
PLANNING COMMISSIONERS

RAY L. BAKER
Chair

GEORGE SALAS, JR.
Vice-Chair

JEFFREY GIBA
Commissioner



AMBER CROTHERS
Commissioner

THOMAS A. OWINGS
Commissioner

CARLOS RAMIREZ
Commissioner

MELI VAN NATTA
Commissioner

PLANNING COMMISSION AGENDA

October 13, 2011

PLANNING COMMISSION MEETING – 7:00 P.M.

**CITY OF MORENO VALLEY
City Hall Council Chambers
14177 Frederick Street
Moreno Valley, California 92553**

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PUBLIC ADVISED OF THE PROCEDURES TO BE FOLLOWED IN THE MEETING

(ON DISPLAY AT THE REAR OF THE ROOM)

COMMENTS BY ANY MEMBER OF THE PUBLIC ON ANY MATTER WHICH IS NOT LISTED ON THE AGENDA AND WHICH IS WITHIN THE SUBJECT MATTER JURISDICTION OF THE COMMISSION

The City of Moreno Valley complies with the Americans with Disabilities Act of 1990. If you need special assistance to participate in this meeting, please contact Mel Alonzo, ADA Coordinator at (951) 413-3027 at least 48 hours prior to the meeting. The 48-hour notification will enable the City to make arrangements to ensure accessibility to this meeting.

NON-PUBLIC HEARING ITEMS

1. Recognition of Former Planning Commissioner:
Richard Dozier, 6 Years of Dedicated Service

APPROVAL OF MINUTES

1. June 9, 2011
2. July 14, 2011
3. August 11, 2011

PUBLIC HEARING ITEMS

1. Case Number: PA10-0036
PA10-0037
Case Description: Tentative Tract Map for Condominium Purposes
and Plot Plan for the conversion of the existing
apartment complex to condominiums.
Case Type: Tentative Tract Map 36277
Plot Plan
Applicant: Moreno Valley Day Street Apartments LP
Owner: Moreno Valley Day Street Apartments LP
Representative: Chris Livoni
Location: 13120 Day Street
Proposal: A proposal for the conversion of the existing 394
unit apartment complex located at 13120 Day
Street, to condominiums.
Case Planner: Julia Descoteaux
Recommendation: **APPROVE** Resolution No. 2011-25 and thereby:

1. **RECOGNIZE** that PA10-0036 (Tentative Tract Map 36277) and PA10-0037 (Plot Plan) qualifies as an exemption in accordance with CEQA Guidelines, Section 15301, Existing Facilities (k) and 15315, Minor Land Divisions; and,
2. **APPROVE** PA10-0036 (Tentative Tract Map 36277) and PA10-0037 (Plot Plan), subject to the attached conditions of approval included as Exhibit A.

2. Case Number: PA11-0031
Case Description: Conditional Use Permit for a 75 foot monopine telecommunications facility.
Case Type: Conditional Use Permit
Applicant: Los Angeles SMSA Limited Partnership dba Verizon Wireless
Owner: Moreno Valley United Methodists Church
Representative: Raheleh Gorginfar
RealCom Associates LLC
Location: 10271 Heacock Street
Proposal: A proposal for the installation of a 75 foot tall monopine telecommunications facility to include 12 antennas, one microwave dish, one GPS antennas and the associated ground equipment. The monopine and the equipment shelter will be located on the south west side of the existing classroom and the existing telecommunications facility in the Residential Two (R2) zone.
Case Planner: Julia Descoteaux

Recommendation: **APPROVE** Resolution No. 2011-31 and thereby:

1. **RECOGNIZE** that PA11-0031 (Conditional Use Permit) qualifies as an exemption in accordance with CEQA Guidelines, Section 15332 (In-Fill Development Projects); and,
2. **APPROVE** PA11-0031 (Conditional Use Permit) subject to the attached conditions of approval included as Exhibit A.

3. Case Number: PA11-0008
Case Description: Conditional Use Permit for a telecommunications facility in the right-of-way.
Case Type: Conditional Use Permit
Applicant: T-Mobile West Corporation
Owner: City of Moreno Valley / Southern California Edison
Representative: KDC Architects, Engineers, P.C.
Location: West side of Perris Blvd. in public right-of-way and approximately 400 feet south of Manzanita Ave.
Proposal: Conditional Use Permit for a new wireless communications facility to be located within the public right-of-way. The application proposes to replace an existing street light pole with a larger diameter pole and mount panel antennas inside a metal radome or sheath at the top of the pole.

Ground mounted equipment is proposed to be placed underground in a vault in the right-of-way in proximity to the pole. The facility also requires the extension of approximately 780 feet of telecommunication lines and power lines from Manzanita south to the proposed pole and vault location.

Case Planner: Jeff Bradshaw

Recommendation: **APPROVE** Resolution No. 2011-30 and thereby:

1. **RECOGNIZE** that this item is exempt from the provisions of the California Environmental Quality Act (CEQA), as an existing structure, Class 1 Categorical Exemption, CEQA Guidelines, Section 15301.
2. **APPROVE** PA11-0008 (Conditional Use Permit) subject to the attached conditions of approval included as Exhibit A.

OTHER BUSINESS

STAFF COMMENTS

PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

1 CITY OF MORENO VALLEY PLANNING COMMISSION
2 REGULAR MEETING
3 JUNE 9TH, 2011

4
5
6 **CALL TO ORDER**

7
8 Vice Chair Baker convened the Regular Meeting of the City of Moreno Valley
9 Planning Commission on the above date in the City Council Chambers located at
10 14177 Frederick Street.

11
12
13
14 **ROLL CALL**

15
16 Commissioners Present:

17 Vice Chair Baker
18 Commissioner Crothers
19 Commissioner Owings
20 Commissioner Ramirez
21 Commissioner Van Natta

22
23 Late:

24 Commissioner Salas

25
26 Staff Present:

27 John Terell, Planning Official
28 Associate Planner Julia Descoteaux
29 Associate Planner Jeff Bradshaw
30 Suzanne Bryant, Assistant City Attorney

31
32
33
34 **PLEDGE OF ALLEGIANCE**

35
36
37
38 **APPROVAL OF AGENDA**

39
40 VICE CHAIR BAKER – May I have a motion to approve the Agenda

41
42 COMMISSIONER CROTHERS – So moved

43
44 COMMISSIONER OWINGS – Second

1 **VICE CHAIR BAKER** – Okay, moved and seconded to approve the Agenda. All
2 those in favor?

3
4 Opposed – 0

5
6 **Motion carries 5 – 0, with one late (Commissioner Salas)**

7
8
9
10 **PUBLIC HEARING ITEMS**

11
12 **VICE CHAIR BAKER** – The public is advised of the procedures to be followed in
13 this meeting and these are on display at the rear of the room.

14
15
16
17 **PUBLIC COMMENTS**

18
19 **VICE CHAIR BAKER** – Comments by any member of the public on any matter
20 which is not listed on the Agenda and which is within the subject matter
21 jurisdiction of the Commission will be heard under Non-Public Hearing Items.

22
23
24
25 **NON-PUBLIC HEARING ITEMS**

26
27 Do we have any Non-Public Hearing Items at this time? Okay, one... Are there
28 any others that want to speak on Non-Public Hearing Items? Deanna Reeder
29 would you please come forward.

30
31 **SPEAKER REEDER** – My name is Deanna Reeder and I came up here to
32 apologize to Ms. Van Natta publicly because I said she would do something she
33 didn't. I was pleased she didn't and since I said it publicly I think I need to
34 apologize publicly; even though I apologized after the meeting. Anyway I just
35 wanted you to know that. Some of the stuff I said I absolutely still believe but you
36 are due that. Thank you.

37
38 **VICE CHAIR BAKER** – Thank you.

1 **PUBLIC HEARING ITEMS**

- 2
- 3 **1. Case Number: P11-030**
4 **Amended Conditional Use Permit**
- 5
- 6 **Case Planner: Jeff Bradshaw, Associate Planner**
- 7

8

9 **VICE CHAIR BAKER** – Our Case Planner will Jeff Bradshaw

10

11 **ASSOCIATE PLANNER BRADSHAW** – Thank you. Good evening Vice Chair
12 Baker and members of the Planning Commission. My name is Jeff Bradshaw.
13 I'm an Associate Planner with the Planning Division. Item No. 1 before you this
14 evening is an application submitted by GFR Enterprises. It is an Amended
15 Conditional Use Permit Application and the request from the Applicant is
16 approval to build three new house plans on the 15 remaining lots within Tract No.
17 31414.

18

19 This project was originally approved by the Planning Commission in August of
20 2004. At that time the Planning Commission approved a Subdivision Map for a
21 31 lot subdivision in the R5 Zone and because of a utility easement that crosses
22 through the site an additional variance application was also processed at the
23 same time. A Conditional Use Permit was also presented for approval of a
24 Planned Unit Development and the intent of that was to allow for some unique
25 design standards that would allow for the developer to place homes on those lots
26 that are in close proximity to the easement and still have room to site a
27 reasonably sized home on that project and at that time the Planning Commission
28 did approve a particular project for that development.

29

30 The product that was approved originally included three homes and there are
31 examples of those posted on the wall there. They included three different styles
32 or types of architecture; a Spanish Colonial; a Prairie and a Bungalow and
33 included both a mix of both one and two-story homes. The homes ranged in size
34 from the smallest single-story which was right around 2,200 square feet and the
35 largest two-story which was 2,700 square feet. The Applicant is proposing to
36 build-out the 15 lots that have been undeveloped with a new product. His
37 proposal is to build all single-story homes and there are examples of the three
38 plans there on display as well and they would include Spanish Colonial, Santa
39 Barbara and Craftsman style homes and one thing that is important to note I
40 think is the homes are smaller in size, which is one of things that we are
41 presenting to you this evening. The street view or the width of the homes is
42 comparable to the existing homes, so from the street you would get a similar
43 appearance or look in terms of the massing of the home on the lots. Those
44 homes range in size from the smallest at 1,800 square feet up to 1,900 square
45 feet for Plan 3.

46

1 The City does have a specific process for reviewing a change of product. It is
2 typically something that is reviewed at a Staff level. In the instances where the
3 difference or degree in size in terms of the average for the built product and what
4 is proposed; when it is over 25 percent difference then we present that to the
5 Planning Commission for your review and approval. Staff has had a chance to
6 work with the Applicant to make sure that as we reviewed the new homes we
7 were consistent with that section of the Municipal Code which requires a number
8 of different things. The new homes need to be designed to provide similar roof
9 lines and comparable exterior finish, materials and street views. The siting of the
10 homes is important; where we place the homes closest in design and size to
11 something comparable that is already out there and we would also provide notice
12 to the existing homeowners that live in that tract so that they know what is taking
13 place.
14

15 Through our review we determined that the Applicant was able to satisfy each of
16 those requirements for those criteria with the addition of some conditions of
17 approval that we are recommending and I will just point out those or will bring
18 those to your attention. In the Planning set of conditions which is Exhibit A to the
19 Resolution and it is Condition P3 and we've just asked for some specific things to
20 be done to each of the elevations; not to make them look like what is out there,
21 but to ensure that the new product when it is built demonstrates a similar level of
22 detail as what has been established by the existing home. In discussing the
23 conditions of approval with the Applicant he seemed agreeable with those. He is
24 here this evening, so he can speak to that in more detail.
25

26 We provided notification, as that section of the Code requires, and notification is
27 standard for any public hearing. As of this evening, I had only one phone call
28 from an adjacent property owner and that gentleman's concern was related to
29 some kind of a property line dispute with the prior developer that started this
30 project. I don't know if he will be here this evening but that was his concern, to
31 see if he could resolve what had taken place when the project was first
32 constructed. In terms of the environmental, this project is consistent with the
33 Negative Declaration that was approved for the original project and Staff would
34 be recommending that the Planning Commission recognize that there is no
35 additional environmental action that needs to take place for this project.
36

37 We would recommend approval of the project as it is presented to you this
38 evening subject to the conditions of approval that we prepared and that
39 concludes my report and I'd be glad to answer any questions that you might
40 have.
41

42 **VICE CHAIR BAKER** – Thank you Jeff. Do we have any Commissioners that
43 would like to question Staff on this before we bring the Applicant forward?
44

1 **COMMISSIONER VAN NATTA** – Although this might be a question for the
2 Applicant, is there any change in the lot sizes from these properties in the original
3 tract?
4

5 **ASSOCIATE PLANNER BRADSHAW** – No, there is no changes proposed.
6 They intend to build-out the remaining lots exactly the way they were approved
7 by the Planning Commission originally.
8

9 **COMMISSIONER VAN NATTA** – Thank you
10

11 **VICE CHAIR BAKER** – Are there any other questions from the Commissioners?
12 Well if not let's bring the Applicant forward. I guess it is Mr. Chuck Carell. If
13 would please state your name and address for the record please.
14

15 **APPLICANT** – My name is Chuck Carell with GFR Enterprises. Our address is
16 434 North Second Avenue, Upland.
17

18 **VICE CHAIR BAKER** – Okay do you want to make a little presentation on your
19 project here to kind of bring the Commissioners up to snuff? I mean it is pretty
20 self explanatory.
21

22 **APPLICANT** – Yes sir. Well on this project right here; yes we've seen the
23 conditions of approval and we've accepted the conditions as they stand to make
24 some of the modifications that was asked of us. We are going with all single-
25 story houses. There is a greater demand for single-story houses in today's
26 environment and market. Being that we haven't changed the lot sizes
27 whatsoever, we are using as much of the lot as we can with the single-story
28 homes and taking the face and the curb appeal; widening the houses out and
29 making sure we still have the same front yard setbacks and rear yard setbacks
30 and side yard setbacks that are required. We are going with a lot of different
31 variations. We are going with three different elevations per plan; three plans, so
32 we're going to have actually 12 look sets on 15 lots. On the first phase or
33 actually on the existing homes that Steven Walker, the first builder did, it was all
34 two-story, so we're changing it around a little bit because like I said there is a
35 greater demand on single story. That is the way marketing is today and if you
36 have any questions I'd be happy to answer them.
37

38 **VICE CHAIR BAKER** – Okay, who wants to go first?
39

40 **COMMISSIONER RAMIREZ** – Okay so we are going single story and I see three
41 plans there; two of those plans look like they have some kind of a loft or
42 something like a second story. Is that correct?
43

44 **APPLICANT** – No actually they don't have a loft. What you are seeing right
45 there is on the garage side of them, there is one that has a tandem garage and
46 there is another one that has a garage next door or right next to it, so which is

1 like a workshop, but what we elected to do is we are going with the two-car
2 garages and what we are going to be doing is standard. We are going to be
3 putting in the bonus rooms or teen rooms in the tandem area and also in the area
4 that would be a workshop or a third car garage. We found that it makes more
5 sense to make it more livable today than just going with the workshop or a third
6 car garage, so what you are seeing on the plans right there is actually a bonus
7 room/teen room or actually a fifth bedroom if required.

8
9 **COMMISSIONER RAMIREZ** – Thank you

10
11 **COMMISSIONER CROTHERS** – Hi, thanks for coming out today and talking to
12 us.

13
14 **APPLICANT** – Oh thank you

15
16 **COMMISSIONER CROTHERS** – I actually drove through the existing
17 neighborhood and I took the plans that you proposed to try to see what I thought
18 about if I lived there and you know would I like these homes coming in and I
19 found that the very bottom homes I thought fit in much nicer to the neighborhood
20 than the other two sets of homes, so I was just wondering in the transition area,
21 did you already have a set of homes that you were going to put in there; a
22 specific design to kind of make them you know transition into the all one-story so
23 that you know you don't have the top Spanish Colonial which is very nice looking,
24 but looks different from all the other pre-existing homes, so there is kind of a
25 transition area. Do you have homes for that area already planned out?

26
27 **APPLICANT** – Yes, actually we have a site plan that we already put together and
28 like I said we are trying to use every elevation, so with 15 lots and we have nine
29 elevations, so we are only going to have one of a lot of them and two of a few
30 more of them, but we are going to have plenty of looks out there. One of the
31 things too on this project is we also have a project that already has been
32 approved which is on Perris Boulevard and Ironwood. Now it is 23 single-family
33 homes; 23 homes that is going on that project also. Now on that project again, it
34 has already been approved, we are going to be putting in the same product on
35 both projects, so actually when we take a look at it, it is 23 on one project and 15
36 on this project right here and we wanted to develop it and market it at the same
37 time with the same product. Now it was already approved on the 23, but we are
38 going to make the modifications on the 23 to make them have the same look that
39 we will be doing on the 15.

40
41 **COMMISSIONER CROTHERS** – Thank you

42
43 **COMMISSIONER VAN NATTA** – I'm not sure why you would do the changes on
44 the Ironwood and Perris to make them match something that is clear on the other
45 side of town when the lots that you are talking about on Ironwood and Perris;
46 those are already smaller properties. My concern with this one is the fact that

1 they are larger properties and what kind of an impact that is going to have on the
2 people who bought in a tract that they thought were going to be 2,200 square
3 feet and more, now having properties under 1,700 square feet in the same tract.
4

5 **APPLICANT** – Well actually on the project itself, the smallest one is 1,845 and
6 the largest one will be 1,981 because when you put in the bonus rooms or teen
7 rooms; what we are putting in is standard and that will be the actual square
8 footage of all the houses. We won't have any that won't be smaller than that.
9

10 **COMMISSIONER VAN NATTA** – Oh okay because I saw on the first one that
11 was marked 1,657 square feet.
12

13 **APPLICANT** – The 1,657 would be the square footage of the house if we didn't
14 put in the bonus room.
15

16 **COMMISSIONER VAN NATTA** – Are you going to be finishing the bonus room?
17

18 **APPLICANT** – Yes ma'am we are
19

20 **COMMISSIONER VAN NATTA** – So it's going to be a finished room and not
21 open to the garage.
22

23 **APPLICANT** – No, no, it will be a finished room. It will be part of the house. It
24 will be livable space.
25

26 **COMMISSIONER VAN NATTA** – Okay
27

28 **APPLICANT** – And the reason... yes I agree that they are sort of across town on
29 the 23 and also for the 15, but again what we like to do is still a marketable
30 product that we can say here is this project at this price down here and if you
31 would like to the north end, here it is again over on the north end. It might cost
32 more money, but it still is the same desirable single-story house.
33

34 **COMMISSIONER VAN NATTA** – Yes and if you are starting with 1,800 square
35 feet and going up, that is not that much of a range. The tract that I live in, we
36 have 1,800 square feet up to about 2,900 square feet, so it's a range.
37

38 **APPLICANT** – Right and the thing about it is once when you go into a project
39 that was pretty much designed for two-stories, by going with single-story's, we
40 are taking pretty much all the lot that...
41

42 **COMMISSIONER VAN NATTA** – ...that the two-story would have had
43

44 **APPLICANT** – Well what could actually use as far as part of the conditions of
45 approval with the setbacks and you have to have so many... so much space on a

1 lot to develop a house, so we are using up pretty much the whole lot on these
2 single-story's but it is worth it to us.

