 052

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 2,687,577 SQ. FT. OR 61.698 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-055
 EXISTING APN: A PORTION OF 316-100-052

PARCEL 2 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 333,612 SQ. FT. OR 7.659 ACRES.

ASSIGNED BUT NOT ASSESSED APN: 316-100-057
 EXISTING APN: A PORTION OF 316-100-030

PARCEL 3 OF LOT LINE ADJUSTMENT NO. 1029, IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED MARCH 19, 2015 AS DOCUMENT NO. 20150109581, OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 176,741 SQ. FT. OR 4.057 ACRES.

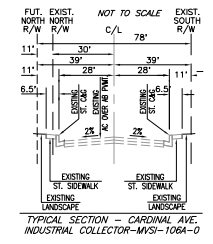
FOR BUILDINGS 3 AND 4:

BUILDING 3:
 EXISTING APN: 316-100-048

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 998 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629751 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 267,632 SQ. FT. OR 6.14 ACRES.

BUILDING 4:
 EXISTING APN: 316-100-051

PARCEL 1 OF LOT LINE ADJUSTMENT NO. 999 AND CERTIFICATE OF COMPLIANCE, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED NOVEMBER 26, 2008 AS DOCUMENT NO. 2008-0629752 OF OFFICIAL RECORDS OF SAID COUNTY. CONTAINS: 410,231 SQ. FT. OR 9.42 ACRES.



site plan keynotes

- 6" THICK MINIMUM REINFORCED CONCRETE TRUCK APRON, W/ #3 @ 18" O.C.E.W. 3500 PSI W. CONSTRUCTION AND/OR EXPANSION JOINTS A MAXIMUM OF 18'-0" O.C. EXPANSION JOINTS TO BE A MIN. OF 1-1/2" DEEP AND A MAXIMUM ULTIMATE WIDTH OF 1/4". VERIFY WITH SOILS ENGINEER. PROVIDE HEAVY BROOM FINISH. ALL JOINTS TO BE CLEANED AN FILLED W/ ASPHALTIC CAULKING.
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- DRIVEWAY APRONS TO BE CONSTRUCTED PER CITY STANDARD 118C MODIFIED. PROVIDE STAMPED CONCRETE W/ LIGHT BROOM FIN. AT MIN. OF DRIVE LOCATIONS. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AT A MAXIMUM OF 15' O.C. SPACING.
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- CONCRETE STAIRS AND LANDING
- 12' X 14' DRIVE-IN DOOR
- LANDSCAPE. SEE CONCEPTUAL LANDSCAPE PLAN.
- 8" WROUGHT IRON FENCE.

utility information

TELEPHONE:
 VERIZON
 150 SO JUANITA ST.
 RENEY, CA 92554
 PHONE: (951) 658-7306
 CONTACT: PHIL BRILLINGER

ELECTRIC:
 MORENO VALLEY UTILITIES
 1417 FREDERICK ST.
 MORENO VALLEY, CA 92552
 PHONE: (951) 413-3480
 CONTACT: MICHELLE PIERCE

GAS:
 THE GAS COMPANY
 1900 TRUMBULL ROAD SC 8058
 SCOTLAND, CA 92280
 PHONE: (951) 307-3902
 CONTACT: DAVE MULLIGAN

WATER:
 EASTERN MUNICIPAL WATER DISTRICT
 2270 TRUMBULL ROAD
 PERRIS, CA 92571
 PHONE: (951) 928-3777
 CONTACT: NEW BUSINESS

SEWER:
 EASTERN MUNICIPAL WATER DISTRICT
 2270 TRUMBULL ROAD
 PERRIS, CA 92571
 PHONE: (951) 928-3777
 CONTACT: NEW BUSINESS

CABLE - TV:
 TIME WARNER
 1500 AUTO CENTER DR.
 ONTARIO, CA 91761
 PHONE: (951) 975-3380
 CONTACT: MARK DAUENHAUER

site legend

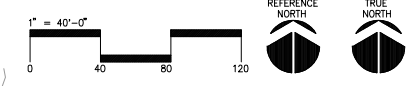
- LANDSCAPED AREA
- AC. PAVING
- CONCRETE PAVING
- STANDARD PARKING STALL
- HANDICAP PARKING STALL, 9' X 18' W/ 2' O.H.
- EXISTING P.L.
- PROPERTY LINE
- ADA PATH OF TRAVEL