3
4 **COMMISSIONER VAN NATTA** – What is the lot size average?

5
6 **APPLICANT** – Well the lot size; because there is in the center of the project,
7 there extra easement where did that greenbelt park area, but they range from
8 8,000 to some in there that are about 10 or 11.

9
10 **COMMISSIONER VAN NATTA** – Okay and I noticed one the original plan there
11 was a single-story in the original development wasn't there?

12
13 **APPLICANT** – Yes

14
15 **COMMISSIONER VAN NATTA** – But most of them were two-story's

16
17 **APPLICANT** – Yes ma'am

18
19 **COMMISSIONER VAN NATTA** – Okay, thank you

20
21 **VICE CHAIR BAKER** – Okay, Commissioner Tom

22
23 **COMMISSIONER OWINGS** – No questions

24
25 **VICE CHAIR BAKER** - And I also went up and looked at this tract this afternoon.
26 I like the product. I like the way it kind of circles around the... it's not like a total
27 infill. A lot of times you come in and you've got these bigger homes and you've
28 got a spot where you have to put something in and the proximity to this kind of
29 loops around the outer perimeter of the tract and I think that's desirable and I
30 think you've got a good product so I would sure vote for it.

31
32 **APPLICANT** – We are excited about building this project right here and going
33 with this product. Again, the single-story is something that is really lacking in our
34 industry today and especially with the baby boomers and everything else. Our
35 company really takes a greater look at single-story and two-story and when we
36 look at projects and develop projects, that is usually our goal is to try to get as
37 many single-story homes as possible and then when we designed this project
38 right here, that was what we were looking for.

39
40 **VICE CHAIR BAKER** – Any you know, your baby boomers coming up they are
41 not going to be able to climb stairs like we can now and this is much more
42 desirable especially for the retired people I would think. I'm speaking for myself.

43
44 **APPLICANT** – Yes sir

45

1 **VICE CHAIR BAKER** – Okay, is there anything else from anybody? Okay, thank
2 you very much.
3
4 **APPLICANT** – Thank you for your time.
5
6 **VICE CHAIR BAKER** – You bet. Do we have any Speaker Slips on this item, so
7 I'm going to open and close Public Comments on Item No. 1 or is there
8 somebody raising their hand back there?
9
10 **PLANNING OFFICIAL TERELL** – Yes if you could give me one after you speak
11 that would be great.
12
13 **VICE CHAIR BAKER** – Would you please state your name and address.
14
15 **SPEAKER GORE** – Okay, I'm Bart Gore, 10140 Pigeon Pass. Whenever, Steve
16 Walker did the property, the excavating and land work and I had to have my
17 fence removed. So they moved the fence over about five feet and then when it
18 came back, they put a block wall in, but they did not go under the power lines...
19 also down to my east/northeast corner, they didn't put any fence at all.
20
21 **VICE CHAIR BAKER** – Any what...?
22
23 **SPEAKER GORE** – Any block wall or fence and so I had to go and I bought the
24 material and put it in myself. The material alone was little over one thousand
25 bucks. I would like get reimbursed. I have talked to them before and got no
26 reply. I've sent them a notice of the price and since I did the work, they should
27 be willing to buy the product or the materials.
28
29 **VICE CHAIR BAKER** – I don't know how to speak to that yet. Is this the property
30 line deal you were talking about John or not.
31
32 **PLANNING OFFICIAL TERELL** – Yes and I think unfortunately or fortunately,
33 however you look at it, it is not an issue that the Planning Commission can
34 address, it is a civil issue between two adjacent property owners that they will
35 need to work out between themselves and unfortunately we can't get involved in
36 that. I understand the issue but...
37
38 **SPEAKER GORE** – You see they left and didn't finish it.
39
40 **VICE CHAIR BAKER** – The other developer?
41
42 **SPEAKER GORE** – Right
43
44 **VICE CHAIR BAKER** – And that's the one that we're talking about now; right?
45
46 **SPEAKER GORE** – It's the one that you're talking about now; part of it.

1 **VICE CHAIR BAKER** – Part of it?
2
3 **SPEAKER GORE** – Yes, the same 31 homes
4
5 **PLANNING OFFICIAL TERELL** – Yes but it an action that was done by Steven
6 Walker Homes; correct?
7
8 **SPEAKER GORE** – Steven Walker and they were going to put my fence back up
9 and all of a sudden they are gone and I've got some dogs that I have to put a
10 gate up. For Edison to get through, I've got to put a fence up so the dogs will
11 stay in my yard and like I said I had to go to the northeast corner and put up
12 more chain link fence and put the post in.
13
14 **COMMISSIONER VAN NATTA** – Does this property abut any of the new houses
15 that are being built?
16
17 **SPEAKER GORE** – Yes
18
19 **COMMISSIONER VAN NATTA** – One of the new 15 homes?
20
21 **SPEAKER GORE** – They are across the block wall. You see they couldn't put
22 the block wall under the power lines, so I put a plastic fence up there.
23
24 **COMMISSIONER VAN NATTA** – I understand that but does it actually abut up to
25 one of these new houses.
26
27 **SPEAKER GORE** – All of those houses prior going to the corner on Pigeon Pass
28 abut up to the wall next to my property.
29
30 **COMMISSIONER VAN NATTA** – Okay, all of them do. The particular part of the
31 wall that you are talking about, does it abut up to one of the new lots that the new
32 developer has got.
33
34 **SPEAKER GORE** – Yes, I think there will be three houses that will be built that
35 abuts up to the wall on my property.
36
37 **PLANNING OFFICIAL TERELL** – If I can maybe help out here... a block wall
38 was built on the property line except across the Edison easement where a wall is
39 not permitted and I think that is one of the areas that the gentleman was talking
40 about. He had to install a fence across the area because it was taken down by
41 the original builder but he needed to put it back up to keep his dogs in his yard
42 and then there is another portion and correct me if I'm not doing this correctly,
43 that is further east; it is beyond the tract but they took out your fence all the way
44 down your property line.
45
46 **SPEAKER GORE** – They took out the north fence all the way across.

1 **COMMISSIONER VAN NATTA** – So this isn't something necessarily something
2 that when the new houses are being built that a fence is going to be put there
3 that is going to solve the problem.
4
5 **PLANNING OFFICIAL TERELL** – No the wall is already built adjacent to those
6 houses, so this is an area where there will never be a wall.
7
8 **COMMISSIONER VAN NATTA** – Okay, thank you
9
10 **SPEAKER GORE** – I put the wall up because I had no choice. The other guy
11 moved out and left me with the unfinished business. I think I should get
12 reimbursed at least for the materials.
13
14 **COMMISSIONER OWINGS** – I guess the question is who would do the
15 reimbursing. It seems like it's a problem between you and the first builder and
16 gratuitous free legal advice; get a lawyer and sue them both.
17
18 **SPEAKER GORE** – I called them and they haven't returned my call
19
20 **COMMISSIONER OWINGS** – I think you are going to have to get a lawyer and
21 sue both entities. Between the two of them you'll get it.
22
23 **SPEAKER GORE** – Find a way to resolve this problem
24
25 **VICE CHAIR BAKER** – It is not a City issue
26
27 **SPEAKER GORE** – It is not a City issue. Who do you guys work for? Is it the
28 City or the people that live here in the City?
29
30 **VICE CHAIR BAKER** – We do, but...
31
32 **PLANNING OFFICIAL TERELL** – Yes but the Planning Commission; it's not
33 within their jurisdiction to solve this problem for you.
34
35 **SPEAKER GORE** – Well I understand you're not in favor of it
36
37 **PLANNING OFFICIAL TERELL** – Oh it's not the favor of...
38
39 **SPEAKER GORE** – Well that doesn't solve the problem
40
41 **COMMISSIONER OWINGS** – Sir we need to make it clear to you. You are
42 probably due to the money to put the fence up, it's just you are looking at the
43 wrong entity to do it, unless of course it was a condition that the City imposed
44 which I doubt.
45

1 **PLANNING OFFICIAL TERELL** – No there was a condition to put the wall up but
2 not the fence. It sounds like and I'm not an Attorney, but it sounds like a Small
3 Claim Court issue. Unfortunately, we can't make somebody pay you for that. I
4 understand you want us to but we can't.

5
6 **SPEAKER GORE** – You can make them do something. Okay I'll take my fence
7 down and then whenever the dogs get out then the City comes along and gives
8 me a ticket, then whose going to pay the ticket, the people who took the fence
9 down?

10
11 **PLANNING OFFICIAL TERELL** – I mean I understand the issue, I just don't
12 know how to assist you because it is an issue between you and the property
13 owner and it's really you and the previous property owner and...

14
15 **SPEAKER GORE** – Well, look it's the same property

16
17 **PLANNING OFFICIAL TERELL** – I agree but you need to have a discussion with
18 the gentleman from GFR if you can't work it out with them, the City is not in a
19 position to solve this for you. I apologize for that.

20
21 **SPEAKER GORE** – Well I'd rather just have it worked out and won't have to.

22
23 **PLANNING OFFICIAL TERELL** – I understand. I think if you can talk to the
24 gentleman from GFR and see if you can work that out, that would be the best
25 way to approach this.

26
27 **SPEAKER GORE** – I sent him the list twice.

28
29 **PLANNING OFFICIAL TERELL** – He is here tonight

30
31 **SPEAKER GORE** – Well I'll talk to him.

32
33 **PLANNING OFFICIAL TERELL** – Okay

34
35 **SPEAKER GORE** - Because I'll get no help from the City right?

36
37 **COMMISSIONER OWINGS** – You'll get no help from the Planning Commission
38 sir.

39
40 **VICE CHAIR BAKER** – It is not our jurisdiction

41
42 **SPEAKER GORE** – Well what about my City taxes? Don't they help pay for the
43 City?

44
45 **VICE CHAIR BAKER** – They do, but if I were to...

46

1 **SPEAKER GORE** – How long have I been paying taxes here... since 1959.

2
3 **VICE CHAIR BAKER** – And we appreciate that.

4
5 **SPEAKER GORE** – You don't seem to be

6
7 **VICE CHAIR BAKER** – Thank you very much for your comments. Are there any
8 other public comments on this item? Okay so we'll close Public Comments and
9 we'll go forth with Commissioner's Debate on Item No. 1. Who would like to
10 start? Do you want to start down there Commissioner Carlos?

11
12 **COMMISSIONER RAMIREZ** – I actually took the opportunity to drive down there
13 a few times and the project site looks great. I think the fact that they are building
14 one-story homes is a perfect concept because, yes, the baby-boomers are
15 starting to retire. My parents are one of those that got tired of going up and down
16 the stairs and to me the project seems consistent and compatible with the
17 existing homes that are there already. The only question that I would kind of
18 have is that I know that there is an easement there for some kind of utility
19 company and I'm not sure exactly who it is. My only concern is who is
20 responsible for the maintenance and landscaping of that. Other than that, given
21 the issue the gentleman just presented as well, the only thing that I can say to
22 that is I empathize with you and I know that in order for the approval for the prior
23 conditions of approval for the development required for your fence to come down
24 and for there to be a brick wall and I believe that in the process of when your
25 fence was taken down, they took down the eastern side is I believe what you are
26 talking about and I'm not sure if we can do anything or negotiate so that perhaps
27 the new developer can help out in that area, but other than that I like the project.
28 It sounds good to me and I'm going to vote for this and that's all I have to say.

29
30 **PLANNING OFFICIAL TEREEL** – Before you move on, I'll just answer the
31 question. The landscaping that is there in the middle of project is a Southern
32 California Edison easement and the property there is... the landscaping that is
33 there was installed by this developer; the first developer didn't get that far and the
34 other thing is this developer actually finished and sold all the existing homes too,
35 so all those homeowners are his homeowners and that will be maintained for the
36 time being by the developer but eventually by a Homeowners Association.

37
38 **VICE CHAIR BAKER** – So there will be an HOA there, correct?

39
40 **PLANNING OFFICIAL TEREEL** – Yes

41
42 **VICE CHAIR BAKER** – Okay very good. Okay, who is up next... go for it

43
44 **COMMISSIONER CROTHERS** – I also want to thank Mr. Carell and Mr. Gore for
45 coming out and speaking on this project. It is always good to have the public and
46 the developer here to let us know what is going on so that you know if we don't

1 live there, you know somebody from the neighborhood can come and talk. It is
2 always a great thing. I like the infill project. I like that there is a variety of homes
3 that can be chosen from so that you can actually pick the one that you want; the
4 style that you like. They do fit in well into the neighborhood and I think that it will
5 just kind of give that completion to that area. It is a very nice area and I'm glad to
6 see that homes are going in, especially single-story homes. I live in a two-story
7 and I think if my laundry room wasn't upstairs I would have definitely gone for a
8 one-story, so I do see the appeal for the one-story and I'm glad that they are
9 coming in. Thank you for that. Also, for Mr. Gore, if you don't get anywhere with
10 the developers, there is also a phone number that you can call for the lawyer
11 referral service and they actually will give you a discounted consultation fee and
12 you can tell them about your issue. Hopefully they can get you some of that
13 money recouped, so I hope that you are able to do that one way or another.
14 Thank you.

15
16 **COMMISSIONER VAN NATTA** – I like the project. I had some concerns at first
17 about the disparity in size but there does not seem to be that much of a disparity
18 of no more than what a normal range of difference in size for a tract would be. I
19 agree that the single-story homes are much more in demand right now; not
20 necessarily for the baby-boomers but for the first time buyers who are looking for
21 the economy that you get from not trying to heat and cool a big two-story house,
22 so it looks like a good project; a good finish to that neighborhood and certainly an
23 improvement over a bunch of vacant lots.

24
25 **VICE CHAIR BAKER** – Thank you

26
27 **COMMISSIONER OWINGS** – Again thank you Mr. Carell and GFR Enterprises
28 for speaking with us tonight. The project is obviously consistent with the General
29 Plan and in conformance with zoning regulations, so I intend to vote yes.

30
31 **VICE CHAIR BAKER** – Thank you and I think I made my intentions... but I do
32 like the project. I think it is great up there. I like the way it swings around the
33 existing homes, so I'm in favor and I'll vote for it. So I think at this point if I could
34 receive a motion and a second and get this project moving forward, I'd
35 appreciate it.

36
37 **COMMISSIONER CROTHERS** – I'll make a motion.

38
39 **VICE CHAIR BAKER** – Okay

40
41 **COMMISSIONER CROTHERS** - I'd like to make a motion to **APPROVE**
42 Resolution No. 2011-16 and thereby:

- 43 1. **RECOGNIZE** that this project is consistent with the original environmental
44 findings approved under PA04-0016 and PA04-0057 for tract 31414 and no
45 subsequent Negative Declaration is warranted; and,

46

1 2. **APPROVE** P11-030 an Amended Conditional Use Permit subject to the
2 Conditions of Approval attached as Exhibit A.

3
4 **COMMISSIONER OWINGS** – Second

5
6 **VICE CHAIR BAKER** – Okay we have an approval and a second for this. All
7 those in favor?

8
9 Opposed – 0

10
11 **Motion carries 5 – 0, with one absent (Commissioner Salas)**

12
13 **VICE CHAIR BAKER** – Thank you. Okay we're going to move on now to...

14
15 **PLANNING OFFICIAL TERELL** – Chair, I'm sorry a couple of things. This action
16 shall become final unless appealed to the City Council within days. Second, I'd
17 like you if you could; Item no. 3 they are working out some final design issues on
18 their project; that's the Kaiser hospital project and they've requested us to
19 continue that project until your next meeting, so if you maybe could go ahead and
20 do that now and they won't need to stay for the rest of the meeting.

21
22 **VICE CHAIR BAKER** – So we'll open up that project No. 3 and make a motion to
23 continue.

24
25 **PLANNING OFFICIAL TERELL** – Yes to your July meeting

26
27
28
29 **3. Case Number: PA11-0009 Plot Plan**
30 **P11-016 Master Plot Plan**

31
32 **Case Planner: Julia Descoteaux**

33
34 **VICE CHAIR BAKER** – Okay, can we have a motion... do we need ... July
35 when?

36
37 **PLANNING OFFICIAL TERELL** – Yes on July 14th

38
39 **VICE CHAIR BAKER** – Whoever makes a motion, do we state what we approve
40 or I mean we are going to continue that approval or...

41
42 **PLANNING OFFICIAL TERELL** – You are just continuing the Hearing until July
43 14th

44
45 **VICE CHAIR BAKER** – And that is PA11-0009... do we want to state that in
46 there?

1 **PLANNING OFFICIAL TERELL** – Correct

2
3 **VICE CHAIR BAKER** – Okay who would like to make that motion?

4
5 **COMMISSIONER VAN NATTA** – I’ll do it but I think you have to open it first

6
7 **PLANNING OFFICIAL TERELL** – Well you’ve already called that item so you
8 are fine

9
10 **VICE CHAIR BAKER** – Yes okay I called it

11
12 **COMMISSIONER VAN NATTA** – Okay I move that we move Case No. PA11-
13 0009 and postpone the Hearing on that to our next meeting on July 14th.

14
15 **COMMISSIONER OWINGS** – Second

16
17 **VICE CHAIR BAKER** – Seconded by Tom; all those in favor?

18
19 Opposed – 0

20
21 **Motion carries 5 – 0, with one absent (Commissioner Salas)**

22
23 **VICE CHAIR BAKER** – Okay moving on to Case No. 2.

24			
25			
26			
27	2. Case Number:	PA09-0031	Plot Plan
28		PA09-0032	Conditional Use Permit
29		P09-0099	Variance
30			
31	Case Planner:	Julia Descoteaux	
32			
33			

34 **VICE CHAIR BAKER** – That will be Miss Julia, right?

35
36 **ASSOCIATE PLANNER DESCOTEAUX** – Yes

37
38 **VICE CHAIR BAKER** – Okay thank you; you’re up

39
40 **ASSOCIATE PLANNER DESCOTEAUX** – Good evening Vice Chair Baker and
41 members of the Planning Commission. I’m Julia Descoteaux, Associate Planner
42 and here before you this evening the Applicant has proposed an express car
43 wash and an approximately 5,500 square foot retail space located on the corner
44 of Alessandro and Graham. The retail space will be located towards the corner
45 and the car wash will be at a diagonal a little bit east of the retail building. The
46 application includes a Conditional Use Permit for the sale of alcohol with beer

1 and wine for off premises consumption for the retail use. The Neighborhood
2 Commercial Zoning allows alcohol with a Conditional Use Permit when the
3 project is within 300 feet of residential. The buildable area of the land on this
4 parcel; being a triangular shaped parcel is 45 percent due to the aqueduct
5 easement that runs diagonally through the property.
6

7 Due to the existing site constraints of the aqueduct a Variance application is also
8 included with this application as the landscape requirements south of the car
9 wash and the parking stall depth along Alessandro Boulevard could not be met.
10 Decorative paving and enhanced landscaping has been conditioned along
11 Alessandro to mitigate any adverse impact of the reduce setbacks. Properties to
12 the north and west are zoned R5 Residential with existing single-family homes
13 and properties to the south include Community Commercial directly across the
14 street with a developed fueling station and convenience store and vacant land on
15 the southwest corner zoned Business Park Mixed Use and the property to the
16 east is also Neighborhood Commercial and the site of the existing US Post
17 Office.
18

19 Access to the site will be from Alessandro Boulevard as well as two entrances on
20 Graham Street and the drive aisle parallel to Graham will provide the connection
21 for the vehicles to enter the car wash area. The design of the project is in
22 conformance with the design guidelines for commercial development.
23

24 The project is a contemporary design and should complement the adjacent
25 developments. The car wash building is a focal point with a glass front building
26 and the retail buildings will be stucco with scoring, metal accents and tile for
27 visual interest.
28

29 The project will not have a significant effect on the environment and is therefore
30 exempt from the provisions of the California Environmental Quality Act (CEQA)
31 as a Class 32 Categorical Exemption for Infill Development. Public Notice was
32 sent to all properties within 300 feet of the development, posted on the site as
33 well as in the newspaper and to date I have two telephone calls and two citizens
34 come in to talk to me regarding the project and they opposed the project and I
35 believe they are here tonight to speak with you as well.
36

37 We have one change that I provided to you regarding the Moreno Valley Utility
38 conditions of approval. They were originally placed on this project however,
39 currently the project area is not within the Moreno Valley Utility service area, so
40 we have removed those conditions and the project will be serviced by Southern
41 California Edison. This concludes Staff's presentation and at this time I can
42 answer any questions for you. Thank you.
43

44 **VICE CHAIR BAKER** – Thank you. Who would like to go first?
45

1 **COMMISSIONER OWINGS** – Just one quick question. I noticed that where
2 landscaped there were some special consideration given to landscape as a result
3 of the easement. Could you please describe how that would vary from normal?
4

5 **ASSOCIATE PLANNER DESCOTEAUX** – Well we've had them... on the car
6 wash where you come through the exit to the car wash, there will be enhanced
7 landscaping and they'll be required to do more shrubs and we actually had them
8 reduce the exit to the car wash; the paved area; to add more landscaping, so it
9 will just be a little bit more plush than the regular spacing of the development
10 code; they'll have to do more than that.

11
12 **COMMISSIONER OWINGS** – So the landscaping won't be diminished, it will just
13 be the setback?
14

15 **ASSOCIATE PLANNER DESCOTEAUX** – Right

16
17 **COMMISSIONER OWINGS** – Thank you

18
19 **VICE CHAIR BAKER** – Commissioner Meli any questions?
20

21 **COMMISSIONER VAN NATTA** – Not at this time
22

23 **VICE CHAIR BAKER** – Okay, Vice Chair Amber
24

25 **COMMISSIONER CROTHERS** – No
26

27 **VICE CHAIR BAKER** – Okay, Commissioner Carlos
28

29 **COMMISSIONER RAMIREZ** – I notice we've got five palm trees in total. Is there
30 any way we can put in more palm trees in the landscaping; to enhance the
31 landscaping a little bit more?
32

33 **PLANNING OFFICIAL TERELL** – Yes that may be a discussion you may want to
34 have later on but there certainly is an ability to look at additional trees. I believe
35 and correct me if I'm wrong Julia, this does meet or exceed the tree count that is
36 required by code and I believe the palm trees are there and the Applicant can
37 speak to that. I believe they specifically did that number of palm trees for a
38 design issue so maybe they can discuss that with you.
39

40 **VICE CHAIR BAKER** – Is there anyone else?
41

42 **COMMISSIONER OWINGS** – I'll just follow up on that. I'm in the car business.
43 We hate palm trees. It is a terrible thing to have at a car wash so the fewer of
44 them the better as far as I'm concerned.
45

1 **VICE CHAIR BAKER** – Is there anyone else? Well if not, let's bring the
2 Applicant forward and he can present his project here and if you would please
3 state your name and address for the record.
4

5 **APPLICANT PAULS** – Absolutely...my name is Michael Pauls. I am the
6 Applicant's Representative and I would like to begin by thanking you Mr.
7 Chairman and members of the Planning Commission. I'd also like to have the
8 opportunity to thank Staff. The Staff has been absolutely great throughout this
9 entire process. It is a very, very difficult site because of this aqueduct easement
10 and we are very, very pleased to be before you this evening. We are looking
11 forward to becoming a part of the Moreno Valley community and our project is
12 going to be a family friendly project and it is going to create all important jobs in
13 the community. With that, I would like to indicate that the Applicant Mr. Byun is in
14 the audience and is available for questions this evening and I would also like to
15 turn it over to the architect to introduce the rest of the team.
16

17 **ARCHITECT** – My name is Andy Paszterko and I'm the Architect of the project
18 and I would like to start by stating how difficult the site is. The Site Plan IS
19 displayed over there and you can see that there it is a 129 feet wide State of
20 California easement diagonally cutting through the site and if you guys have seen
21 it as you drove by you'll see it looks like a no man's land. It is something that will
22 be very hard to find the proper improvement for and my client had the insight or
23 the vision to see what would work there and if he didn't we would probably look
24 at that land for a long time to come. There is just nothing on it but weeds and it is
25 just maintenance and blowing dust. It was very difficult to come to terms with the
26 site.
27

28 I would also like to thank Staff because actually not only did they give us
29 conditions to increase the size of the project but they actually created input into
30 the project and I would also like to thank John Terell. He gave us the key
31 element that made peace between their comments and what we wanted to do, so
32 it was like a positive cooperation. I would also like to thank Julia also very much.
33 It took us a long time to get to this point but all the components are very pleased.
34 Here is Yoon Ku Byun who is the client; the owner of the land and we have the
35 representative from 7-11 and we car wash manufacturer represented here; Bob;
36 and we have the Civil Engineer and I don't want to say anything because we are
37 very happy where the project is right now, but I am here and all of us are here to
38 answer any questions that you guys might have. Now right away, I want to
39 answer the first question that the Commissioner posed regarding those palm
40 trees. Those palm trees are a very special; date palm; very expensive; ten
41 thousand dollars each and it is just accent. It is not the whole landscaping
42 theme; it is just to give the dignity to the car wash. You can see those palm
43 trees like in government buildings. It is very expensive. We couldn't really put in
44 much more than that, but as John Terell mentioned, we do meet and exceed the
45 landscaping requirements beyond the palm trees. This is just something we top
46 of it as icing on top of the cake.

1 **VICE CHAIR BAKER** – Thank you

2
3 **ARCHITECT** – Just one more thing...there is one item in the conditions that if
4 you grant approval for the project, that is the only item that we would like to
5 modify slightly and you find this one which is B14 and it speaks about hours of
6 operation. As it stands in the conditions it is 7 AM to 8 PM, seven days a week
7 and we have not spoke about this issue but as we see the project coming to life
8 we realize that in the summer nights or a spring evening a lot of people will find it
9 attractive or they have the time or leisure to do so to go to this car wash and like
10 in summer evenings it would be an attractive place and many amenities available
11 to them and what we are asking for is an extra one hour from 8 PM to 9 PM.
12 That is the only modification that we are asking for.

13
14 **COMMISSIONER OWINGS** – Is that 8 AM to 9 PM

15
16 **ARCHITECT** – No I'm sorry but right now it stands at 7 AM to 8 PM and our
17 request is 7 AM to 9 PM

18
19 **VICE CHAIR BAKER** – Is that 365 days a year or just while we are on daylight
20 savings time

21
22 **ARCHITECT** – The car wash you know is not 365 because on rainy days people
23 don't wash their cars, so other than the rainy days it is always open for business.

24
25 **COMMISSIONER OWINGS** – I guess I should know this because I read your
26 packet, but I don't, but is an automated car wash or will it be staffed.

27
28 **ARCHITECT** – No, it is completely automated. There is one person to make
29 sure that nothing untoward happens like somebody has too big of a car or such a
30 thing, but it is run by a machine; a computer and it is very sophisticated but no
31 human hand touches the car.

32
33 **COMMISSIONER OWINGS** – Sir I have one other question and then I'll
34 relinquish my time, but I noticed this application was made originally in 2009.
35 Could you fill me in a little bit as to why the delay in why you being here today.

36
37 **ARCHITECT** – The biggest delay and the dilemma was this huge easement and
38 the various agencies have a say so in what happens in this easement and one of
39 the agencies is the State Water Resources Board and it was very hard to
40 communicate with them. It is a huge time delay. If you send them a document;
41 in one instance it took them six months to get a reply to it and we have to work
42 with them because they have the easement; they have recorded certain rights
43 and rules apply to it. One of the things that came up previously is what kind of
44 shop can you put in there. You couldn't put trees because they penetrate the
45 pipe; it is a huge pipe as big as this room. It is a 10 foot diameter pipe and there
46 are seven of them and for good reason they have to be a good custodian of it, so

1 there was a lot back and forth and what could be done and how could we make it
2 attractive, because the City has their own standards with how to landscape it.

3
4 **COMMISSIONER OWINGS** – So were you kind of caught between the City
5 standard and the State Water Quality

6
7 **ARCHITECT** – We were caught between the two. We wanted to landscape it
8 because it is a people area. It is not a parking lot, so it is a hard thing, but I think
9 we worked it out with them. We had a meeting and they came down from
10 Sacramento and the way we have it now it is attractive and it is acceptable to us.

11
12 **COMMISSIONER OWINGS** – So once you came to terms with the State and the
13 City was Johnny on the spot to help you

14
15 **ARCHITECT** – So to speak, yes

16
17 **COMMISSIONER OWINGS** – Thank you

18
19 **COMMISSIONER CROTHERS** – Hi, thank you for coming out. I just have one
20 question. Was there research done prior to creating this project that the need
21 was there for this City.

22
23 **ARCHITECT** – The need for a car wash

24
25 **COMMISSIONER CROTHERS** – Yes

26
27 **ARCHITECT** – Yes I believe this type of car wash is a fairly new concept. I
28 mean there is a precedent more and more. It is a better car wash. It is good
29 quality. It's only five minutes and very good quality car wash in short period of
30 time and cheaper, so these are three things. A lot of people say give me two of
31 the three, but these three are there; all the three things that a community would
32 look for okay, so for this reason my client believed that introducing this quality car
33 wash at this price would be very well received in the community and he was
34 willing to invest the necessary funds and was convinced enough to pay me and
35 so far getting this far getting this far and financing so forth, because there is a
36 very serious effort already.

37
38 **COMMISSIONER OWINGS** – Being somewhat familiar with this, there was
39 probably a fuel gallonage study done by whoever is the gas station portion of it.
40 7 – 11 probably did a market study to determine the convenience store business
41 projected income and of then of course along with that the market study
42 company/gas company probably did the car wash analysis, so there probably
43 was a market study in order for him to get funding for it, so that is just to answer
44 you a little bit. There are probably three studies, if not four.

1 **ARCHITECT** – That is correct. The car wash demographics were studied and
2 also the 7-11. There is no gasoline component in this. There is no gasoline
3 retail; only food retail and a various small restaurant and the car wash. There is
4 no gasoline retail; no fuel retail.

5
6 **COMMISSIONER VAN NATTA** – Sometimes we read each other’s minds and
7 she brought up a question I had because from the time you started this, there
8 had been two other car washes very, very close to that, that have opened within
9 the last year; similar type. How many car washes can a community this size
10 support within a one mile radius?

11
12 **ARCHITECT** – Well I guess whoever developed the other two saw the same
13 numbers and they also believe that numbers don’t lie, so there must be some
14 market out there and you know there is more people. One car wash does not
15 support a two mile radius because don’t like to go too far a car wash, they like to
16 stay in their community because a lot of people do a car wash on the weekend
17 and because of that it is more like a community oriented thing than a regional
18 thing.

19
20 **COMMISSIONER VAN NATTA** – Okay well that was one of my questions
21 because three different people can look and say there is room for a car wash but
22 then if all three people build and put in a car wash then that might be too many
23 car washes for that one area, so that was one question. The other question I
24 have is on the retail and restaurant space, is this applicant planning on
25 completing the entire project and running it as a business or is there some
26 speculative part of this where part of it is going to be leased out or the car wash
27 is going to be complete and hopefully they’ll find a tenant for the retail and
28 restaurant area. Yes if you wanted to answer to that that would be great.

29
30 **ARCHITECT** – I have personal knowledge and I’ll say what I know and Mr. Byun
31 is going to answer. As far as from the beginning, the discussion was that he is
32 going to build, own and operate the entire development. He is going to run the
33 car wash; he is going to go to car wash school and he is going to run the 7-11; go
34 to the 7-11 school and the restaurants and all the other little templates that are
35 included, he is personally going to run.

36
37 **COMMISSIONER VAN NATTA** – Okay because it sounded from some of the
38 questions; some of the answers there that there was going to be other spots to
39 be rented out to other tenants. Yes go ahead.

40
41 **VICE CHAIR BAKER** – Would you please state your name and address for the
42 record please.

43
44 **PROPERTY OWNER** – My name is Yoon Ku Byun and the address is 19826
45 Hidden Trail Place, Walnut, California. My name is Yoon Byun and I am the
46 owner of the property and I am very excited to do my first development venture in

1 the City of Moreno Valley and want to point out a special thanks to the Planning
2 Staff. Me and my family will be responsible for the operation of the entire site
3 including the car wash and as an owner and operator of the businesses, we'll
4 make sure that the subject business is to provide safe and quality service and
5 also as a veteran and Moreno Valley citizen, I will have multiple marketing and
6 fund raising programs to better serve the community. Thank you.

7
8 **COMMISSIONER VAN NATTA** – May I ask a follow-up question?

9
10 **VICE CHAIR BAKER** – Yes ma'am

11
12 **COMMISSIONER VAN NATTA** – Have you built and/or operated any business
13 like this before elsewhere?

14
15 **PROPERTY OWNER** – My father used to own a building and a market business
16 but never had any car wash businesses before, but as you mentioned, I drove by
17 today also and there are two express exterior car washes along Sunnymead and
18 along Frederick and one on Graham. It is very close but since Alessandro
19 Boulevard is I think serves more citizens below south of Alessandro, I think that
20 that will take care of all of those issues and even I didn't have any car wash
21 businesses, I have planned a car wash business for over four years, so every
22 year I attended several trade shows; Orlando, Las Vegas and so those four years
23 gave me the confidence to do my first business, but I am a banker right now and
24 also right now due to the economic conditions, financing is very important
25 because no lender is willing to finance any construction now, but I have those
26 capital injections already and I have a financing lender that can help me, so I'm
27 very excited to enter into the business.

28
29 **COMMISSIONER VAN NATTA** – And your background or training other than
30 what experience you've had with your dad's business; other training, I think your
31 Architect mentioned that you are going to 7-11 school or are they going to
32 provide training and backup and assistance with getting started on that?

33
34 **PROPERTY OWNER** – Yes... The reason I choice 7-11 is because the 7-11 is a
35 national brand and they have an excellent training school that I can attend and
36 plus I want to operate a small QSR; something like (?) or have you heard of
37 Flameboiler, so I think there is one High School on Graham and I think they have
38 football or something right now, but I think those quick service restaurant will be
39 grateful for those citizens.

40
41 **COMMISSIONER VAN NATTA** – And is that quick serve restaurant going to be
42 separate from the area where you serve alcohol or where you sell alcohol?

43
44 **PROPERTY OWNER** – Well it is going to be... Since it is a retail strip they'll be
45 pretty close to each other.

1 **COMMISSIONER VAN NATTA** – Yes close to each other; okay

2
3 **PROPERTY OWNER** – Yes ma'am

4
5 **COMMISSIONER VAN NATTA** - So by restaurant you're talking about in
6 addition to whatever food the 7-11 serves an additional restaurant fast food
7 sandwich shop or something like that.

8
9 **PROPERTY OWNER** – Yes ma'am. I think 7-11 sells more fast foot like pizza
10 and hot dogs. The Flameboiler sells more like teriyaki chicken and things like
11 that. It is a little bit different I think. It will serve it will serve the community

12
13 **COMMISSIONER VAN NATTA** – And you think that staying open... now with the
14 car wash you were talking about the hours till 9 o'clock. Would the convenience
15 store be open later hours than that?

16
17 **PROPERTY OWNER** – The convenience store as you know, 7-11 is open 24
18 hours ma'am.

19
20 **COMMISSIONER VAN NATTA** – Yes, okay I was wondering about that when he
21 was saying 7 AM to 9 PM.

22
23 **COMMISSIONER OWNINGS** – Just one more. First of all I'd like to commend
24 you for your entrepreneurial spirit and your courage and going into business in
25 these troubled times. I also promise we're not going to test you. There is no
26 occupational license here, but there was mention of a feasibility study. I assume
27 there was a feasibility study done on behalf of 7-11 and was that study done prior
28 to the building to the other two or after the building of the other two competitors
29 that were we discussing? I am going to assume it was done after right? So the
30 feasibility study took into consideration current business conditions?