vicinity map

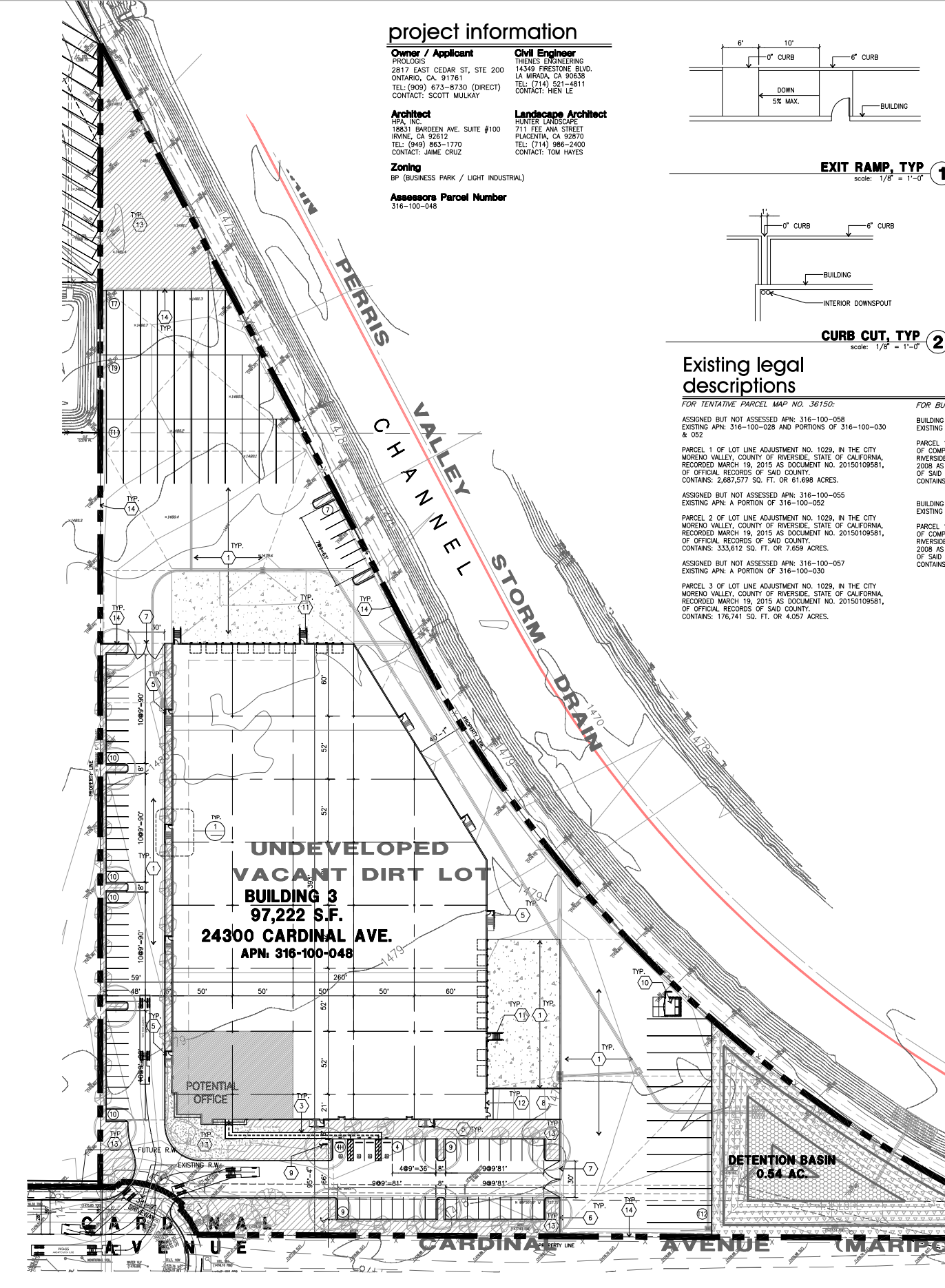
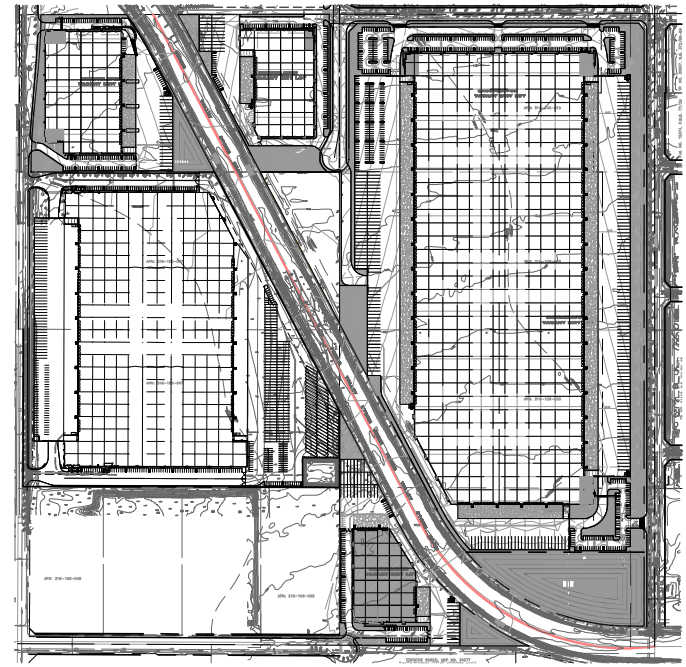


tabulation

	BLDG. 3
Site area (in sq.ft.)	286,912 s.f.
Site area (in acres)	6.59 ac
Building area	
warehouse	87,222 s.f.
mezzanine office	5,000 s.f.
office	5,000 s.f.
Total	97,222 s.f.
Coverage	33.9%
Parking Required	
1st. 20K @ 1/1,000 sf	10 stalls
2nd. 20K @ 1/2,000 sf	20 stalls
above 40K @ 1/4,000 sf	12 stalls
office @ 1/250 sf	40 stalls
Total	82 stalls
Parking Provided	
standard (9'x18')	78 stalls
handicap (9'x18')	4 stalls
Total	82 stalls
Trailer Parking Required	
1 trailer parking per dock door	
New dock doors	17
Trailer Parking Provided	
trailers (14'x53')	39 stalls
Landscape Provided	
in sq. ft.	52,530 s.f.
Percentage	18%



OVERALL SITE PLAN



OVERALL SITE PLAN BUILDING 3
 scale: 1" = 40'-0"



hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparcs.com

Owner:
 PROLOGIS
 2817 East Cedar Street - Ste.#200
 Ontario, CA 91761
 tel: 909-673-8730

Project:
 MORENO VALLEY
 LOGISTICS CENTER
 BUILDING 3
 24300 Cardinal Ave.
 Moreno Valley, CA 92551

Consultants:

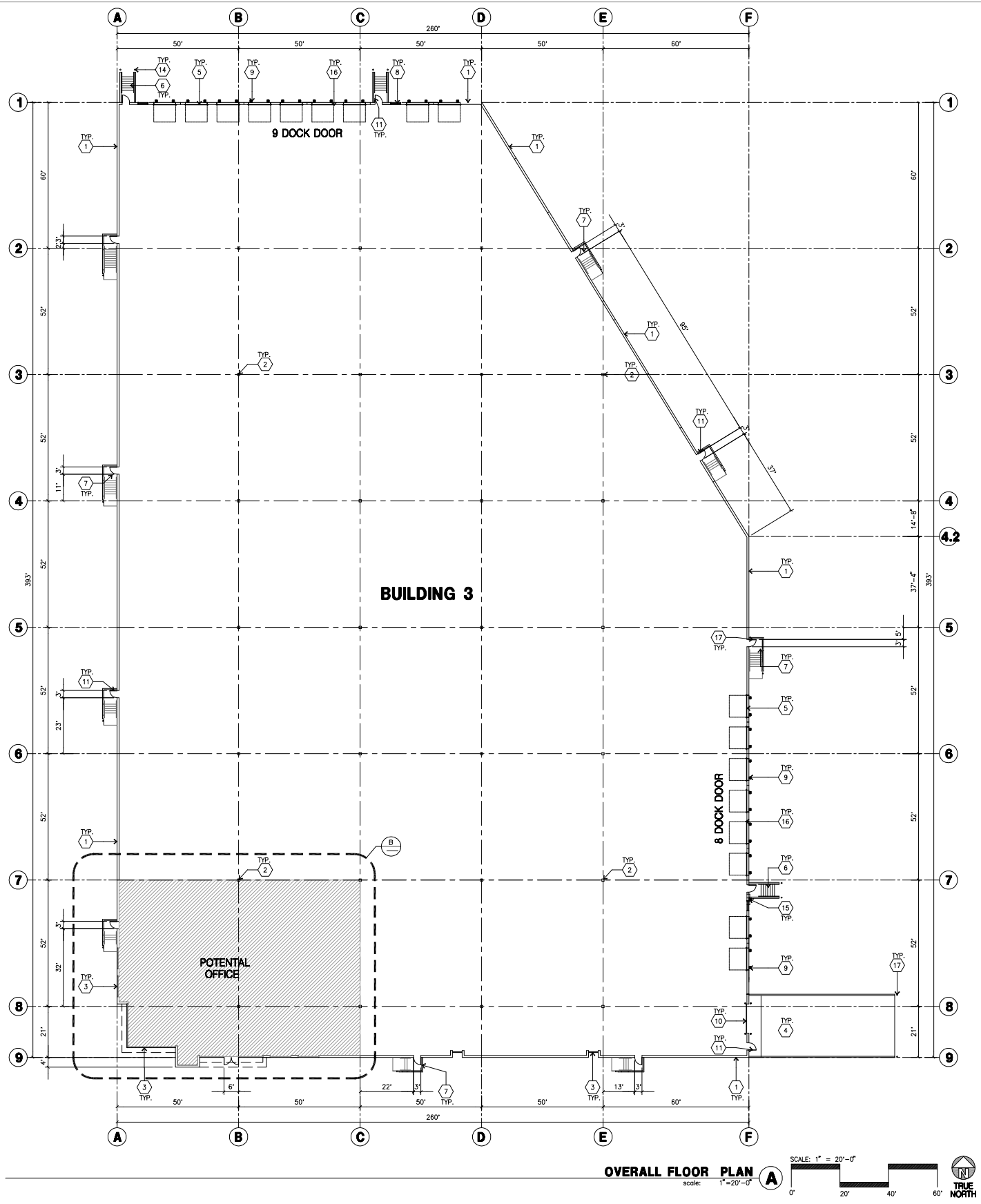
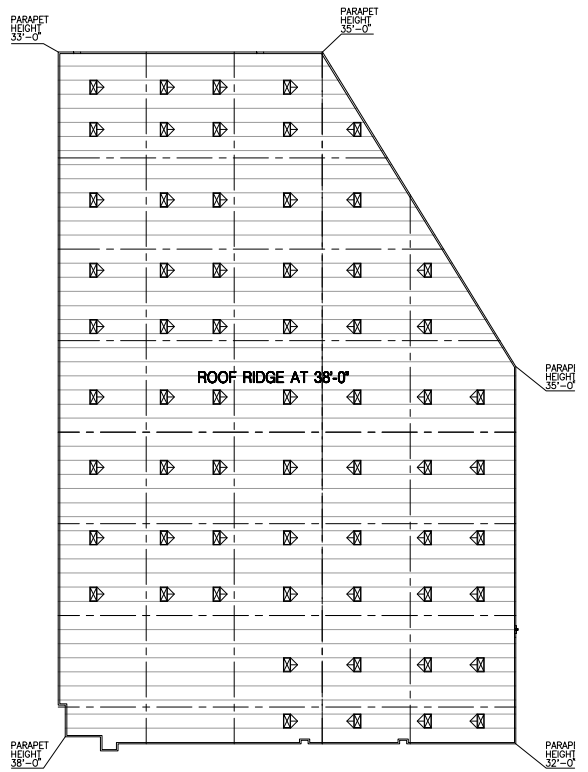
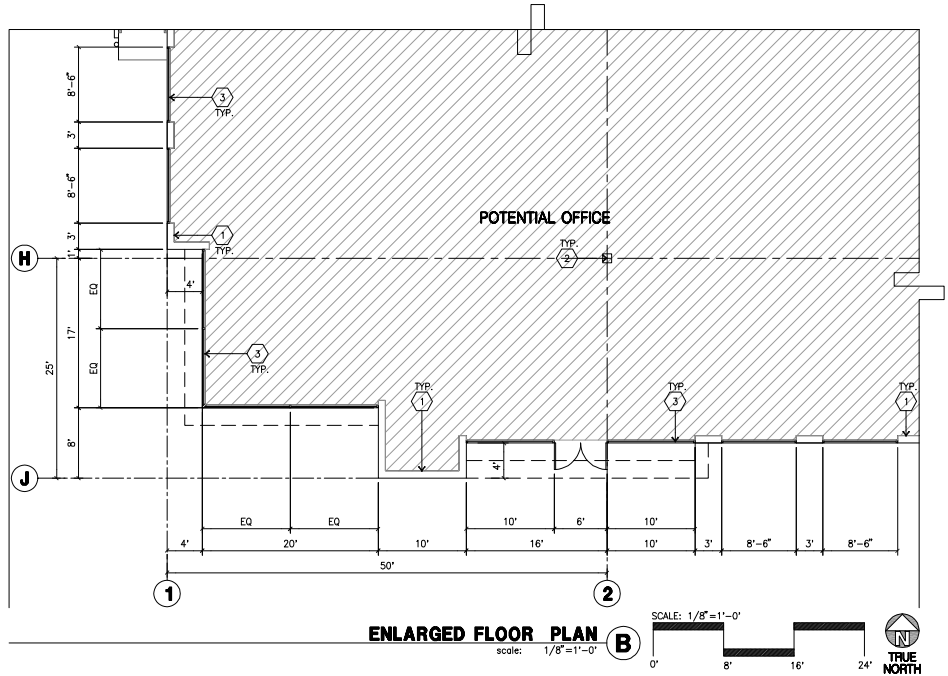
Civil: Thienes Engineering
 Structural: -
 Mechanical: -
 Plumbing: -
 Electrical: -
 Landscape: Hunter Landscape
 Fire Protection: -
 Soils Engineer: -

Title: **OVERALL SITE PLAN**

Project Number: 14092
 Drawn by: J.E.C.
 Date: 8-26-2016
 Revision:

Sheet:
3-DAB-A1.1
 PA15-0014-0018





KEYNOTES - FLOOR PLAN

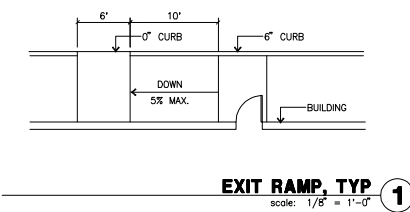
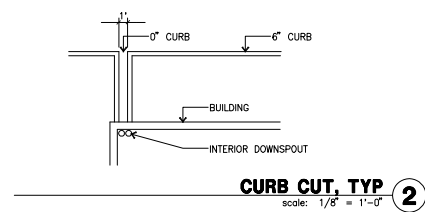
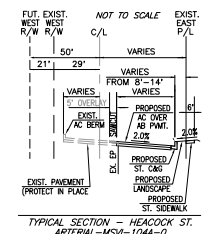
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAR.
- 7 3'-4" TO 4'-0" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANGGASSED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 COVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12" X 14" DRINK THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST WIND 110 MPH., EXPOSURE "C".
- 11 3" X 3" HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST MIN 110 MPH. EXPOSURE "C". SOFFIT LINE ABOVE.
- 12 BRACE FRAME.
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 14 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 15 Z GUARD.
- 16 APPROXIMATE LOCATION OF ROOF TOP UNIT.
- 17 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OVP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS, PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1.
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.

FLOOR SLAB AND POUR STRIPS REQ.