31
32 **PROPERTY OWNER** – It was before and after but you are talking about the car
33 wash right?

34
35 **COMMISSIONER OWINGS** – No I'm talking about the feasibility study that you
36 did for both the car wash and the 7-11.

37
38 **PROPERTY OWNER** – Before and after

39
40 **COMMISSIONER OWINGS** – So it did take into consideration the current
41 business situation?

42
43 **PROPERTY OWNER** – Yes sir

44
45 **COMMISSIONER OWINGS** – Thank you

46

1 **VICE CHAIR BAKER** – Thank you. Are there any other comments from the
2 Commissioners for the Applicant? Okay very good. Thank you.

3
4 **PROPERTY OWNER** – Thank you

5
6 **VICE CHAIR BAKER** – Now we do have two Speaker Slips on this item, so at
7 this time I am going to open up to Public Testimony for Item No 2 and the first
8 person here will be Joseph Karaki. Excuse me if I screwed that up a little bit. If
9 you would please state your name and address for the record I'd appreciate it.

10
11 **SPEAKER KARAKI** – Thank you Mr. Chairman. My name is Joseph Karaki at
12 23550 Sunnymead Boulevard. I'm not a Banker; I'm a small business owner in
13 the City of Moreno Valley. I own the car wash on Sunnymead; the I Wash
14 Express. With me are five owners of the car washes within a one mile square
15 within Alessandro and Sunnymead.

16
17 I don't know where to start here, but apparently it is going to be the capital of car
18 washes I think in this area of a one mile square. When I started, I bought the
19 property on Sunnymead in 2007 and we bought another property across the
20 street along Graham and Sunnymead, so when we put the express car wash in,
21 it was the same type that the gentleman was talking about as the express car
22 wash. He mentioned that there was no such express car wash in the whole area.
23 Actually there are two right now; brand new; my car wash at Frederick and
24 Sunnymead and then there is a car wash right across the street and then there is
25 a car wash on Frederick and Alessandro and then there is a car wash west of
26 Frederick and then there is a car wash on Heacock and Sunnymead. I mean I
27 don't know where we are going with this car wash thing. I mean we are going to
28 go out of business. Already business is dropping. There is no traffic for
29 business. We spent 5 million dollars on improvements on Sunnymead Boulevard
30 and the traffic is not there because when we started this job, the economy was
31 up high and now we are down, so I don't know what the City envisioned by
32 allowing more car washes coming into the area.

33
34 The gentleman who spoke said we want to create more jobs and then the
35 gentleman after him said I only have one employee to run the car wash so they
36 are contradicting themselves between one employee here and then creating
37 jobs, so if he created jobs, I'm going to lose my employees. I'm employing seven
38 people; means seven times five car washes around, they are going to lose
39 business and they're going to be closing. Already we are hurting. We are
40 hurting. We are hurting. On Friday and Saturday on both sides of my car wash,
41 people come and wash cars on the street, right on both sides of my car wash. I
42 begged the City to come and do something about it and nothing has been done
43 and here another big humungous car wash come into the area. We are not
44 surviving. How can they survive?

1 I am pleading before you because this is serious business here. We are told that
2 Sunnymead is going to be the downtown and there are going to be a lot of
3 improvements; there is nothing; zero. I wished to put a gas station on the other
4 corner and they said you cannot put a gas station on that corner; there are too
5 many gas stations. I dropped it. I listened but now I don't have deep pockets to
6 keep going and going. The City has to have a vision of what goes where and
7 what. We urge you tonight, please this project is going to hurt so many families
8 around and I am here as all the business owners are concerned; they would
9 speak after me.

10
11 **COMMISSIONER OWINGS** – I would like to ask you a question or two, but first I
12 would like to ask the Staff a clarifying John. I guess I should be addressing it to
13 Julia I'm sorry. Julia it is my understanding that what we are here today to
14 decide is not whether or not this applicant can build a car wash but whether or
15 not he can get a variance for the landscaping and whether or not he can get a
16 Conditional Use Permit for the sale of alcohol, so am I clear on this that the
17 property is currently zoned in a fashion that would allow a car wash and the only
18 question that we are deciding is whether or not he can sell alcohol on it and
19 whether or not he gets the variance for the reduced setback and the landscaping.

20
21 **ASSOCIATE PLANNER DESCOTEAUX** – That's correct. The retail center and
22 the car wash are both approved uses in the development code.

23
24 **COMMISSIONER OWINGS** – So really we're not here to decide whether or not
25 he can build a car wash.

26
27 **ASSOCIATE PLANNER DESCOTEAUX** – Correct

28
29 **COMMISSIONER OWINGS** – Thank you

30
31 **SPEAKER KARAKI** – Mr. Owings I understand that. I understand the subject
32 very well but we didn't have the chance to say our vote at the time they approved
33 the car wash, but we have the say tonight to approve or not to approve the
34 variance. We understand that. We understand that Commissioner. We do
35 understand that.

36
37 **COMMISSIONER OWINGS** – I emphasize with your situation, but you know we
38 can only decide what is placed in front of us as Commissioners, number one and
39 number two, you know I've heard no testimony on anyone's behalf bemoaning
40 the sale of liquor, so that is the issue that is before us.

41
42 **SPEAKER KARAKI** – That's what I am... on the issue of the variance, that
43 would trigger to stop the project. If you approve the variance; because we are
44 going to take it all the way to the City Council. We cannot afford to have... I
45 mean if this is approved tonight with the variance, we're done. We've got to
46 speak up tonight. There is a car wash right across the street. What are we doing

1 to this town; I don't know. If you approve the variance; the variance is going to
2 trigger the project; I understand. I am an Architect myself and I understand that.

3
4 **COMMISSIONER OWINGS** – Well I wonder, do you feel that if you are going to
5 decline the variance and I'm not trying to be argumentative, I'm sympathetic and
6 empathetic to all of you. You know by virtue of the fact that you're building or
7 business investment is at risk, so will the new person's, so I think we have that all
8 in common. Everyone has something at risk except for those of us here, so my
9 question would be then do you feel that it is proper that we should deny the
10 variance over an issue that really is a zoning issue or not the variance but the
11 Conditional Use Permit on a matter that is really a zoning issue. I sympathize
12 with what you are saying.

13
14 **SPEAKER KARAKI** – You are approving the variance regardless. The car wash
15 business is different. Can I have a minute of your time? It is not like fast food.
16 You can have fast food on every corner. People would be happy because you
17 have different types of food. People can jump one day to this one and the next
18 day to the other one. They have no problem. Even if you have a gas station,
19 people like Chevron but they don't like Arco, you have to choose, but a car wash
20 is a car wash. A car wash is a car wash, so we're going to cutting throats against
21 each other. That is what I'm saying tonight. Thank you.

22
23 **VICE CHAIR BAKER** – One minute, Commissioner Amber has a question for
24 you.

25
26 **COMMISSIONER CROTHERS** – I just wanted to say to your last comment that a
27 car wash is car wash. I actually disagree with that. There are some days that I
28 am in a rush and I need a quick car wash and I'll drive through somewhere real
29 quick and it doesn't get really dry so I try to like you as fast as I possibly can on
30 the street you know minding all of the traffic signs of course, you know to get it
31 dry and then there are times when I want to take it in when somebody will
32 actually put hands on it and make sure that it is a job well done, so there are
33 definitely different types of car washes for different types of people and you know
34 though it is not as vast as fast food, I think there are situations where an express
35 car wash is not the same as a hand car wash, which is not the same as you
36 know this express car wash may not do as good a job as your express car wash
37 and I may try yours one day and try there's another day and maybe decide that
38 yours is better and go back to yours, so I think in that case it is a little bit different,
39 not you know; not a hundred percent different but you know it is a little bit
40 different and I think that people should have options. That's all.

41
42 **SPEAKER KARAKI** – May I?

43
44 **COMMISSIONER CROTHERS** – Yes

1 **SPEAKER KARAKI** – I completely agree with you on a good time; a good
2 economic time, but this is not a good economic time. I mean yes you have two
3 express car washes within one mile on Sunnymead and then actually there is
4 one down the street on Alessandro, so the choice is there, but what I'm saying is
5 we're cutting throats against each other and I don't want to repeat myself but I
6 hope you get my point.

7
8 **COMMISSIONER CROTHERS** – I did thank you very much.

9
10 **VICE CHAIR BAKER** – Okay, does anybody else have any comments? Okay
11 our next Speaker Slip that we have is from Aibeils Quicken. It is from the
12 Alessandro Auto Spas. Is he here or has he left? He left the building, okay. Is
13 there any other Speaker Slips for this item? Okay, no more... oh there is one;
14 okay. Would you please state your name and address for the record.

15
16 **SPEAKER PATEL** – My name is Dush Patel. It is 23100 Alessandro Boulevard,
17 Moreno Valley. I own the car wash just up the road; just across the road from the
18 City offices; Plaza End Car Wash and for the last three or four years since this
19 car wash is open coming into Moreno Valley, our business has gone down by at
20 least 40 percent; that is with the express car washes plus any other coming in.
21 There have been two new ones; one on Frederick and one on Sunnymead that
22 have opened up. There has been another one that opened up on Cactus and I
23 think just on the corner of Cactus right opposite the main entrance to the Air
24 Force Base. That has opened up and this is affecting us. Are they going to run a
25 car wash with one employee? We have between 10 and 27 employees every
26 week, so that is going to affect us even it is minor, it is still going to affect us, and
27 so we would like you to consider closing the car wash. There is a 7-11 like they
28 want to open up with a liquor store; there is an AM/PM right across the road that
29 sells beers, wines and everything. Just down the road from this 7-11 where they
30 are proposing to open just past the Post Office there is a liquor store there as
31 well, so I don't know why there is a need for any more liquor stores or beers.

32
33 **VICE CHAIR BAKER** – Okay, is there anything else?

34
35 **SPEAKER PATEL** – So between the 215 and up to Perris, I just counted, there
36 are three hand car washes; there are three express car washes; there is one
37 coin-operated car wash and there is one on Cactus, so just around that area we
38 are talking about six, seven, eight car washes just in that area.

39
40 **VICE CHAIR BAKER** – Thank you for your comment.

41
42 **SPEAKER PATEL** – Thank you

43
44 **VICE CHAIR BAKER** – Are there any questions of this gentleman? Okay, thank
45 you. Okay if we have no more Speaker Slips on this item, I'm going to close

1 Public Testimony and open Commissioner's Debate. Welcome aboard
2 Commissioner Salas.

3
4 **COMMISSIONER SALAS** – Thank you, sorry about being late.

5
6 **VICE CHAIR BAKER** – That's okay. I'm glad you're here.

7
8 **COMMISSIONER VAN NATTA** – May I start?

9
10 **VICE CHAIR BAKER** – Yes ma'am, proceed Commissioner Meli

11
12 **COMMISSIONER VAN NATTA** – It used to be I'd take my car to the car wash
13 and I'd have to wait my turn and now I can go to any car wash in town and get
14 right in and there's nobody else there and I can appreciate the concerns of
15 everybody who owns and runs a car wash in town, but just like I would not be
16 able to object to somebody across the street opening another real estate office
17 feeling that there are too many real estate offices in town and we are all
18 competing for a small amount of business, I don't see that we can use that as
19 reason to put a road block in the way of somebody else who decides that they
20 want to try to open another car wash as long as they are doing it in an area that
21 is zoned for that and that is within the General Plan. I would seriously caution
22 the developer who is planning to do this that maybe he look at his demographics
23 again and see if this is really what he wants to put all this money into, but as far
24 as what we are approving today on the variance for the Conditional Use Permit
25 and the variance for the front setback, I don't really see any reason to deny it as
26 much as I sympathize with people who are competing for an ever smaller slice of
27 the pie.

28
29 **VICE CHAIR BAKER** – Thank you Commissioner Meli

30
31 **COMMISSIONER CROTHERS** – I just want to say that I also emphasize with the
32 local business owners of other car washes in the area and there are quite a few
33 in the area. I just pulled up a map last night really quick on Google and typed in
34 car wash on Alessandro and Graham and you know I think about 50 dots came
35 up somewhere close to that. It would seem to me that if you know if it were in
36 front of us to make the decision about the car wash; you know if that were the
37 actual recommendation that was in front of us right now, I don't know how I would
38 feel about that project, however what is front of us right now is the Conditional
39 Use Permit and the Variance and you know as far as I've seen and read over
40 and looked at all the plans and have heard everybody talk, you know the
41 conditions are met of the Conditional Use Permit and the variance, so it is
42 unfortunate that this meeting isn't about the actual car wash itself and I do
43 understand how so many car washes in a certain area will take away from other
44 car washes and like Ms. Van Natta said, strongly suggest that the developer
45 make sure that this is a project that they really want to get into hearing the other
46 owners say that you know that business is down 40 percent, you know just for

1 their safe keeping of you know the money that is being put into a project of this
2 size. Thank you.

3
4 **VICE CHAIR BAKER** – Thank you Amber.

5
6 **COMMISSIONER RAMIREZ** – I agree with Commissioner Van Natta and
7 Commissioner Crothers. We all have the right to be able to venture into business
8 and again you should reconsider looking at the feasibility study or the market
9 study to see or realize whether or not it is a good idea for you to even launch into
10 this business. My hope and my goal and I believe it is the goal of all the
11 Commissioners here is so that we can bring more jobs to Moreno Valley so that
12 more people can afford to go wash their car. Personally I'm the type of person
13 that prefers to wash my car myself or take it somewhere where they hand wash
14 it; that is just my cup of tea. There are plenty of citizens here to go around.
15 There are plenty of people who drive down Alessandro Boulevard to work and on
16 their way home; some that want to get in there and get it done quickly and out of
17 the way and some that don't do it because of that. Other than that, I feel
18 comfortable with this project and I will vote for this project.

19
20 **VICE CHAIR BAKER** – Thank you. Commissioner Tom

21
22 **COMMISSIONER OWINGS** – Well the project seems to be in conformance with
23 the General Plan and Zoning Regulations. The sale of alcohol is a permitted use
24 with the approval of the Conditional Use Permit and everyone in the world has a
25 right to fail, so I will be voting in favor of this Conditional Use Permit and the
26 Variance.

27
28 **VICE CHAIR BAKER** – Thank you. Commissioner George

29
30 **COMMISSIONER SALAS** – I got here too late. I can't comment on this project.
31 I wish I could.

32
33 **VICE CHAIR BAKER** – Okay, I just wanted to give you an opportunity.

34
35 **COMMISSIONER SALAS** – I appreciate that. Thank you.

36
37 **VICE CHAIR BAKER** – You know, my thought is on this, I'm just excited we're
38 getting something going on this corner, because we are really limited as you
39 guys know at 129 easement for utility on that aqueduct; that's unbelievable and
40 here we've got some people willing to stick their neck out on this and I mean way
41 out on the neck to do it and I'm sure they've got their ducks in line or they
42 wouldn't be in here going for this, so I'll vote for it. So I think if that closes
43 Commissioner's Debate, I would like to entertain a motion to approve this
44 resolution.

1 **PLANNING OFFICIAL TERELL** – Vice Chair just as part of that, the applicant
2 did ask a question about a condition of approval, so whoever makes the motion
3 wants to address that one way or the other as far as the hours of operation.
4

5 **COMMISSIONER OWINGS** – I can handle that.
6

7 **VICE CHAIR BAKER** – Okay, good, thank you
8

9 **COMMISSIONER OWINGS** – I would move that it would be further resolved that
10 the Planning Commission hereby **APPROVE** Resolution No. 2011-18
11 **APPROVING** PA09-0031 Plot Plan, PA09-0032 Conditional Use Permit and P09-
12 099 Variance, located in the northeast corner of Alessandro Boulevard and
13 Graham, Parcel No. 296-280-018 subject to the attached Conditions of Approval
14 included as Exhibit A without change.
15

16 **VICE CHAIR BAKER** – And do you want to add...
17

18 **COMMISSIONER OWINGS** – That is it; without change
19

20 **VICE CHAIR BAKER** – Didn't you want to add the 9 o'clock in there or not?
21

22 **PLANNING OFFICIAL TERELL** – No you don't. You're motion has clarified that.
23

24 **COMMISSIONER OWINGS** – My motion is to approve it as it was recommended
25 by the Staff.
26

27 **PLANNING OFFICIAL TERELL** – Yes but just to clarify, it will be as amended
28 because there was the change in conditions from the City utility.
29

30 **COMMISSIONER OWINGS** – From the first; yes
31

32 **COMMISSIONER VAN NATTA** – I don't think we discussed that whether or not
33 we were going to do the 9 o'clock
34

35 **COMMISSIONER OWINGS** – Well but it isn't a discussion. It's my motion. You
36 can second it or not second it or you can vote it down. If it fails for lack of a
37 second, then it fails.
38

39 **VICE CHAIR BAKER** – Just clarification here before we go any farther. Is 8
40 o'clock our magic hour that the other car washes operate? Is that correct?
41

42 **PLANNING OFFICIAL TERELL** – Well it's not the witching hour or anything like
43 that. Most car washes operate roughly from dusk to dawn/ dawn to dusk... yes
44 dawn to dusk and I got the impression that that was this applicant was asking for,
45 but there is nothing that precludes from operating later. These hours of operation
46 are roughly the same as the delivery hours that are normally applied to projects

1 and we just use that as a template. There isn't a specific code section that
2 identifies hours for a car wash, but we use these because the code requirements
3 for deliveries and if there is any kind of a noise issue. That may not be an issue
4 here because the car wash is quite distant from any adjacent residential but that
5 is typically where this 7 to 8 pm timeframe comes from.

6
7 **COMMISSIONER VAN NATTA** – I don't think the noise issue would be one
8 based on where it is located next to the Post Office, which is closed at that time
9 and so forth but the hours that I work, I would like to know there is a car wash
10 somewhere in town I could go to after 8 o'clock at night.

11
12 **COMMISSIONER OWINGS** – So is it everyone's feeling that we would want to
13 approve it with the extended hours. Alright then I will amend my motion to
14 amend it to the 9 o'clock hour as opposed to the 8 o'clock closing hour.

15
16 **ASSISTANT CITY ATTORNEY BRYANT** – Excuse me Commissioner, did you
17 also include in your motion the environmental?

18
19 **COMMISSIONER OWINGS** – No but I should have shouldn't I?

20
21 **PLANNING OFFICIAL TERELL** – I think you did read that didn't you?

22
23 **COMMISSIONER OWINGS** – Alright... you know I may not have that so
24 somebody else...

25
26 **PLANNING OFFICIAL TERELL** – Well in the Agenda... if you look at the
27 Agenda that is the best place to look.

28
29 **COMMISSIONER OWINGS** – **APPROVE** P11-030 Amended Conditional Use
30 Permit, subject to the Conditions of Approval attached as Exhibit A and that
31 should state as amended.

32
33 **PLANNING OFFICIAL TERELL** – No, I'm not quite sure what page you are
34 looking at but if you turn to the Agenda and look at Item No. 2, page 3 at the top

35
36 **COMMISSIONER OWINGS** – I'm on page 2. If go to page 3, I don't have page 3
37 Now I've got it

38
39 **PLANNING OFFICIAL TERELL** – And then where it says Approve Resolution
40 No. 2011-18, that whole two paragraphs there.

41
42 **COMMISSIONER OWINGS** – Yes, I missed the first one, is that what you are
43 saying?

44
45 **COMMISSIONER VAN NATTA** – Why don't you just start over?
46

1 **COMMISSIONER OWINGS** – Alright... that’s a lot of reading Meli. **APPROVE**
2 Resolution No. 2011-18 and thereby:

- 3
4 1. **RECOGNIZE** that PA09-0031 Plot Plan, PA09-0032 Conditional Use Permit
5 And P09-099 Variance qualify as an exemption in accordance with the
6 California Environmental Quality Act (CEQA) Guidelines, Section 15332
7 Infill Development Projects; and,
8
9 2. **APPROVE** PA09-0031 Plot Plan, PA09-0032 Conditional Use Permit and
10 P09-099 Variance, subject to the attached Conditions of Approval included as
11 Exhibit A with the amendment that the hours are extended to 9 o’clock as
12 opposed to 8 o’clock Sunday through Saturday.

13
14 **ASSOCIATE PLANNER DESCOTEAUX** – And the Moreno Valley Utility change

15
16 **VICE CHAIR BAKER** – Where is that at? Oh that extra one. That’s the one that
17 you emailed me.

18
19 **COMMISSIONER OWINGS** – I got it... I got it... Additionally Condition of
20 Approval from the Moreno Valley Utility (MVU) will be removed from this project.
21 The project is not within the area currently served by the Moreno Valley Utility.
22 The project will obtain electricity from Southern California Edison.

23
24 **COMMISSIONER VAN NATTA** – I second that

25
26 **VICE CHAIR BAKER** – Do I have a second

27
28 **COMMISSIONER VAN NATTA** – You have a second

29
30 **VICE CHAIR BAKER** – We have an approval and a second. Can we vote all in
31 favor?

32
33 Opposed – 0

34 Abstention – 1 (Commissioner Salas)

35
36 **Motion carries 5 – 0 - 1, with one abstention (Commissioner Salas)**

37
38 **VICE CHAIR BAKER** – Do you want to do Staff wrap up now?

39
40 **PLANNING OFFICIAL TERELL** – Yes this item shall be... this approval shall
41 become final unless appealed to the City Council within 15 days.

42
43 **VICE CHAIR BAKER** – Thank you very much. So Item No. 3 we are carrying
44 that over to next month. The next order of business is Other Business

1 **OTHER BUSINESS**

2
3
4 **1. Denial Resolution: PA08-0098 Change of Zone for 55 acres from**
5 **Business Park (BP) to Light Industrial (LI)**

6
7
8 **VICE CHAIR BAKER** – We’ve got Item No. 1, which is a denial resolution. So
9 basically all we need here is a motion to move forward on this?

10
11 **PLANNING OFFICIAL TERELL** – That’s correct

12
13 **VICE CHAIR BAKER** – This is the one that had to do with the...

14
15 **COMMISSIONER VAN NATTA** – Dark Sky

16
17 **PLANNING OFFICIAL TERELL** – No this is for the West Ridge Project and this
18 is just to follow up on your action that you took at the last meeting. It makes it
19 formal.

20
21 **VICE CHAIR BAKER** – Now explain here what a... when we get into these
22 things what a yes vote and a nay vote does for us on this.

23
24 **PLANNING OFFICIAL TERELL** – If you vote in favor of the Resolution you are
25 voting to deny the project. If you vote against this motion, you in essence are
26 voting for the project. So, a “for” vote here is for the denial of the West Ridge
27 Project which was the Industrial Project.

28
29 **VICE CHAIR BAKER** – So what we need here is a motion to move forward with
30 this on the denial. Does anyone want to make the motion on that?

31
32 **COMMISSIONER VAN NATTA** – I’ll do that

33
34 **VICE CHAIR BAKER** – You bet, go ahead

35
36 **COMMISSIONER CROTHERS** – John, since I wasn’t here for that vote, I
37 abstain; correct?

38
39 **PLANNING OFFICIAL TERELL** – Unless you have reviewed the tape or
40 something you could vote... Yes/no.

41
42 **ASSISTANT CITY ATTORNEY BRYANT** – If you have reviewed the tape in it’s
43 entirety you could vote otherwise you should abstain.

44
45 **PLANNING OFFICIAL TERELL** – But if you have not you should abstain
46

1 **COMMISSIONER CROTHERS** – Yes I have not so I will abstain

2
3 **COMMISSIONER VAN NATTA** – I make a motion to **APPROVE** Resolution No.
4 2011-13 to **DENY** a Change of Zone (PA08-0098) for an approximate 55 acre
5 site from BP (Business Park) to LI (Light Industrial).

6
7 **VICE CHAIR BAKER** – Do I have a second to that motion?

8
9 **COMMISSIONER OWINGS** – Second

10
11 **VICE CHAIR BAKER** – Tom has seconded the motion. We will call for the roll
12 call vote; all in favor?

13
14 **Motion carries 3 – 2 – 1, with one abstention (Commissioner Crothers)**

15
16 **VICE CHAIR BAKER** – So we have 3 for, 2 opposed and 1 abstention. Is that
17 correct?

18
19 **COMMISSIONER VAN NATTA** – We have an abstention

20
21 **VICE CHAIR BAKER** – We have 3 – 2 – 1

22
23 **PLANNING OFFICIAL TERELL** – 3 – 2 – 1 yes

24
25 **VICE CHAIR BAKER** – Okay, very good

26
27 **COMMISSIONER OWINGS** – If you wouldn't mind Ray, just for a matter of
28 clarification for future reference. This vote tonight wasn't a re-vote of the project,
29 so really there would be nothing that would preclude somebody who voted no in
30 the earlier decision making from voting yes on this resolution; correct?

31
32 **PLANNING OFFICIAL TERELL** – Or vice-versa

33
34 **COMMISSIONER VAN NATTA** – Voting no on the original one and voting yes on
35 this is the same thing

36
37 **COMMISSIONER OWINGS** – Well turning it around I guess what my point was
38 what we are ratifying here is what happened two weeks ago. So typically with
39 the issue if you voted for the project you could vote for this amendment and still
40 be consistent.

41
42 **PLANNING OFFICIAL TERELL** – Yes and conversely; if you voted against the
43 project it didn't preclude you from changing your opinion, but the main reason
44 and what we normally expect on a vote like this is the same vote that you had.

45

1 **VICE CHAIR BAKER** – And we do have that so...You know, George and I have
2 been on here for two years and that's why I wanted a clarification because this
3 comes up every so often on items like this and it gets a little confusing.
4

5 **COMMISSIONER VAN NATTA** – Now from here if they appeal it, it goes to the
6 City Council?
7

8 **PLANNING OFFICIAL TERELL** – They have already appealed it and it will go...
9 I will let you know; it is scheduled to go to the City Council on July 12th.
10

11 **COMMISSIONER VAN NATTA** – Would it be appropriate for members of the
12 Planning Commission to explain to the Council in the meeting our reasons
13 behind either approving or ...
14

15 **PLANNING OFFICIAL TERELL** – As a citizen you have every right to speak. It
16 is not appropriate or inappropriate, but the Council will get the verbatim minutes
17 of your meeting.
18

19 **COMMISSIONER VAN NATTA** – So they'll hear all the reasons that we have...
20

21 **COMMISSIONER OWINGS** – Only if they listen to it
22

23 **PLANNING OFFICIAL TERELL** – Some will listen to the tapes, some read the
24 minutes, and you know that information is available to them.
25

26 **VICE CHAIR BAKER** – One thing on the Planning Commission; we do speak as
27 a citizen and not as a Planning Commissioner. I don't think it's legal. You know
28 we are supposed to do that.
29

30 **PLANNING OFFICIAL TERELL** – That's correct
31

32 **VICE CHAIR BAKER** – So if you do go to the Council Meeting, you are speaking
33 as general citizen of Moreno Valley and not a member of the Planning
34 Commission. Is that correct legally?
35

36 **ASSISTANT CITY ATTORNEY BRYANT** – Right
37

38 **VICE CHAIR BAKER** – Good... is there anybody else have any questions?
39 Okay so now we are going to move onto to our Assistant... I was going to say
40 Attorney General but she is our Assistant City Attorney
41
42
43
44
45
46

1 **2. Brown Act Training**
2
3

4 **VICE CHAIR BAKER** – Yes you maybe; you know from what I hear... so young
5 lady if you would go through this. This is something that we all have to do
6 annually from what I understand.... The Brown Act
7

8 **ASSISTANT CITY ATTORNEY BRYANT** – You do have to go training. This is
9 just a very quick read through of the topics because we have so many new
10 Commissioners on board, so we're going to cover open meetings and conflicts of
11 interest. The Brown Act was adopted to ensure that almost all aspects of the
12 decision making process of legislative bodies of local agencies are conducted in
13 public and open to public scrutiny. It applies to all bodies and in particular the
14 City Council and the Planning Commission.
15

16 What the Brown Act encompasses is the posting of the Agenda; how public
17 meetings are run; how the public participates in the meetings; how documents
18 are dispersed at public meetings; closed sessions and the penalties for the
19 violation of the Brown Act. The Agenda has to provide a reasonable description
20 of the proposed actions. It has to be posted at least 72 hours before a regular
21 meeting and 24 hours before a special meeting. We have to specify the time and
22 the location of the meeting. This won't really apply to the Planning Commission
23 but if you want to add an item that is not on Agenda, you have to have an
24 unexpected need for immediate action or an emergency situation. An action item
25 continued from a properly posted meeting occurring less than 5 days before it
26 can be added.
27

28 Government Code Section 54953 states that all meetings of the legislative body
29 of a local agency shall be open and public and all persons shall be permitted to
30 attend any meeting of the legislative body of a local agency except as otherwise
31 provided in this chapter. So, therefore all the meetings must be public and
32 meeting means any congregation or consultation of a majority of the body to
33 hear, discuss, decide or deliberate any item within the jurisdiction of the body
34 prohibits reaching or seeking collective concurrence of a majority and it prohibits
35 use of third parties or indirect means. You can't use Staff members to reach a
36 collective concurrence. Exceptions to this are:

- 37 • A closed session which really does not apply to the Planning Commission.
38 It is much more prevalent at the City Council level.
- 39 • You may have individual contact with constituents and certain meetings
40 provided there is no discussion among the members of the body. So if a
41 majority of the Planning Commission goes to a conference, that's okay
42 but you can't discuss items that will be before the Commission.
- 43 • Community meetings organized by others; meetings of another
44 governmental agency or purely social or ceremonial events; you just
45 can't talk about the items before the Commission.

- 1 • Public participation. We see that in Public Comments. It can be on
2 matters on the Agenda. They must be heard before the body makes a
3 decision and there are Public Comments on matters not on the Agenda
4 and that can be any time during the meeting that the Chair decides to
5 take Public Comments.
- 6 • There are brief responses by the Commission allowed. It should not be a
7 full on discussion of the item and reasonable time limits may be set in
8 advance so that everyone knows what the time limits are and the
9 Commission may not prohibit criticism.
- 10 • If there are documents that are provides as part of the backup to the
11 Agenda items then those documents should be made available at the
12 meeting and they can also be requested in advance that they be
13 distributed to a particular person who made the request when the
14 Agenda and the packet is distributed to the majority of the Commission.
15 If the documents are first made available to the body at the meeting then
16 copies are to be provided or to be made available at the meeting as well.
- 17 • Closed Sessions. This does not really apply to the Planning Commission
18 but there are proper Closed Session matters.

19
20 Penalties for violation of the Brown Act include:

- 21 • invalidation of any action taken
- 22 • criminal misdemeanors if the member was in attendance at a meeting
23 where action was taken where he or she participated
- 24 • civil action for injunctions may also be brought and the court may also
25 order taping of any closed sessions and attorney's fees and court costs
26 may be awarded

27
28 Now, moving onto Conflict of Interest Laws: We are going to talk about
29 disqualification from participation, contractual conflicts of interest, campaign
30 contributions, incompatible offices and free or discounted travel. So now we are
31 going to talk about the Political Reform Act. No public official at any level of
32 State or local government shall make, participate in making or in any way attempt
33 to use his official position to influence a governmental decision in which he
34 knows or has reason to know he has a financial interest. A public official has a
35 financial interest in a decision if it is reasonably foreseeable that the decision will
36 have a foreseeable and material financial affect on the official or one or more of
37 his or her economic interests.

38
39 Financial interest and economic interest means different things. A financial
40 interest is when a public official has a financial interest if it is reasonably
41 foreseeable that the decision will have a material effect on the official's economic
42 stake. An economic interest is a label applied to the particular types of interest
43 recognized by law as potential sources of a conflict of interest. There are six
44 basic types of economic interests.

- 45 • Economic interest in a business entity in which the official has a direct or
46 indirect investment worth 2,000 dollars or more.

- 1 • Economic interest in a business entity in which the official is a director,
2 officer, partner, trustee, employee or holds any position of management
- 3 • Economic interest in real property in which the official has a direct or
4 indirect interest of 2,000 dollars or more
- 5 • Economic interest and in any source of income which aggregates to
6 \$500.00 or more within 12 months prior to the decision
- 7 • Economic interest in any source of gifts to the official if the gift's aggregate
8 to \$420.00 or more within months prior to the decision
- 9 • Economic interest in the official's own personal expenses, income, assets
10 or liability as well as the official's immediate family.

11
12 So for the analysis for conflict of interest it is pretty involved. We first ask:

- 13 • Is the public official involved?
- 14 • Is the public official making, participating in making or using or attempting
15 to use official position to influence a government decision.
- 16 • Does the official have a statutorily defined economic interest?
- 17 • Is the economic interest directly or indirectly involved?
- 18 • Is the economic interest material?
- 19 • Is it reasonably foreseeable that the decision will have a material financial
20 effect on an economic interest?
- 21 • Will the decision's financial effect on the official's economic interest differ
22 from the effect on the public generally?
- 23 • Is the official legally required to participate?
- 24 • If you have a conflict of interest it is a disqualification and if a
25 disqualification should occur the proposed action could have a material
26 effect directly or indirectly on an economic interest of the official, spouse
27 or dependant
- 28 • Disqualified if the decision could affect a business interest, investment in
29 the business worth \$2,000.00 or more if you are a director, officer,
30 partner, trustee, employee or management position whether paid or not
- 31 • Considering your real property, if you have interest in the property worth
32 \$2,000.00 or more, mortgages, options to buy and leasehold interests are
33 considered to be interests in real property or if the official's real property
34 is located within 500 feet of the affected property before the Commission.

35
36 Going over the income and gifts... If you have received:

- 37 • A gift aggregating \$420.00 or more in the past 12 months and that
38 includes the community property interest income of your spouse.
- 39 • Indirect interest in business entity and real property includes investments
40 in business entities worth \$2,000.00 or more owned by your spouse or
41 your dependent children
- 42 • Investments in real property worth \$2,000.00 or more owned by your
43 spouse or your dependent children

1 For the material affect evaluation of the analysis there are different rules for
2 directly and indirectly involved economic interests and the materiality standards
3 are varied and complex. If you are disqualified you should not; you may not
4 participate in or attempt to influence any potential decision maker or advisor. In a
5 public meeting you must announce the conflict and you have to leave the room.
6 You are not disqualified if the affect on you is the same as the affect on the public
7 in general.

8
9 Penalties... If you violate the Political Reform Act it can result in severe penalties.
10 These may include administrative penalties, civil penalties imposed by the FPPC
11 or criminal sanctions including monetary fines or imprisonment.

12
13 And now to discuss the Government Code, Section 1090. These are in addition
14 to the restrictions to the Political Reform Act. Public Officials shall not have a
15 financial interest in any contract made by them in their official capacity or by any
16 board of which they are a member. It prohibits any financial interest of yourself
17 or your spouse and the opportunity to influence is illegal even if it is not used. So
18 officials appointed by the City Council are deemed to have an opportunity to
19 influence. If there is a 1090 violation, the public agency gets to keep the benefit
20 of the contract and the official has to repay all benefits received plus interest.
21 The official may be banned for life from holding public office and the official may
22 go to prison.

23
24 To discuss incompatible offices, a person may not hold two public offices at the
25 same time. If there is a potential or actual conflict in the duties, the acceptance
26 of the second office acts as a resignation of the first office.

27
28 For you discounted travel is also a conflict of interest. It is a constitutional
29 prohibition. You may not receive free or discounted travel or free upgrades from
30 any transportation company. Acceptance of any free or discounted travel works
31 as a forfeiture of the office, but it does not apply to travel benefits available to the
32 general public as a whole.

33
34 That's the end of the presentation. If there is at any time potential conflicts or
35 situations where you want to have a consultation with the City Attorney's Office,
36 perhaps just give us a call and we'd be happy to work through process, hopefully
37 sooner than later.

38
39 **VICE CHAIR BAKER** – Thank you. Good job. You always do a good job. I've
40 been through about three of these now and I think you do one of the best jobs
41 presenting it. Thank you so much.