- 1. FLOOR COMPACTION - 95%
- 2. TRENCH COMPACTION - 90%
- 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UNREINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 16" LONG @ 24" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. SLOPE SPACING PER A.C.I. 302-R-96
 - G. SAW-CUT DEPTH 1/4 1; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 - H. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96
- 4. NOT USED
- 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
- 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
- 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPERED.
- 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
- 9. SLAB TO BE FF35 FL24 MEASURED WITHIN 24 HOURS.
- 10. NO FLY ASH IN THE CONCRETE
- 11. WHERE [Hatched Area] INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND OVER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WIGGERS ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
- 13. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
- 14. SEAL CONCRETE SLAB W/ "LIPODUR" SEALER



tabulation

BLDG. 4	377,844 s.f.
Site area (in sq.ft.)	377,844 s.f.
Site area (in acres)	8.67 ac
Building area	
warehouse	154,920 s.f.
mezzanine office	5,000 s.f.
office	5,000 s.f.
Total	164,920 s.f.
Coverage	43.6%
Parking Required	
1st. 20K @ 1/1,000 sf	20 stalls
2nd. 20K @ 1/2,000 sf	10 stalls
above 40K @ 1/4,000 sf	29 stalls
office @ 1/250 sf	40 stalls
Total	99 stalls
Parking Provided	
standard (9'x18')	95 stalls
handicap (9'x18')	4 stalls
Total	99 stalls
Trailer Parking Required	
1 trailer parking per dock door	
New dock doors	25
Trailer Parking Provided	
trailers (14'x53')	25 stalls
Landscape Provided	
in sq. ft.	72,086 s.f.
Percentage	19%

vicinity map



site plan keynotes

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utility information

TELEPHONE:
VERIZON 150 SO JUANITA ST. HEMET, CA 92344
HEMET (951) 658-7305
CONTACT: PHIL BRILLINGER

ELECTRIC:
MORENO VALLEY UTILITIES 2770 TRUMBULE ROAD MORENO VALLEY, CA 92552
PHONE: (951) 411-2838
CONTACT: MICHELLE PERRE

GAS:
THE GAS COMPANY 2500 TRUMBULE ROAD SC 8058 ORLANDO, CA 91761
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CABLE - TV:
TIME WARNER 1500 AUTO CENTER DR. ORLANDO, CA 91761
PHONE: (951) 875-3380
CONTACT: MARK DALENWALDER

site legend

- LANDSCAPED AREA
- AC. PAVING
- CONCRETE PAVING
- STANDARD PARKING STALL
- HANDICAP PARKING STALL 9' X 18' W/ 2' C.H.
- PROPERTY LINE OR R.W.
- ADA PATH OF TRAVEL

OVERALL SITE PLAN

Existing legal descriptions

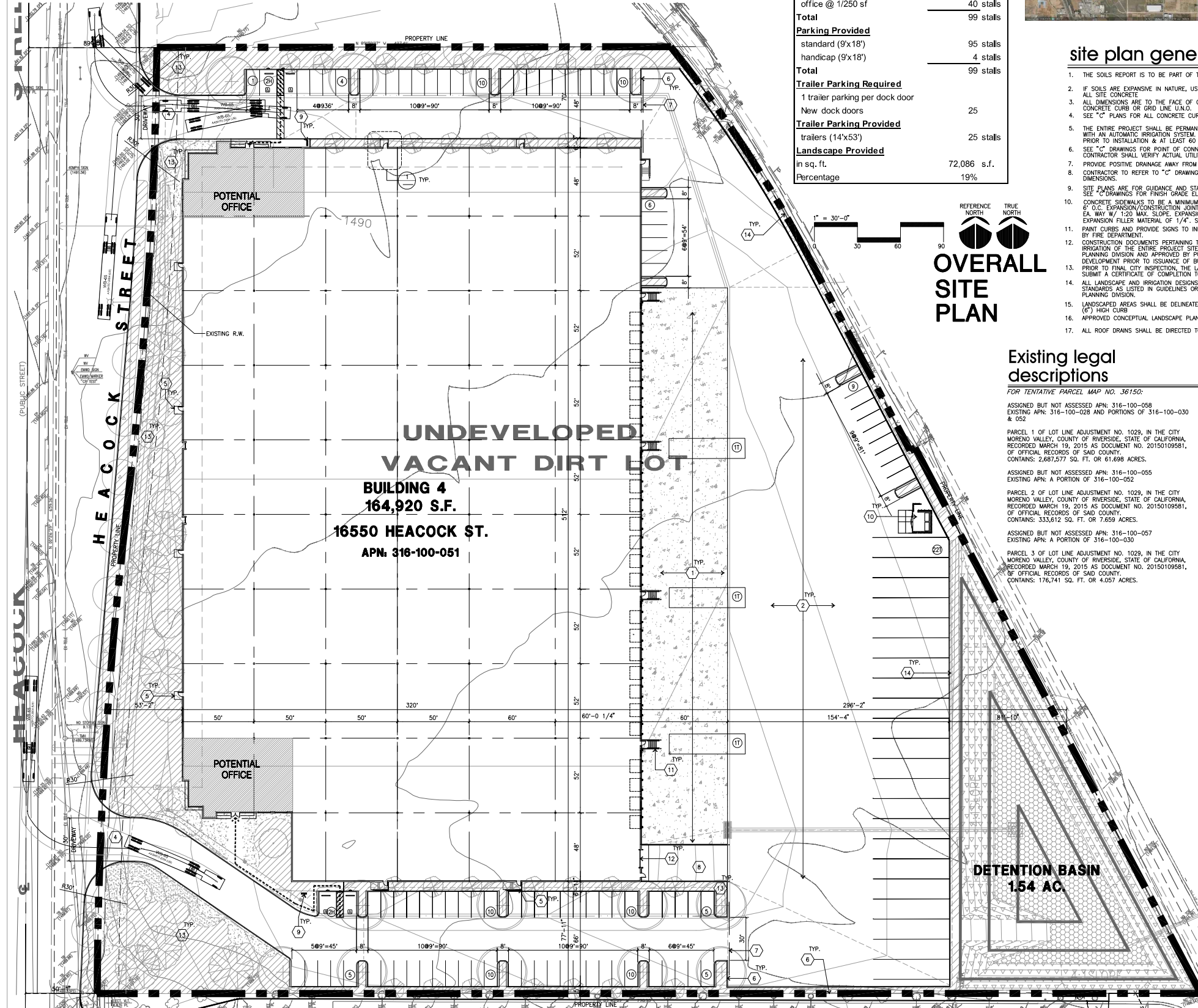
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OVERALL SITE PLAN BUILDING 4
scale: 1" = 30'-0"

KEY MAP
scale: N.T.S.



hpa, inc.
18831 bardeen avenue - ste. #100
irvine, ca 92612
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Project:
MORENO VALLEY LOGISTICS CENTER
BUILDING 4
16550 Heacock St.
Moreno Valley, CA 92551