42
43 **ASSISTANT CITY ATTORNEY BRYANT** – Thank you

1 **2. Election of Officers**

2
3
4 **VICE CHAIR BAKER** – Okay, the next item on the Agenda is the Election of
5 Officers. Is that something we’re moving forward with tonight?

6
7 **PLANNING OFFICIAL TERELL** – Yes I just wanted to make sure... I think
8 everyone knows but just to make sure everyone knows that Commissioner
9 Dozier did resign for personal reasons, so it is up to the other six of you to elect a
10 Chair and a Vice Chair. What is done; I mean you are the Vice Chair so the Vice
11 Chair can handle the nominations and the election of the new Chair and then the
12 Chair would handle the election of the Vice Chair.

13
14 **VICE CHAIR BAKER** – Okay, I’m going to open the nominations up for the
15 Chairman of the Planning Commission.

16
17 **COMMISSIONER OWINGS** – I’d like to nominate Ray Baker

18
19 **COMMISSIONER VAN NATTA** – I second the nomination

20
21 **VICE CHAIR BAKER** – Do we have any additional nominations? All in favor?

22
23 **Opposed – 0**

24
25 **Motion carries 6 – 0, with one absent (Commissioner Dozier)**

26
27 **VICE CHAIR BAKER** – Thank you for your confidence and I will really try to do a
28 great job the rest of the year. It’s been a little shaky here but now the next thing I
29 would like to do is open the meeting up for the Vice Chairman. Do I have a
30 nomination for that position?

31
32 **COMMISSIONER OWINGS** – I’ll nominate the gentleman to my left here.

33
34 **VICE CHAIR BAKER** – George Salas has been nominated for Vice Chair. Do
35 we have any other nominations? Do we have any other nominations?

36
37 **COMMISSIONER RAMIREZ** – I second that

38
39 **VICE CHAIR BAKER** – Okay, good and I needed a second; sorry about that. All
40 those in favor?

41
42 **Opposed – 0**

43
44 **Motion carries 6 – 0**

1 **VICE CHAIR BAKER** – Okay, we're out of here on the Election.

2
3 **COMMISSIONER SALAS** – Thank you. We'll do a good job together

4
5
6
7 **STAFF COMMENTS**

8
9 **VICE CHAIR BAKER** – Now we're going to open this up for Staff Comments.
10 Have we got a few final Staff Comments before we go home?

11
12 **PLANNING OFFICIAL TERELL** – Very quickly, your next meeting is on July 14th.
13 The only item currently scheduled is the one you continued tonight, but we have
14 a little bit of time so there may be more than that. Other than that I have no
15 comments.

16
17
18
19 **PLANNING COMMISSIONER COMMENTS**

20
21 **VICE CHAIR BAKER** – Thank you very much. Now we will start down here on
22 my left here with Commissioner Salas.

23
24 **COMMISSIONER SALAS** – I don't have much to say. I did want to say that
25 Kaiser was continued until the next meeting?

26
27 **VICE CHAIR BAKER** – Correct

28
29 **COMMISSIONER SALAS** - Because I missed out on that because I was looking
30 forward to that one. Alright and thank you very much for nominating me for Vice
31 Chair. I'll try to do the best I can for you all.

32
33 **VICE CHAIR BAKER** - Okay; Commissioner Tom

34
35 **COMMISSIONER OWINGS** – No comment

36
37 **VICE CHAIR BAKER** – And Commissioner Meli

38
39 **COMMISSIONER VAN NATTA** – No

40
41 **VICE CHAIR BAKER** – No comments; okay, Commissioner Amber

42
43 **COMMISSIONER CROTHERS** – No

44
45 **VICE CHAIR BAKER** – Okay good.

1 **ADJOURNMENT**

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COMMISSIONER SALAS – Wait a minute. I’ll move to adjourn

VICE CHAIR BAKER – Okay

COMMISSIONER OWINGS – Motion

VICE CHAIR BAKER – Okay, thank you very much. Good night Moreno Valley

John C. Terrell
Planning Official
Approved

Date

Ray L. Baker
Vice-Chair

Date

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1 CITY OF MORENO VALLEY
2 PLANNING COMMISSION
3 REGULAR MEETING
4 JULY 14TH, 2011

5
6
7 **CALL TO ORDER**

8
9 Chair Baker convened the Regular Meeting of the City of Moreno Valley Planning
10 Commission on the above date in the City Council Chambers located at 14177
11 Frederick Street.

12
13
14
15 **ROLL CALL**

16
17 Commissioners Present:

18 Chair Baker
19 Commissioner Crothers
20 Commissioner Ramirez
21 Commissioner Van Natta

22
23 Excused Absence:

24 Vice Chair Salas

25
26 Late:

27 Commissioner Owings

28
29 Staff Present:

30 John Terell, Planning Official
31 Associate Planner Julia Descoteaux
32 Suzanne Bryant, Assistant City Attorney
33
34
35

36 **PLEDGE OF ALLEGIANCE**

37
38
39
40 **APPROVAL OF AGENDA**

41
42 **CHAIR BAKER** – May I have a motion to approve the Agenda

43
44 **COMMISSIONER CROTHERS** – I motion
45

1 **COMMISSIONER RAMIREZ** – I second

2
3 **CHAIR BAKER** – Okay, motion by Commissioner Crothers and a second by
4 Commissioner Carlos. All those in favor?

5
6 Opposed – 0

7
8 **Motion carries 4 – 0, with two absent (Vice Chair Salas and Commissioner**
9 **Owings)**

10
11
12
13 **PUBLIC HEARING ITEMS**

14
15 **CHAIR BAKER** – The public is advised of the procedures to be followed in this
16 meeting and these are on display at the back of the room.

17
18
19
20 **PUBLIC COMMENTS**

21
22 **CHAIR BAKER** – Comments by any member of the public on any matter which
23 is not listed on the Agenda and which is within the subject matter jurisdiction of
24 the Commission is available. The other thing that I jumped ahead here as we are
25 going to have Commissioner Crothers; before we get into the Non-Public
26 Hearing, the Pledge of Allegiance.

27
28
29
30 **NON-PUBLIC HEARING ITEMS**

31
32 At this time we are going to have Non-Public Hearing Items.

33
34
35
36 **APPROVAL OF MINUTES**

37
38 1. April 14th, 2011

39
40 2. May 12th, 2011

41
42 The one thing that we have on this tonight is I need a motion to approve the
43 minutes of April 14th, 2011 and May 12th, 2011.

44
45 **COMMISSIONER CROTHERS** – I'll motion to approve

1 **COMMISSIONER VAN NATTA** – Seconded

2
3 **CHAIR BAKER** – Okay moved by Commissioner Crothers and seconded by
4 Commissioner Van Natta. All in favor?

5
6 Opposed – 0

7
8 **Motion carries 4 – 0, with two absent (Vice Chair Salas and Commissioner**
9 **Owings)**

10
11
12
13 **PUBLIC HEARING ITEMS**

14
15 **1. Case Number: PA11-0009 Plot Plan**
16 **P11-016 Master Plot Plan**
17
18 **Case Planner: Julia Descoteaux, Associate Planner**
19

20
21 **CHAIR BAKER** – This will be handled by Julia

22
23 **ASSOCIATE PLANNER DESCOTEAUX** – Good evening Chair Baker and
24 members of the Planning Commission. I'm Julia Descoteaux, Associate Planner.
25 Before you this evening is a medical office building for 74,425 square feet, three
26 story building located west of the existing Kaiser Permanente Hospital and a
27 Master Plot Plan to incorporate the new office building into the medical center
28 complex. The project is located within the Office Commercial Zone within the
29 Medical Use Overlay District.

30
31 The purpose of the Medical Use Overlay District is to implement the General
32 Plan goal of creating a medical corridor by limiting land uses to those that
33 support or are compatible with the City's two existing hospitals. The project as
34 designed and conditioned meets the objectives and requirements of the Office
35 Commercial Zone and the Medical Use Overlay District. The project site is
36 located on the north side of Iris Avenue, west of Oliver and adjacent to the
37 existing Kaiser Hospital site. Properties to the north and west are zoned low to
38 medium residential within the Aquabella Specific Plan 218. To the south are
39 existing single family residential dwellings within the Moreno Valley Ranch
40 Specific Plan 193. Properties to the east include the existing Hospital; zoned
41 Community Commercial and two vacant properties east of the Hospital zoned
42 Neighborhood Commercial and Office all within the Medical Use Overlay District.

43
44 The project will access from Iris Avenue at the location of the existing driveway
45 with an additional driveway added along the western property line. The existing
46 driveway will be redesigned with a traffic circle to accommodate vehicles visiting

1 the existing hospital and the new medical center. A drop-off area for visitors is
2 provided west of the traffic circle and pedestrian access is provided by sidewalks
3 adjacent to each driveway. The design of the proposed office building is in
4 conformance with the Office Commercial design standards and is consistent and
5 complimentary with the existing hospital. The building is a contemporary design
6 using glass, spandrel glass and metal to accent the front of the building. Several
7 levels of metal overhangs including a canopy at the loading and unloading area
8 provide dimension to the building with several earth colors adding depth. The
9 rear of the building provides several roof lines for visual interest. The site has
10 been designed with a courtyard in between the new medical office building and
11 the existing Hospital to create a campus like environment. The courtyard area
12 will have trees, planters and benches including bollards and landscaping accents
13 adjacent to the traffic circle to accommodate both the daily needs and larger
14 Hospital sponsored events.

15
16 An addendum to the Adopted Negative Declaration per the California
17 Environmental Quality Act 15164 is justified as the project's PA11-0009 and P11-
18 016 are within the scope of the Negative Declaration that was approved for
19 PA06-0133 which was two medical office buildings approved on the same site.
20 Public Notice was sent to all property owners within 300 feet and the property
21 was noticed in the newspaper as well as posted on the site. We have a couple of
22 changes. The item was originally scheduled for the June 9th meeting and on that
23 night you received; I'm not sure if you received it, but we had a Conditional of
24 Approval LD56 where it states along Cactus Avenue and it really should state Iris
25 Avenue, so we've corrected that within the Conditions of Approval. Additionally,
26 the Applicant has revised the grading plan; the north elevation and the rear
27 landscape and you have been provided that information via email. The Applicant
28 had a meeting with the adjacent property owner and they were able to discuss
29 the project and add some additional... again landscaping and changes to the
30 elevation. We've also added one additional Condition of Approval. A minimum
31 of 20 California Fan Palms will be included in the landscaping adjacent to the
32 parking area on the north and west side of the building to provide visual interest
33 and screening from the adjacent property. This concludes Staff's presentation
34 and at this time I am here to answer any questions for you. Thank you.

35
36 **CHAIR BAKER** – Okay do any of the Commissioners have any questions of
37 Staff before we bring the Applicant forward?

38
39 **COMMISSIONER VAN NATTA** – There was a revised rear elevation. Other
40 than the adding of the palm trees what other changes were made to the rear
41 elevation from what we've seen before?

42
43 **ASSOCIATE PLANNER DESCOTEAUX** – They've added some extra dimension
44 into the building in the center and changed the material that is in the center of the
45 building. I can have the Applicant explain a little bit better but...

1 **COMMISSIONER VAN NATTA** – Okay I’m sure they can explain when they
2 come up to do their presentation.

3
4 **COMMISSIONER OWINGS** – Just to follow up on that, what was the purpose of
5 the changes?

6
7 **ASSOCIATE PLANNER DESCOTEAUX** – They met with the adjacent property
8 owner and there were... well the original grading plans had off-site grading, so
9 they pulled the grading onsite and just for additional screening. Currently that
10 property back there is zoned residential.

11
12 **COMMISSIONER OWINGS** – I’m not particularly familiar with offsite grading. Is
13 it normal for someone to do grading offsite?

14
15 **PLANNING OFFICIAL TEREILL** – Yes it is actually is standard practice and the
16 standard Condition of Approval which is in the original set of conditions and
17 probably still there because where offsite grading is proposed the Applicant is
18 responsible for getting approval of that by the adjacent property owner.
19 Obviously approving offsite grading does not relieve the Applicant from getting
20 approval from that property owner.

21
22 **COMMISSIONER OWINGS** – So John if they decided not to do offsite grading,
23 could you deduce from that the adjacent property owner did not give them
24 permission to do the grading?

25
26 **PLANNING OFFICIAL TEREILL** – I would suspect that that was part of the
27 conversation they had and the Applicant did revise the plans in order to
28 accommodate that.

29
30 **COMMISSIONER OWINGS** – What was the purpose of the original offsite
31 grading?

32
33 **PLANNING OFFICIAL TEREILL** – The original offsite grading matched pretty
34 much the prior approval for the two office buildings on this site, so I think they
35 were just looking at that and modeling off the existing approval; so that was an
36 approved project and therefore not knowing the concerns of the adjacent
37 property owner or maybe the concerns of the adjacent property changed, they
38 met and they agreed to revise the plans to reflect that change.

39
40 **COMMISSIONER OWINGS** – Thank you John.

41
42 **CHAIR BAKER** – Is there anyone else? If not then we’ll bring the Applicant
43 forward for their presentation. If you would please state your name and address
44 for the record I’d appreciate that.

1 **APPLICANT** – I’m Skyler Dennison with Kaiser Permanente, 825 Colorado Blvd.,
2 Los Angeles. Good evening Commissioners; Chair Baker and good evening
3 Staff. First of all I’d just like to take this opportunity to thank Staff for all their hard
4 work on this project. They have been exceptional and very, very, responsive and
5 really we’re able to expedite this project to where it is now from the time of
6 submittal to this Planning Commission Hearing, so we’re very grateful for that. I
7 think Staff did an excellent job of summing up the project, but our Capital Project
8 Team is here, including the Architects and Civil Engineers to answer any more
9 technical questions that you have, so with that I’d just like to open it up to
10 comments.

11
12 **PLANNING OFFICIAL TERELL** – Oh Skyler, so your Architect can address in
13 more detail the rear elevation changes?
14

15 **APPLICANT** – Absolutely
16

17 **CHAIR BAKER** – Okay very good. Do you want to do that now and then we’ll...
18 do have any questions of the Applicant or do you want to know about that rear
19 elevation first maybe? Yes let’s have the Architect come forward. If you’d please
20 state your name and address and just kind of run us through the exterior
21 elevations on this building or anything that would enhance it.
22

23 **ARCHITECT** – Yes my name is Armando Vieira and I’m with HMC Architects and
24 we’re located in Ontario, California.
25

26 **CHAIR BAKER** – Okay, thank you
27

28 **ARCHITECT** – And what we did on rear elevation which was one of the concerns
29 of the adjacent landowner. He felt that the rear elevation really wasn’t
30 architecturally pleasing, so what we did to the back elevation is we added that;
31 like Julia was indicating, in the center of the building we added glass storefront or
32 curtain wall, accented glass with spandrel glass and then we added a canopy
33 eyebrow in the back elevation over the service yard, in addition to the palm trees
34 to kind of disguise or decorate the back elevation I guess if you want to say.
35

36 **COMMISSIONER CROTHERS** – I was just wondering... the front of the building
37 is absolutely beautiful with the overhangs and the shade that you are going to get
38 from the front metal overhangs that you have. I was just wondering why that
39 wasn’t carried to the back of the building since this is a building that is going to
40 be seen from four sides. I mean I live relatively close to this property so I know
41 that you know from every side if you come up Nason you are going to see the
42 back of the building. If you are driving around it, you are going to see the back of
43 it, so I was just wondering why that design element which looks so beautiful on
44 the front wasn’t taken to the back to make the four sides of it look cohesive.
45

1 **ARCHITECT** – The back elevation which is the north elevation is the back of the
2 house. It is the service entrance. We have a service yard which has the utility
3 equipment and Staff entrance, so that’s why the back of the house was simpler.
4

5 **COMMISSIONER OWINGS** – Well I guess to follow up on Amber’s point, the
6 adjacent property owner had; would there be a potential that a building there
7 would face the rear of your building? Is that what his concerns were?
8

9 **APPLICANT** – His concern was that with the extension of Nason Street as you
10 are coming down Nason, that you would have the north elevation and in addition
11 the west elevation would be more visible. Our understanding is that his project is
12 being revised at this time. It is in a very conceptual stage, so we don’t know if
13 there is facing it or any buildings at all at this point in time. His concern was just
14 really along Nason Street, so we’ve added additional Sycamore trees which are
15 fast growing that will provide some relief in addition to the palms that was the
16 recommendation of our neighbor stating that his conceptual plan will include
17 palms as well.
18

19 **COMMISSIONER VAN NATTA** – I’m looking at it and I have the same concern
20 that Ms. Crothers has. The back of the building or the back of the house as you
21 are saying here; to me if you can see it as you are driving down Nason, it is not
22 really the back of the house; it is an alternate front. I don’t know would want to
23 call it, but it does not seem to capture the same architectural feel or the same
24 aesthetic appeal as the front and simply putting one little area of glass in the
25 middle and a little façade on the front doesn’t really change this from the drawing
26 that I had seen before and certainly putting a few palm trees in front of it doesn’t
27 change the architecture of the building. Would it not be possible to upscale that
28 architecture a little bit and make it more look less like the back of the house? I
29 mean what I’m saying here it looks very, very institutional. It looks very flat with
30 the windows just kind of cut into the wall there. It reminds of what I would expect
31 to see in an older hospital or a prison or something like that. To me there is no
32 real aesthetic appeal to that side of the building, especially not when you
33 compare it to the front. Maybe you wouldn’t put as much on the back, but I would
34 think on the back you would want to have it look half as nice as the front.
35

36 **APPLICANT** – Well I want to go back to the functionality of this structure. I mean
37 this is a medical office building. It is an ambulatory surgery at the same time, so
38 there is a higher degree of service that we have to have at this facility. Per our
39 conversations with the neighbor, it is just with the enhancements that we did
40 provide that he was happy with the elevations and the architecture that we’ve
41 added in addition to the landscaping. I know that doesn’t address your concerns
42 specifically but from our standpoint we see that it is consistent and that we are
43 carrying these fenestrations; you know these elements from the front of the
44 building to the back, in addition to breaking up that massing with landscaping.
45

1 **COMMISSIONER VAN NATTA** – As you’ve mentioned, any other building in that
2 area by this neighbor is conceptual and we don’t have any plans in front of us on
3 that. It could be years before something else is built there for all we know. What
4 I’m looking at is the aesthetic of this building for the residents of that side of
5 Moreno Valley and anybody else who is driving through that area for this being
6 built now, what is it going to look like and I don’t like the flat institutional look of
7 that for what we are hoping is going to become an upscale neighborhood.

8
9 **APPLICANT** – Well as part of this I mean as you are aware, this is one
10 component of actual medical center; this is actually tied with the medical center
11 and there is future development that is actually being considered and at that
12 point we are not looking this as a separate parcel. It is actually going to be tied
13 with the medical center as part of a Master Plan, so as new construction and
14 expansion goes on it will be integrated into one and we are hoping to keep this
15 dialogue with our neighbor, so when their project comes forward as an
16 application submittal, there will be this integration; there will be this synergy that
17 we can work off in this community.

18
19 **COMMISSIONER VAN NATTA** – Okay but you’re not building anything else
20 there. This is your building and that is as far as its going and what you are
21 building on that?

22
23 **APPLICANT** – This is the only medical office building that is being proposed at
24 this time; correct, but it is tied to the Master Plan as a Conditional of Approval to
25 be tied in with the medical center and included in the Master Plan.

26
27 **COMMISSIONER VAN NATTA** – Okay, thank you.

28
29 **CHAIR BAKER** – You know John I’ve got one question here and maybe I can
30 run it past you. Our purpose and I’m not trying to take away from what you guys
31 are saying, but is our purpose here tonight to give these guys an approval... this
32 isn’t an architectural design review situation is it? Basically what we want to do
33 here is the use permit; right?

34
35 **PLANNING OFFICAL TERELL** – Well the use is permitted in this zone and part
36 of your discussion tonight is to comment on the design, which would be the site
37 design as well as the architecture and to the extent that you believe that it
38 doesn’t comply with City regulations, you need to identify that. I think we all have
39 a great interest in making sure that every building in Moreno Valley has a high
40 quality of architecture and Staff has reviewed this and certainly based on our
41 existing design requirements, this building does meet or exceed those. There is
42 certainly comment as you’ve had with dialogue with the Applicant to see if that
43 can be enhanced, so that is certainly part of your discussion tonight.

44
45 **COMMISSIONER OWINGS** – Well I think that Ray and I would like to clarify also
46 is not our purpose to comment on this right now. Our purpose is to question the

1 Applicant, so we were getting I think dangerously close to discussion as opposed
2 to questioning.

3
4 **PLANNING OFFICIAL TERELL** – You were having a dialogue.

5
6 **COMMISSIONER OWINGS** – Dialogue; alright, let's say that.

7
8 **COMMISSIONER VAN NATTA** – May I ask a question?

9
10 **CHAIR BAKER** – Sure go ahead

11
12 **COMMISSIONER VAN NATTA** – Is there a different criteria for design standards
13 when it is a back of the building instead of the front of the building?

14
15 **PLANNING OFFICIAL TERELL** – Our design guidelines require what we call
16 four-sided architecture which has always been required on commercial and multi-
17 family residential and were recently extended to single-family residential, so
18 typically the idea is that you look at the front of the house or the front door is
19 always where the most money is spent. That is just the way most people do it
20 and then the idea is to take some of those elements from the front of the building
21 and then bring them around to the other three sides, so it is some component
22 that could be materials, colors, sometimes massing is pulled around to the other
23 sides, so that is what four-sided architecture means is that all four sides don't
24 look the same but elements of all four sides are consistent.

25
26 **COMMISSIONER VAN NATTA** – And then when you have a building that is
27 basically facing two streets...

28
29 **PLANNING OFFICIAL TERELL** – If it is say on the corner of two streets or there
30 are certainly buildings that have the streets on all four sides, typically there is an
31 identified front elevation, so there isn't a requirement to have everything that
32 faces the street be considered the front door.

33
34 **COMMISSIONER VAN NATTA** – Right

35
36 **COMMISSIONER OWINGS** – Let me just make a comment or a question. That's
37 really like a faux window that you added up there right? What was the term that
38 you used?

39
40 **APPLICANT** – That's correct

41
42 **COMMISSIONER OWINGS** – Did you do any designs that would have extended
43 that all the way to the end of the building?

44
45 **APPLICANT** – I can let the Architect discuss that

46

1 **ARCHITECT** – Yes the reason we reduced the actual glass on that north
2 elevation was because functionally it wasn't going to work well because of the
3 space that we have inside. We have exam rooms, procedure rooms where you
4 don't want to have any windows to the outside, so we reduced these windows to
5 the areas where we have offices or other support facilities where windows are
6 okay.

7
8 **COMMISSIONER OWINGS** – I guess I'm not clear then. This appears to be
9 glass over windows like they use on the industrial buildings. There are actual
10 windows depicted on the entire...

11
12 **ARCHITECT** – Yes they are windows; there are windows. Those are actual
13 windows going into some of the spaces on the interior.

14
15 **COMMISSIONER OWINGS** – Right and then the shaded area that you added is
16 what?

17
18 **ARCHITECT** – That is spandrel; that is an opaque glass material where it hides
19 the building structure at the floor level.

20
21 **COMMISSIONER OWINGS** – Right but the windows are still intact; the original
22 windows?

23
24 **ARCHITECT** – Yes

25
26 **COMMISSIONER OWINGS** – I guess my question was did you do any
27 renderings to see what it would have looked like if you would have put that
28 material the whole length of the building?

29
30 **ARCHITECT** – No

31
32 **COMMISSIONER OWINGS** – In that you know the recess of the tan and the
33 recessed area where the windows are.

34
35 **ARCHITECT** – Right, no we didn't study any further. We did come up with
36 several you know design...

37
38 **COMMISSIONER OWINGS** – Do you think personally that would be aesthetically
39 more pleasing to have that material the entire length of the building?

40
41 **ARCHITECT** – I think it is beautiful the way it is.

42
43 **COMMISSIONER OWINGS** – Well I appreciate that or you wouldn't have
44 brought it. I know that but do you think it would have been or would add anything
45 to extend it all the way to the end.

1 **ARCHITECT** – One thing we did maintain around the building was the same
2 geometry. The only thing at the main entrance is we did use more glass to make
3 it more pleasing as you enter the buildings, but if you walk around the building
4 and look at the other elevation it is the same geometry.

5
6 **COMMISSIONER OWINGS** – But when I look at the front of the building what is
7 so striking about the front of the building is obviously the glass and then of
8 course those walkways or aerial ways that you have in the front. You have none
9 of that in the back. That is the small part of it and it seems to me that that
10 material is relatively inexpensive and if it would add to the aesthetics of the
11 building, I wondered if you had even looked at that.

12
13 **ARCHITECT** – We didn't look at that. The north elevation which is the back of
14 the house you appreciate it from a distance. The elevation on the south side
15 where have all that glass, there is a lot more detail, so that is more at a
16 pedestrian scale and so you are able to appreciate the details up close and not
17 far away.

18
19 **COMMISSIONER OWINGS** – I appreciate that but I guess my question still goes
20 unanswered because from a distance if that material were extended on the back,
21 it would certainly be visible.

22
23 **ARCHITECT** – Right

24
25 **COMMISSIONER OWINGS** – So my question is if someone were to ask you to
26 apply that, would you have any objection to it; one; and two, do you think it would
27 add to the aesthetics of the building?

28
29 **ARCHITECT** – I don't think it would add anything. It would just be a different
30 design, but it is all subjective.

31
32 **COMMISSIONER OWINGS** – All design is subjective sir

33
34 **ARCHITECT** – Right

35
36 **COMMISSIONER OWINGS** – You have an opinion of this design. You designed
37 it so I'm just asking would it be... would it add to your design or would it subtract
38 from your design or is it neutral?

39
40 **ARCHITECT** – I don't think it would add to the design in my opinion, I love it the
41 way it is.

42
43 **COMMISSIONER OWINGS** – Okay

44
45 **CHAIR BAKER** – I have a question here. How did you happen to pick that
46 corner to put the screen in as opposed to off to the left there or even to the right?

1 **ARCHITECT** – Which corner?
2
3 **CHAIR BAKER** – Well aren't you at a right angle there or not?
4
5 **ARCHITECT** – Oh yes. This was the corner that with the view of the
6 perspective that you are looking at, is that your question?
7
8 **CHAIR BAKER** – Yes
9
10 **ARCHITECT** – Well we wanted to show... there is more happening at this
11 corner. We have the service yard and the staff yard at that entrance right there
12 at that corner.
13
14 **CHAIR BAKER** – So you when you walk into that entrance and that draws you to
15 the upper level. Is that kind of what you are thinking?
16
17 **ARCHITECT** – That's glass door from the green glass door front identifies the
18 staff or the back entrance.
19
20 **CHAIR BAKER** – Okay
21
22 **ARCHITECT** – But that is the entrance to the building and the...
23
24 **CHAIR BAKER** – How big is that glass store front there on the back? Is that just
25 a double door or is it an automatic sliding door?
26
27 **ARCHITECT** – It is an automatic sliding door
28
29 **CHAIR BAKER** – Okay, any other comments?
30
31 **COMMISSIONER VAN NATTA** – The 20 California Fan Palm Trees; is that
32 pretty much as it is showing in the design there where five of them are along the
33 back of the building and then the rest of them go off into the other...
34
35 **ARCHITECT** – The palm tree layouts that you see in the perspective are in their
36 locations with the exception of two additional palm trees that we are going to add
37 in addition to the approval but those are the locations of the palm trees.
38
39 **PLANNING OFFICIAL TERELL** – Yes there is less than 20 on this drawing.
40
41 **COMMISSIONER VAN NATTA** – Oh okay because I was wondering if there was
42 going to be any on the end and also I'm assuming they are not going to be that
43 size palm trees when they are planted. How tall are they going to be when they
44 get put in?
45
46 **ASSOCIATE PLANNER DESCOTEAUX** – Eighteen

1 **PLANNING OFFICIAL TERELL** – There are going to be 18 feet to the bottom of
2 the frond.

3
4 **COMMISSIONER VAN NATTA** – Okay so that would be like about half way up
5 the building then?

6
7 **ASSOCIATE PLANNER DESCOTEAUX** – Correct

8
9 **PLANNING OFFICIAL TERELL** – A little more than half actually because the
10 frond itself is going to add to that... probably about two thirds.

11
12 **ARCHITECT** – Yes this perspective cuts off that second row of trees. You can
13 see the trees smaller in the background down at the bottom right hand corner.

14
15 **COMMISSIONER OWINGS** – While we are on trees, where are the Sycamore
16 trees going?

17
18 **PLANNING OFFICIAL TERELL** – The Sycamore trees are on the property line
19 and aren't there two rows. One is on the property line and this design as we
20 mentioned earlier, the grading at the property line there will be a row of trees are
21 those every 20 feet I think?

22
23 **ASSOCIATE PLANNER DESCOTEAUX** – Yes

24
25 **PLANNING OFFICIAL TERELL** – So there are twice as many as the code
26 requires there and then there is a flat area and then there is a slope and there is
27 another set of trees proposed in that slope. Are those also Sycamore's?

28
29 **ASSOCIATE PLANNER DESCOTEAUX** – Yes

30
31 **PLANNING OFFICIAL TERELL** – Okay, so there are two rows of Sycamore's on
32 this elevation and then when get up into the parking lot there are the parking lot
33 trees and then there are the palm trees and then the building.

34
35 **COMMISSIONER OWINGS** – The adjacent property owner was okay with
36 Sycamore trees on the property line?

37
38 **ARCHITECT** – yes

39
40 **COMMISSIONER OWINGS** – I am confusing Sycamore with another tree. Aren't
41 some cities outlawing Sycamore trees?

42
43 **PLANNING OFFICIAL TERELL** – Well I think you are talking about what we
44 usually call London Plane Trees. That's what in the vernacular refer to the
45 Sycamore. They are the trees around City Hall. The trees there...

1 **COMMISSIONER OWINGS** – So they're not the destructive Sycamore?
2

3 **PLANNING OFFICIAL TERELL** – No... well there are certain Sycamore's that
4 they don't put next to sidewalks and those are the native trees. Typically,
5 Sycamore's are London Plane Trees which is are a hybrid.
6

7 **COMMISSIONER OWINGS** – Yes I'm aware of those. Thank you
8

9 **CHAIR BAKER** – Are there any other comments to the Applicant?
10

11 **COMMISSIONER RAMIEREZ** – Hi there; thank you for coming out. In terms of
12 on a scale of let's say one through 10 in terms of your architectural design, do
13 you think that you could have took it up a couple of notches if we would have
14 said you know let loose. I want you to make this Kaiser stand out above and
15 beyond what Ontario has; what Redlands has or what any other Kaiser has, on
16 all four sides if we would have told you that directly, do you think your end result
17 would have been different?
18

19 **ARCHITECT** – We can make this building you know 10 times better but as
20 architects we are obligated to keep within the client's budget. There is also a
21 budget that we have to meet and keep within.
22

23 **COMMISSIONER RAMIEREZ** – Yes I understand.
24

25 **APPLICANT** – If I could add, it is 10 times better than Redlands. I have to say
26 that.
27

28 **COMMISSIONER RAMIEREZ** – No I understand, but as us Commissioner's who
29 have vision and that are going to lay the foundation for our future, we want to
30 raise the standard of excellence; okay so you can say it is 10 times better than
31 Redlands, why not make it 20 times better than Redlands. Why not make it 30
32 times better than Redlands. I understand you have a budget; however within
33 your budget do you think that it is possible that you can go back and look at the
34 numbers and say hey you what, we can better our product. I mean you have
35 200,000 plus potential lives here in Moreno Valley; Kaiser can do very well here.
36

37 **APPLICANT** – Well you know... I mean we operate on a budget. We provided
38 the best design that our budget allows. We also have to look to the future. We
39 have a Master Plan and we have to meet the needs of our members. We can
40 either meet needs through pop of architecture or the service that we provide and
41 what we can provide in our facilities. We have a Master Plan and we have big
42 plans for the City of Moreno Valley, but first and foremost it's really our members
43 and meeting their needs and being able to have this facility up and going so we
44 can get them in and get them taken care of.
45

1 **COMMISSIONER OWINGS** – I’m just curious, how many jobs will this office
2 provide?
3

4 **APPLICANT** – Our Public Affairs representative can help you with that
5

6 **COMMISSIONER OWINGS** – Thank you
7

8 **CHAIR BAKER** – Ma’am would you please state your name and address for the
9 record.
10

11 **PUBLIC AFFAIRS REPRESENTATIVE** – Yes I’m Karen Roberts and I live in
12 Beaumont. One hundred and sixty-seven new hires including 46 physicians, so
13 that is quite...
14

15 **COMMISSIONER OWINGS** – Just from my standpoint I’d like to make it clear on
16 the record, I appreciate what Kaiser is doing for our community and we just
17 sometimes feel that we’ve got to ask some questions so we can earn our pay,
18 which is about 100 dollars a meeting.
19

20 **PUBLIC AFFAIRS REPRESENTATIVE** – We are definitely committed to the City
21 of Moreno Valley and improving the health of the members, but also the
22 community members and also we do have a grant program and we have
23 invested heavily in the Moreno Valley Community Hospital and in the non-profits
24 in this area to help improve. We are partners with Riverside County Regional
25 Medical Center in their project ALL, which is patients who have heart disease
26 and also diabetes. We are also working with them on congestive heart failure
27 and so we are definitely heavily invested in Moreno Valley and we see this as
28 another investment that will help the economic viability of Moreno Valley as well.
29

30 **COMMISSIONER OWINGS** – Thank you
31

32 **CHAIR BAKER** – We appreciate that. Are there any other comments of the
33 Applicant? Okay at this point we are going to open the floor up to Public
34 Testimony. I have one Speaker Slip here on this item. Are there any more?
35 Deanna Reader if you would please come forward. State your name for the
36 record and your address.
37

38 **SPEAKER READER** – Deanna Reader and really quickly I would like to look at
39 your elevations. Normally they are in the book that I read but there are none in
40 there, so I really don’t know what you are talking about.
41

42 **CHAIR BAKER** – Okay take a look
43

44 **SPEAKER READER** – First of all I want to thank Kaiser. It is a great company;
45 real jobs. They take care of their people. They are an admirable company and

1 they would be an absolute asset to this City. We could use companies with good
2 reputations and good experiences.

3
4 You all know that I go to just about every single solitary one of these meetings
5 and I do that for a couple of reasons. One; I want to see what you are going to
6 say. I want to use it as a Richter scale for what you say at the next meeting and
7 this is the part that they are talking about? This is the back of the building?
8 Okay, Sketchers is the biggest monstrosity in this City and what did some of you
9 say about that? This is not even bad compared to that except for the stupid palm
10 trees. They are ugly. It is a medical facility. If Benzeevi put this forward, you
11 would okay it for him and you wouldn't even question him. That's what I believe;
12 truly. So is this what you would say to someone else or is this just what you are
13 saying to Kaiser? I want you guys to really think about that because after every
14 one of these meetings I go and buy the DVD and I keep comments, just so I can
15 use comments that were made at one time versus comments that were made at
16 another time; very helpful; very time consuming, but extremely helpful when you
17 are putting together a case. I think you guys really need to approve this,
18 especially because they are one of the best things that have happened to
19 Moreno Valley. Where would we be if they didn't come and buy the hospital that
20 they bought? Thank you.

21
22 **CHAIR BAKER** – Thank you. Are there any more comments from the public on
23 this item? If not I am going to close Public Testimony and we'll have
24 Commissioner's Debate now. Who wants to start?

25
26 **COMMISSIONER CROTHERS** – Again I just want to thank everybody for coming
27 out; Kaiser. I totally agree with Deanna Reader. You guys are an asset to our
28 City and we appreciate your business here. I appreciate the efforts that you've
29 made to make the north elevation a little bit more aesthetically pleasing. I think
30 that the changes that you have made have made a great impact, however I think
31 there is a greater impact that could be made with possibly bringing some of the
32 benches back there or some of the overhead. I know that it's the back of the
33 building but you know when you have employees going in there for 18 or 24
34 hours at a time, them seeing the back of the building is probably not what they
35 really want to see. They want to see the front. They want to be pleased by what
36 they see when they walk into work. I mean I do appreciate the changes that you
37 have made and I do like the building. I appreciate the concessions that you have
38 made regardless of who your neighbor is. It shows that you guys are really
39 willing to work with Moreno Valley by contacting whoever may be your neighbor
40 and aside from that, I think the building is beautiful from the front and I can't wait
41 till it is built.