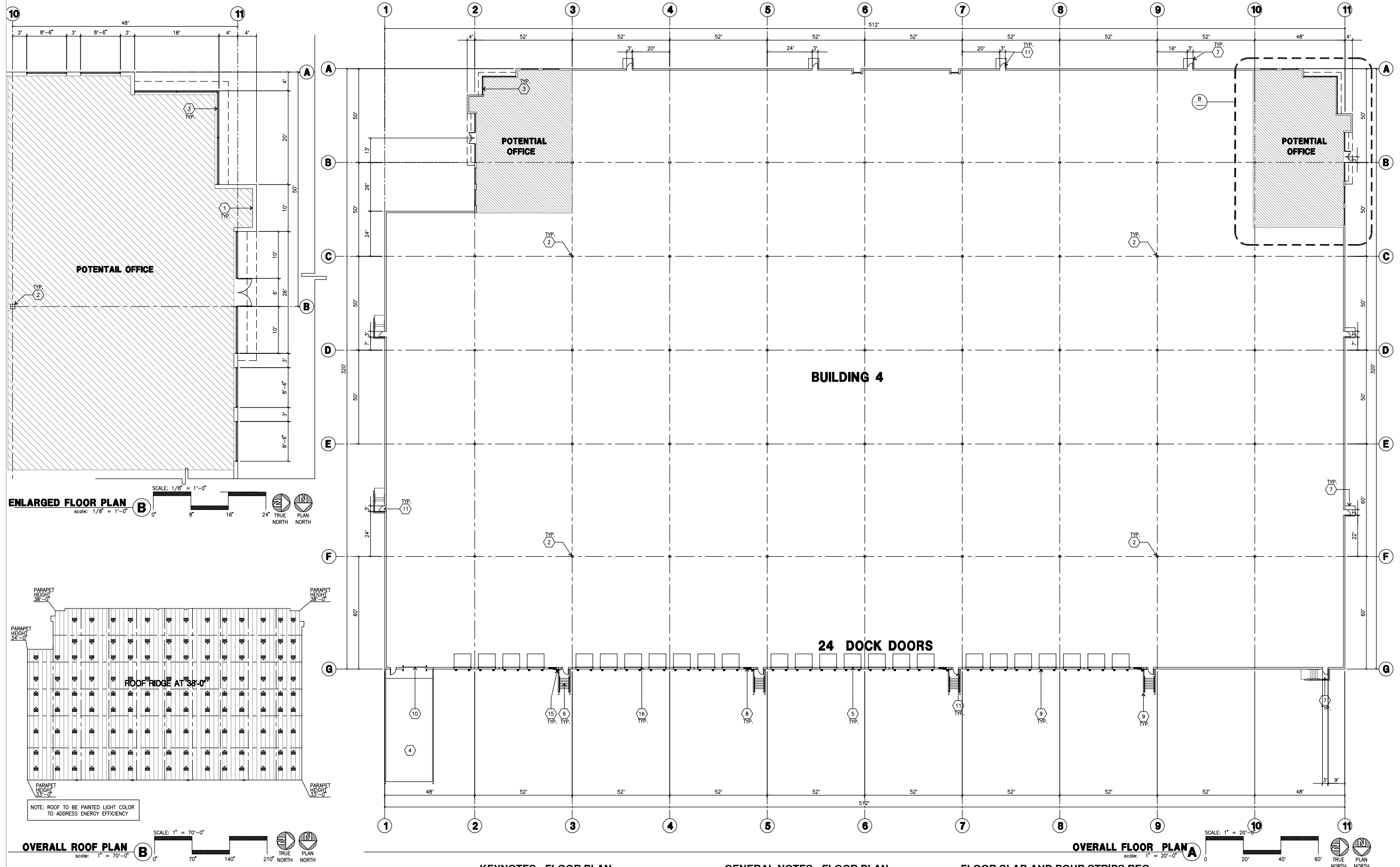
Consultants:

Civil: Thienes Engineering
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: Hunter Landscape
Fire Protection: -
Soils Engineer: -

Title: overall site plan

Project Number: 14092
Drawn by: J.E.C.
Date: 8-26-2016
Revision:


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KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL "SHOWFRONT" SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-4" X 8'-0" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOOVED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12" X 14" DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST WIND 110 MPH, EXPOSURE "C".
- 11 7'-0" HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST WIND 110 MPH, EXPOSURE "C".
- 12 SOFFIT LINE ABOVE
- 13 BRACE FRAME.
- 14 CONC. FILLED GUARD POST. 8" DIA. U.N.O., 42" H.
- 15 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 16 Z GUARD
- 17 APPROXIMATE LOCATION OF ROOF TOP LINT.
- 18 INTERIOR ROOFDRAN WITH OVERFLOW SCUPPERS.

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1" COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE: 
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 90%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UNREINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 16" LONG ϕ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG ϕ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLOPE TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-IR-96
 - G. SAW-CUT DEPTH 1/4 1; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. NOT USED
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 7. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FF35 FL24 MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE
 12. WHERE  INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO DR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 13. SEAL CONCRETE SLAB W/ "LIPDOLITH" SEALER.

ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
TRUE NORTH
PLAN NORTH

OVERALL ROOF PLAN
scale: 1" = 70'-0"
TRUE NORTH
PLAN NORTH

OVERALL FLOOR PLAN
scale: 1" = 20'-0"
TRUE NORTH
PLAN NORTH



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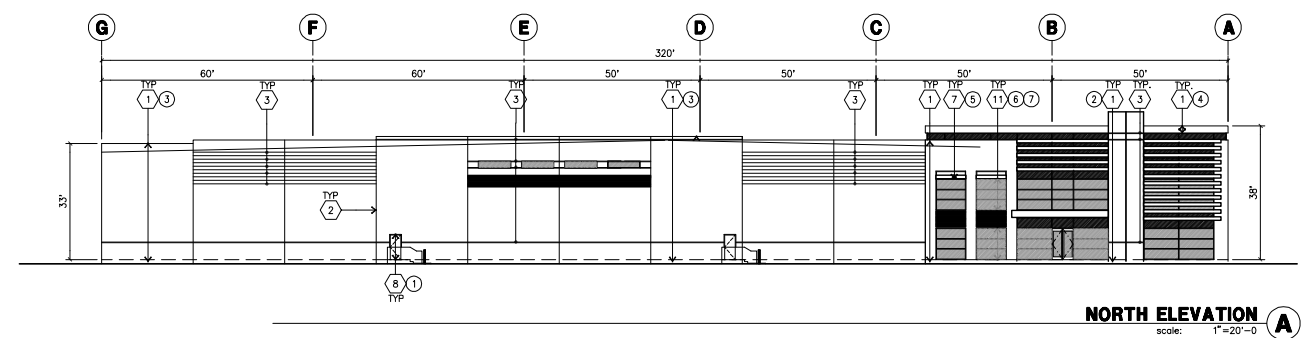
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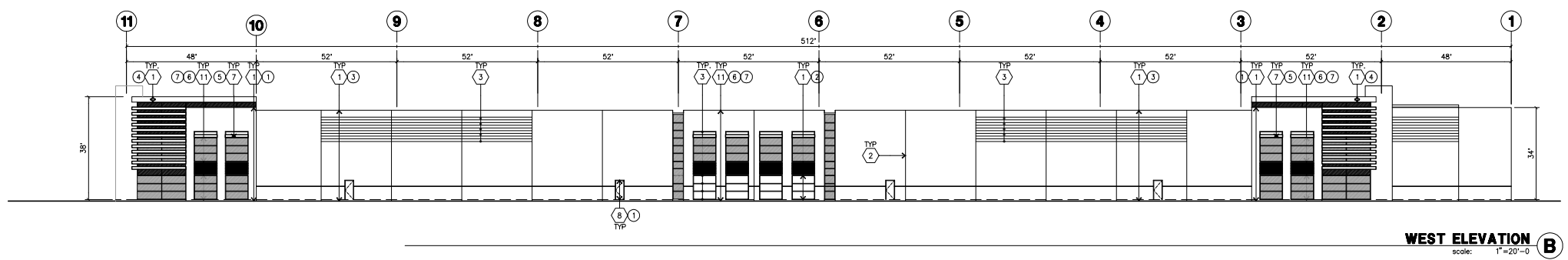
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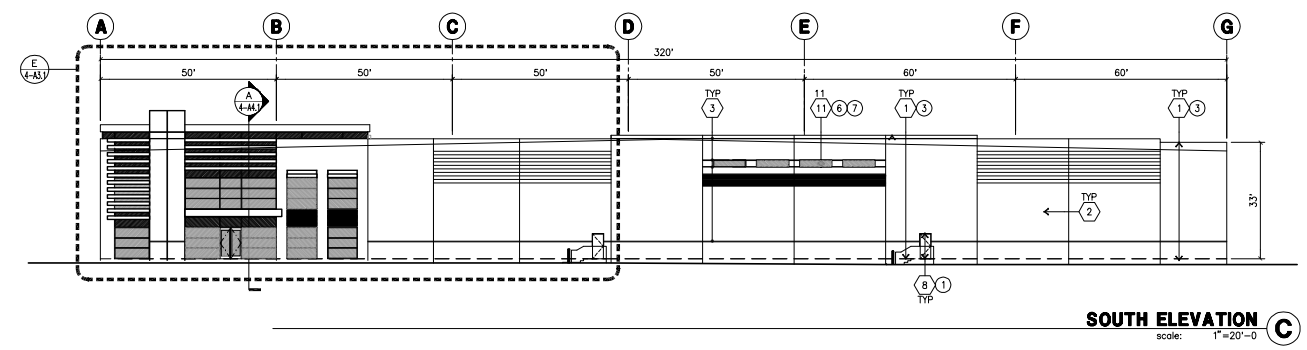
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Project Number: 14092
Drawn by: J.E.C.
Date: 8-26-2016
Revision:
Sheet:
4-DAB-A3.1
PA15-0014-0018



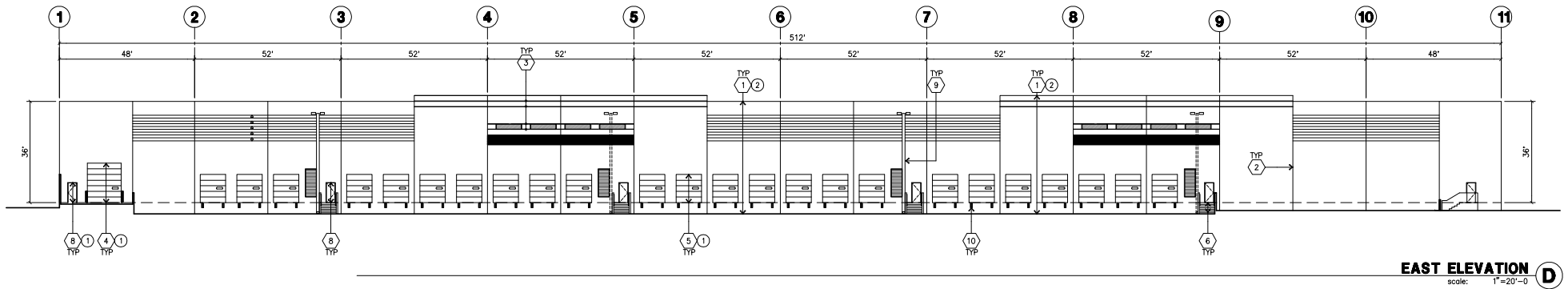
NORTH ELEVATION A
scale: 1"=20'-0"



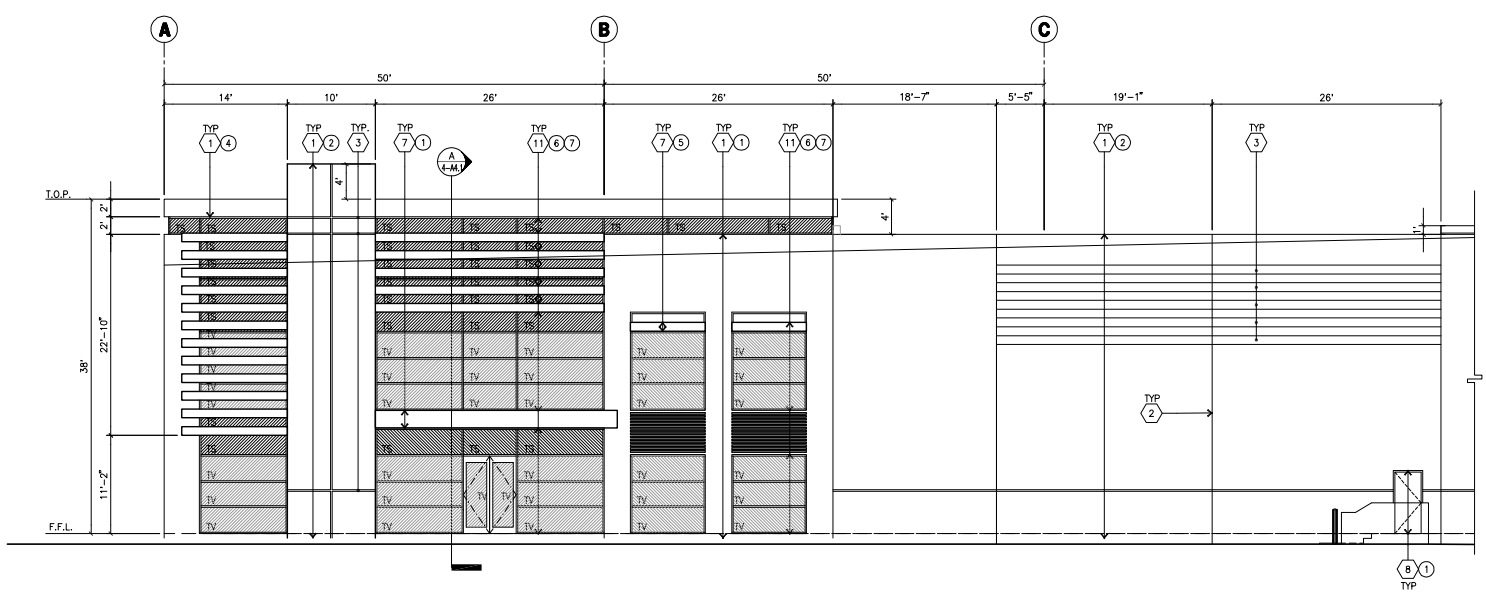
WEST ELEVATION B
scale: 1"=20'-0"



SOUTH ELEVATION C
scale: 1"=20'-0"



EAST ELEVATION D
scale: 1"=20'-0"



ENLARGED SOUTH ELEVATION AT POTENTIAL OFFICE AREA E
scale: 1/8"=1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "CF" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 4" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR # DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR # DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSlING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 CANOPY
- 8 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT AND OVERFLOW SCUPPERS
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIGLETS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 INTERIOR ROOF DRAIN AND OVERFLOW SCUPPERS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "2" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

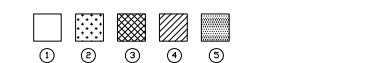
COLOR SCHED. - ELEVATIONS

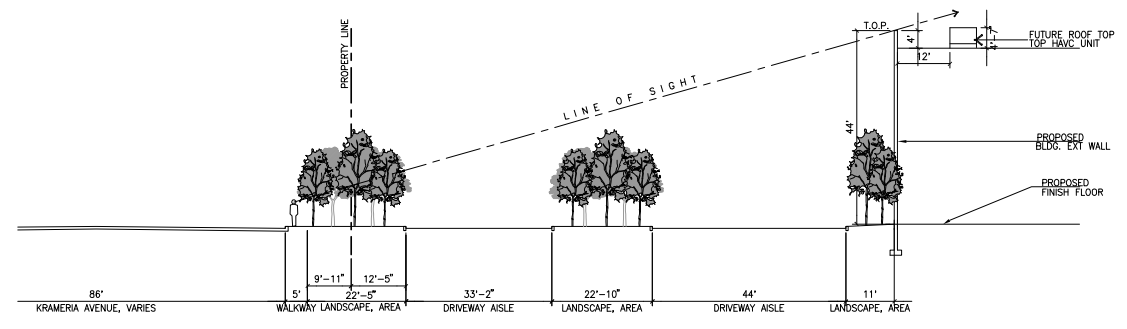
- 1 CONCRETE TILT-UP PANEL PAINT BRAND: PROLOGIS STD. FLD-9 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND: PROLOGIS STD. FLD-6 SABLE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND: PROLOGIS STD. FLD-8 JAGUNE
- 4 CONCRETE TILT-UP PANEL PAINT BRAND: PROLOGIS STD. FLD-7 LUGORICE TRT
- 5 CANOPY PAINT BRAND: PROLOGIS STD. FLD-7 (CLEARCOAT)
- 6 MILLIONS PAINT BRAND: CLEAR ANODIZED
- 7 GLAZING COLOR: GREEN REFLECTIVE GLAZING

GLAZING LEGEND

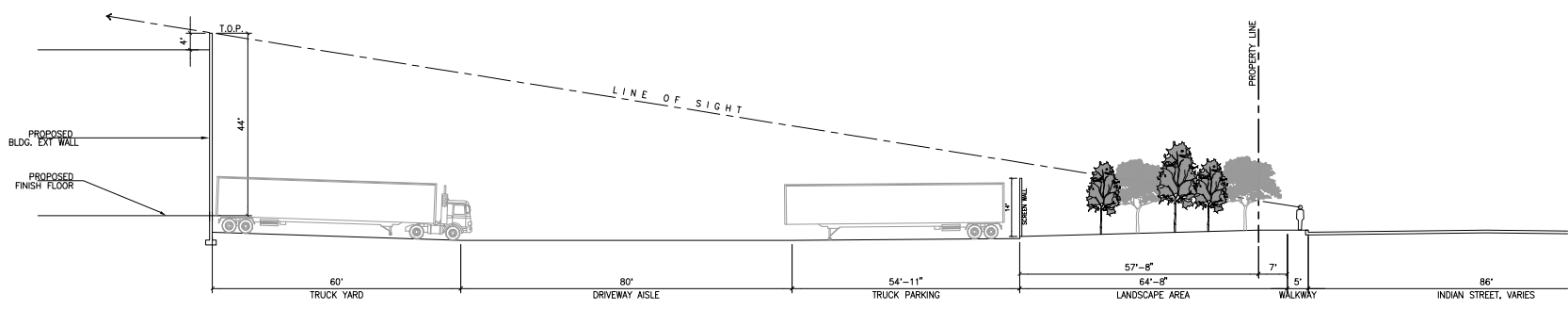


PAINT AND MATERIAL LEGEND

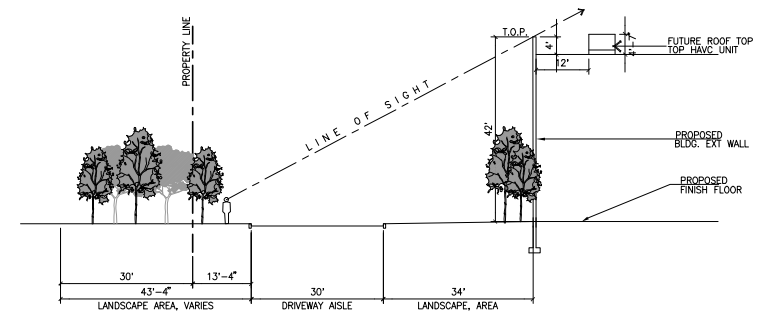




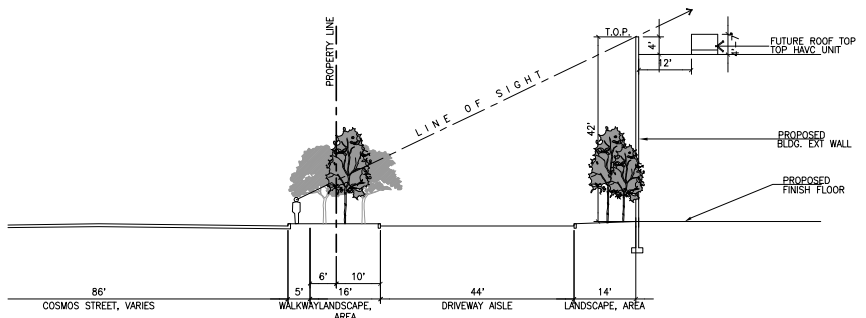
CROSS SECTION AT KRAMERA AVENUE BUILDING 1
scale: 1/16"=1'-0" **A**



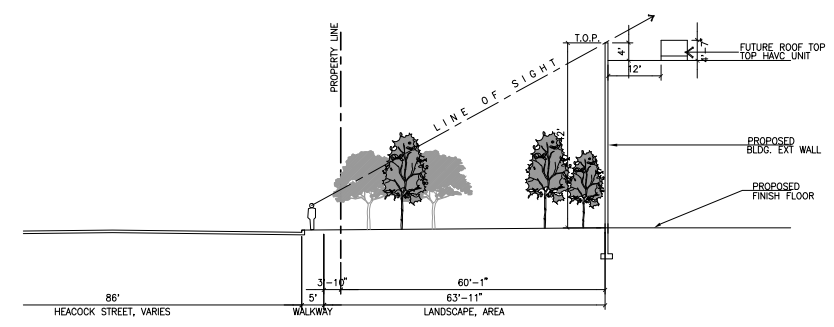
CROSS SECTION AT INDIAN STREET BUILDING 1
scale: 1/16"=1'-0" **B**



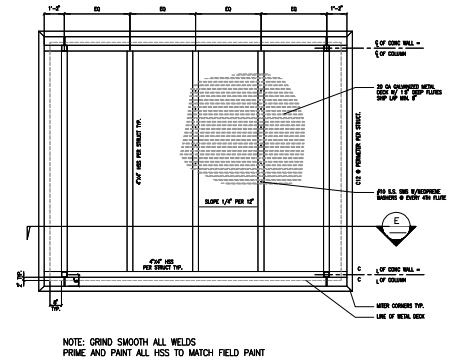
CROSS SECTION AT BUILDING 3
scale: 1/16"=1'-0" **D**



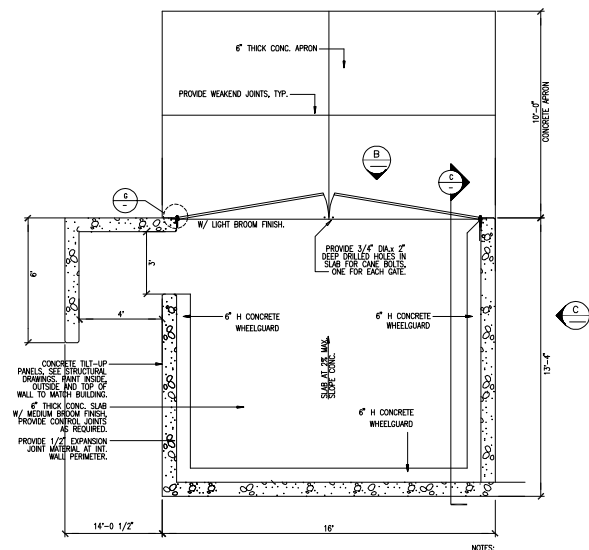
CROSS SECTION AT COSMOS AVENUE BUILDING 2
scale: 1/16"=1'-0" **C**



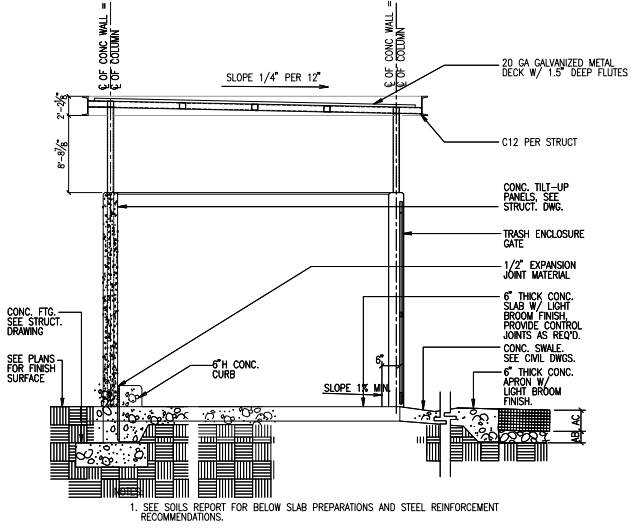
CROSS SECTION AT HEACOCK STREET BUILDING 4
scale: 1/16"=1'-0" **E**



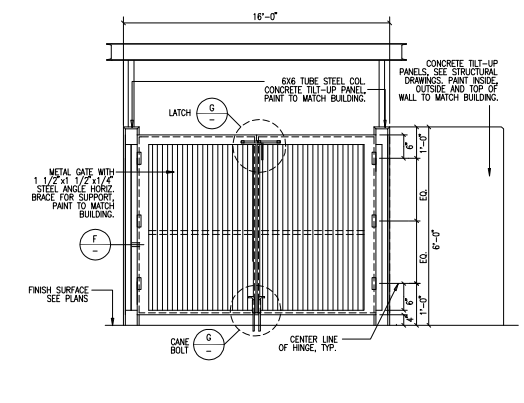
TRASH ENCLOSURE ROOF PLAN (D)
SCALE: 1/4" = 1'-0"



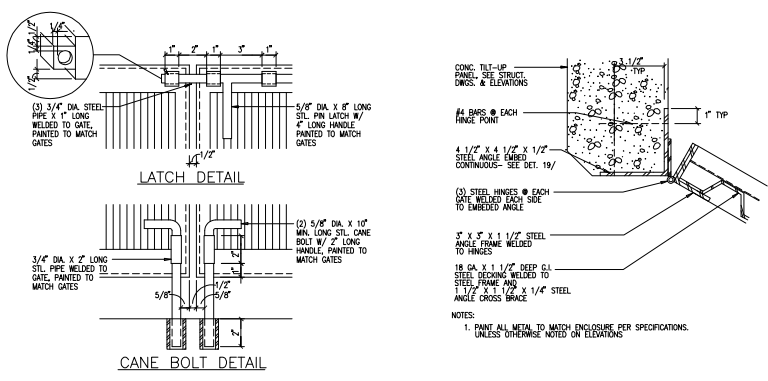
ENLARGED TRASH ENCLOSURE PLAN (A)
SCALE: 1" = 10'-0"



TRASH ENCLOSURE SECTION (E)
SCALE: NTS

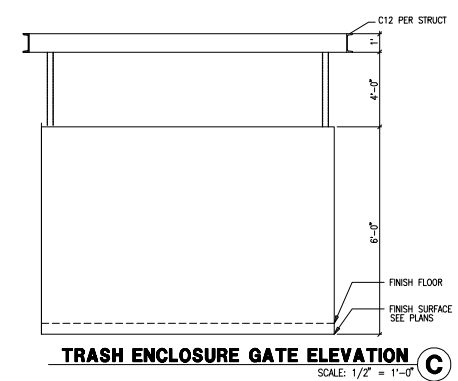


TRASH ENCLOSURE GATE ELEVATION (B)
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE GATE LATCHES (G)
SCALE: NTS

TRASH ENCLOSURE GATE & HINGE (F)
SCALE: NTS



TRASH ENCLOSURE GATE ELEVATION (C)
SCALE: 1/2" = 1'-0"