42
43 **CHAIR BAKER** – Thank you. Who is next...Tom?

44
45 **COMMISSIONER OWINGS** – I believe the building meets the standards and I
46 intend to vote to approve the design.

1 **CHAIR BAKER** – Okay, next...Carlos?
2

3 **COMMISSIONER RAMIREZ** – Well personally to me the front of the building is
4 gorgeous like Commissioner Crothers just said, however the back of the building
5 if you take away the landscaping to me it looks like the barracks and regardless
6 of whether you are in the hospital as a patient or you are there as an employee
7 or whether you are half a mile away looking at the hospital looking at the north
8 side to the south side, I think it could be a little bit better; in fact it could be a lot
9 better, so therefore I am going to have to vote against this.

10
11 **CHAIR BAKER** – Okay, Meli...
12

13 **COMMISSIONER VAN NATTA** – Years ago when this hospital was up for sale I
14 travelled down to the Murrieta area and attended a meeting when they were
15 deciding who was going to buy it and I strongly recommended that they allow the
16 sale to go to Kaiser. At that time it was voted differently but Kaiser ended up with
17 the hospital in the long run and I'm glad they did. I thought having Kaiser out
18 here was going to be a definite asset to our community and I think it has been
19 and I think it will be. I would have hoped for a little more attention to detail on a
20 large building that is going to be visible from Nason. It is going to sit up above
21 grade when you are coming down Nason and I don't think just sprinkling a bunch
22 of palm trees across the back and putting a little piece of glass really changes the
23 aspect of it. I think the idea of having the building there is great. I think the front
24 of it is beautiful. I would rather see this project come back with more design
25 element to the back of the building, which to an awful lot of people is not going to
26 be the back of the building; it is going to be the front of the building. It is going to
27 be what they see more of than the side that faces the south.
28

29 **CHAIR BAKER** – Okay thank you. My position on this is it brings a number of
30 jobs to town. It meets our criteria for four-sided architecture which the Planning
31 Department set forth. They did exactly what they were told to do and added a
32 little bit of screen. It is very difficult on a building; especially when you are
33 working on a tight budget and all of us are right now, so cutting to the chase,
34 Kaiser Permanente is a company. I've got a number colleagues that work for
35 them and I've heard nothing but good about you folks, so my vote would be to
36 move forward with this project.
37

38 We need the commerce in town; the additional jobs and I think to me this is a
39 vote of confidence and Kaiser Permanente taking over that Community Hospital
40 probably wouldn't be there today if it wasn't for Kaiser. That's just my opinion on
41 it, so I really urge everyone to get behind this project and vote for it. That is just
42 my intentions as the Chairman here. I think we owe it to Kaiser here. These
43 guys will do... A rendering is always a little different than what the actual product
44 comes out and it is very hard to tell, but I think that the northern exposure,
45 probably by the time they get all the landscaping and all the trees in and
46 everything, you are going to be very pleased with that. That is just my personal

1 opinion, okay. Thank you. Are there any other comments? I think that has got
2 everybody on board. Do you have anything else? Okay what I would like to do
3 now is move for a motion and a second to get this on the board so we can vote
4 for it. Tom is going to make the motion.

5
6 **COMMISSIONER OWINGS** – I recommend that we **APPROVE** Resolution No.
7 2011-17 and thereby:

- 8
9 1. **RECOGNIZE** that PA11-0009 Plot Plan and P11-016 Master Plot Plan
10 qualify for an Addendum to the adopted Negative Declaration per the
11 California Environmental Quality Act (CEQA), 15164(b) as the project is
12 within the scope of the Negative Declaration approved for PA06-0133
13 Plot Plan; and,
14
15 2. **APPROVE** PA11-0009 Plot Plan and P11-016 Master Plot Plan subject
16 to the attached Conditions of Approval included as Exhibit A.

17
18 **CHAIR BAKER** – Do I have a second to that motion?

19
20 **COMMISSIONER CROTHERS** – I'll second that motion

21
22 **CHAIR BAKER** – Okay the motion made by Commissioner Tom and seconded
23 by Commissioner Amber. All in favor?

24
25 **Opposed – 2, Commissioner Van Natta and Commissioner Ramirez**

26
27 **Motion carries 3 – 2, with one absent (Vice Chair Salas)**

28
29 **CHAIR BAKER** – Final wrap up

30
31 **PLANNING OFFICIAL TERELL** – Yes this action shall become final unless
32 appealed to the City Council within 15 days.

33
34 **CHAIR BAKER** – Thank you. The next thing on the Agenda is Planning
35 Commissioner's Comments on anything that you'd like to comment on that's
36 been going on or whatever.

37
38 **PLANNING OFFICIAL TERELL** – Chair, I'm sorry. Before we do that if we could
39 go quickly through Staff Comments; don't worry about, it's small type there.

1 **STAFF COMMENTS**

2
3 **PLANNING OFFICIAL TERELL** – Your next meeting is August 11th. We have
4 two items scheduled for that meeting. There could potentially be more but we
5 definitely have two. One is an amended Conditional Use Permit. It is related to a
6 communication facility at the Cottonwood Park which is over around Cottonwood
7 and Quincy and they have been working with our Parks and Recreation
8 Department that controls that property and have asked for some revisions to
9 make sure that their plan check is acceptable to the City Parks Department and
10 so that is coming forward to you and then the other is a request to replace an
11 existing freeway monument sign at the Town Gate Center which is the one on
12 Frederick and they are proposing to replace one of those with a larger sign.
13 They have the opportunity to attract several new tenants to that shopping center
14 and they want to provide additional freeway signage.

15
16 **COMMISSIONER OWINGS**- Is that the main freeway sign?

17
18 **PLANNING OFFICIAL TERELL** - It is actually the theater sign which is the
19 secondary sign, so they are proposing a new sign. Because it exceeds 45 feet it
20 requires Planning Commission review and approval, so those are the two items
21 that are coming forward to you in August.

22
23 **COMMISSIONER OWINGS** – Just getting off the topic just a bit; has anyone
24 from Economic Development approached them with the possibility of helping
25 them with a better sign? I mean the main freeway sign is pathetic and if they are
26 ever going to make that an economic success, they've got to do a lot of changes,
27 but that's one of them in my opinion. We just helped the Auto Mall with a sign
28 that would seem appropriate at some point to have a discussion with somebody
29 concerning this.

30
31 **PLANNING OFFICIAL TERELL** – There definitely have been conversations with
32 both the Town Gate Center which is proposing this new sign and also with the
33 mall which has new ownership and that is a continuing discussion with them as
34 far as their future plans which are very positive for the mall as well.

35
36 **COMMISSIONER OWINGS** – I think that mall is extremely important element to
37 our community and we should do something to press them forward

38
39 **PLANNING OFFICIAL TERELL** – Our Economic Development folks are in
40 constant contact with both of those property owners.

41
42 **COMMISSIONER OWINGS** – Do you think it would be appropriate to have a
43 report from them concerning this at some point?

44
45 **PLANNING OFFICIAL TERELL** – I can ask
46

1 **COMMISSIONER OWINGS** – What is the feeling of the fellow Commissioners?
2

3 **CHAIR BAKER** – It would be interesting.
4

5 **COMMISSIONER OWINGS** – I just think that it would be one of the worst things
6 that could happen to this community if we lost one of those two major anchors in
7 that mall and if we could help them in some way, we need to address ourselves
8 to that.
9

10 **PLANNING OFFICIAL TERELL** – I'm sure the Economic Development staff
11 would be more than willing to do. I must say that the three majors at the mall are
12 doing quite well. The fourth major which is vacant now and the current mall
13 operators are actually I think interested in purchasing that site.
14

15 **COMMISSIONER OWINGS** – Well we should do anything we can to help that
16 mall.
17

18 **PLANNING OFFICIAL TERELL** – I'll check with Economic Development and see
19 when they might be able to do that.
20

21 **COMMISSIONER OWINGS** – Thank you
22

23 **CHAIR BAKER** – Okay is there any other business. If not I'll take a motion to
24 adjourn. Oh yes, Commissioner's Comments; I'm sorry.
25
26
27

28 **PLANNING COMMISSIONER COMMENTS**

29
30 **CHAIR BAKER** – I'm getting off... I know go on ahead
31

32 **COMMISSIONER VAN NATTA** – We have a short meeting so that we have an
33 opportunity to talk.
34

35 **CHAIR BAKER** – You betcha, go on ahead Meli; I'm sorry...
36

37 **COMMISSIONER VAN NATTA** – The comment that I wanted to make and it had
38 to do with an Agenda item that we had today. Voting no on something doesn't
39 mean you don't want it to be there. Sometimes it can simply mean you just want
40 them to do better and I think we have to be careful not to just accept something
41 that's good enough if we think it can be better and setting the bar for what is
42 going to be in the future is important.
43

44 **COMMISSIONER OWINGS** – Well let me address that comment. The other day
45 when we had the project that wanted a zone change to build a large warehouse,
46 in a zone change we have some leeway because that is our prerogative to make

1 those decisions. It is my understanding in this type of a case that meets the
2 standards, we are compelled to approve it and so I have a different opinion to
3 that and if the Staff would like to clarify the differences between the two opinions
4 I would appreciate it.

5
6 **COMMISSIONER VAN NATTA** – It was my understanding that we had some say
7 over the architectural renditions that were being offered.

8
9 **PLANNING OFFICIAL TERELL** – Well I would agree with both of you, so I'm
10 going to be diplomatic but Commissioner Owings is correct. If a project meets or
11 exceeds the current standards or actually the standards in place when the project
12 was submitted then the Commission is pretty much compelled to approve the
13 project. It doesn't mean they can't condition the project. It doesn't mean they
14 can't request upgrades; that is very standard for many projects, but it isn't what is
15 called a discretionary approval. A zone change is totally discretionary. You can
16 say no for no reason at all or for any reason at all. A permitted use which meets
17 or exceeds the standards of the City is not a discretionary approval. So that's
18 why I pursued my words carefully when I was talking earlier is that the input from
19 the Planning Commission is very important; how could this project be better or
20 any project be better and part of that is to let the development community as well
21 as Staff know areas where you are interested in changing the standards
22 potentially and helps guide us with applicants before they get to you, so it is very
23 helpful to have those comments, but generally speaking if the project meets or
24 exceeds the standards that are in place at the time that the project was
25 submitted, the standard is that the Planning Commission should approve that
26 project.

27
28 **COMMISSIONER OWINGS** – And just one further comment while we are having
29 this discussion. When an Applicant is here to answer questions for us, it is not
30 appropriate for us as a Commission to make comments negative or
31 argumentative to it. We are in a fact finding mission at that point as we are with
32 the City Staff during those questions and some of the comments that we all of us
33 have a tendency to do at that point were inappropriate and should have been
34 held to the comments and the discussion portion of the meeting, so you know I
35 think that it's important as we mature as Commissioners; because we are all
36 new, that we start to understand those, so if I said anything that is not accurate...

37
38 **PLANNING OFFICIAL TERELL** – I didn't hear anything that was argumentative
39 or whatever the other things that you were saying; but no, all kidding aside, no
40 you haven't said anything untoward. The idea is with the applicant when they
41 first provide their presentation or with Staff before the Public Hearing is called or
42 opened for the general public, the idea is fact finding; asking questions and a
43 question could be as simple as could this design be better and that certainly is an
44 appropriate question to ask. I guess if what you are saying is "this is an awful
45 design, can't it be better". That would be argumentative.

1 **COMMISSIONER OWINGS** – I'm learning that it's becoming an unproductive
2 question because these guys think they are all perfect, but it's not a very
3 productive question I find on the two times I've had these guys kind of skirt the
4 issue.

5
6 **PLANNING OFFICIAL TERELL** – But you get a sense. I mean there are
7 nuances that you might get from what people say in response and certainly you
8 suggested a specific change to the elevations and they responded to that. I think
9 that won't necessarily... well maybe if you asked somebody other than the
10 architect you might get a different answer to that.

11
12 **CHAIR BAKER** – You know in previous projects we have had in the last two or
13 three years, we added bands of paint or different applications, but to pull that
14 glass element all the way around from what I know about construction that would
15 have been very costly I would think. I don't particularly agree with the screen
16 deal there in the corner. I don't know quite what that's all about.

17
18 **COMMISSIONER OWINGS** – I think a half measure

19
20 **CHAIR BAKER** – What did you think when you say that glass screen that they
21 put...

22
23 **COMMISSIONER VAN NATTA** – This is getting a little back into the project and
24 we're past that item and could we just generalize it into comments.

25
26 **PLANNING OFFICIAL TERELL** – So I will generalize my response. The idea is
27 using materials that are already on the building is what we encourage, so glass
28 or spandrel glass which really looks like glass is just another material that looks
29 like glass can be an enhancement. It typically should... when you do
30 enhancements you try to focus on where you want people to focus their attention;
31 that is generally on an entryway, so as far as the placement of additional
32 embellishment is usually around an entryway because it is both an
33 embellishment to the building but also a way finding or a welcoming device, so it
34 is very typical to have your enhancements around openings; whether they are on
35 the front, back or sides. Spandrel glass is very expensive. It is an expensive
36 material. It is more expensive than glass because of the way it is applied. You
37 are building a wall and then you are putting glass to cover the wall, so it is a
38 relatively expensive material and personally if I had to state a preference, I prefer
39 that when you look at a building, the form should follow the function, so if you are
40 going to have glass, it is best to have glass that actually has some benefit to the
41 inside and in many buildings you can't put huge expanses of glass because of
42 the use of the interior of the building, so often it is a little bit...my favorite is where
43 people put shades over north facing windows. Well the sun doesn't shine from
44 the north side, so you know that is not an embellishment that makes much sense
45 is awnings on the north side of the building. They can be very pretty but they are
46 not very functional.

1 **COMMISSIONER OWINGS** – Thanks John

2

3 **CHAIR BAKER** – Are there any other comments from the Commissioners?

4

5

6

7 **ADJOURNMENT**

8

9 **COMMISSIONER OWINGS** – Motion to adjourn

10

11 **COMMISSIONER VAN NATTA** – Second

12

13 **CHAIR BAKER** – Okay, all in favor? Good night.

14

15

16

17

18

19

20

21 _____
John C. Terell
22 Planning Official
23 Approved

_____ Date

24

25

26

27

28

29

30 _____
Ray L. Baker
31 Chair

_____ Date

32

33

34

35

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1 CITY OF MORENO VALLEY
2 PLANNING COMMISSION
3 REGULAR MEETING
4 AUGUST 11TH, 2011

5
6
7 **CALL TO ORDER**

8
9 Chair Baker convened the Regular Meeting of the City of Moreno Valley Planning
10 Commission on the above date in the City Council Chambers located at 14177
11 Frederick Street.

12
13
14
15 **ROLL CALL**

16
17 Commissioners Present:

18 Chair Baker
19 Commissioner Crothers
20 Commissioner Ramirez
21 Commissioner Van Natta
22 Commissioner Owings
23 Vice Chair Salas

24
25 Staff Present:

26 John Terell, Planning Official
27 Julia Descoteaux, Associate Planner
28 Suzanne Bryant, Deputy City Attorney
29 Michael Lloyd, Senior Transportation Engineer
30 Clement Jimenez, Senior Land Development Engineer
31 Carlos Rodriguez, Fire Prevention Specialist

32
33
34
35 **PLEDGE OF ALLEGIANCE**

36
37
38
39 **APPROVAL OF AGENDA**

40
41 CHAIR BAKER – Approval of the Agenda; could I have a motion please

42
43 COMMISSIONER OWINGS – I motion to approve the Agenda

44
45 CHAIR BAKER – Tom approves the Agenda. Could I have a second?

1 **COMMISSIONER CROTHERS** – Second

2
3 **CHAIR BAKER** – Second by Commissioner Crothers. All those in favor?

4
5 Opposed – 0

6
7 **Motion carries 6 – 0**

8
9
10
11 **PUBLIC HEARING ITEMS**

12
13 **CHAIR BAKER** – The public is advised of the procedures to be followed in this
14 meeting and these are on display at the rear of the room.

15
16
17
18 **PUBLIC COMMENTS**

19
20 **CHAIR BAKER** – Comments by any member of the public on any matter which
21 is not listed on the Agenda and which is within the subject matter jurisdiction of
22 the Commission.

23
24
25
26 **NON-PUBLIC HEARING ITEMS**

27
28 **CHAIR BAKER** – Do we have any Non-Public Hearing Items? No Non-Public
29 Hearing Items; very good.

30
31
32
33 **PUBLIC HEARING ITEMS**

34
35 **1. Case Number: P11-0251 Sign Program Amendment**

36
37 **Case Planner: Mark Gross, Senior Planner**

38
39 **CHAIR BAKER** – This has to do with a pylon sign at the Town Gate Plaza there;
40 changing from it from a 35 to an 80 foot pylon. Mark Gross will be our Case
41 Planner. Mark please go ahead.

42
43 **ASSOCIATE PLANNER GROSS** – Good evening Chair Baker and members of
44 the Planning Commission. I'm Mark Gross as you mentioned, Senior Planner
45 here to provide a brief report on Item No. 1. Now the property owner TSCLC
46 Dallas Plaza Partners and the Applicant, Fritz Duda Company is requesting the

1 approval and modification of an existing sign program and freeway pylon sign for
2 the Town Gate Center and Town Gate Plaza Shopping Center to replace the
3 existing sign and increase the sign height from 35 feet to 80 feet and there would
4 be an additional 3 foot cap on that. The sign also proposes approximately 1,453
5 square feet of sign area per side.
6

7 Now the requested pylon sign modification is due to recent construction of a
8 higher freeway median on the 60 freeway and an elevation height difference of
9 approximately 10 feet between the freeway and the shopping center finished
10 grades and that curtails sign visibility for motorists travelling primarily along the
11 westbound 60. Presently the City's Municipal Code allows one freestanding
12 freeway sign per parcel or business complex if located within 660 feet from a
13 freeway. In addition, a freeway pylon sign can include a maximum sign area of
14 150 feet and shall not exceed 45 feet in height. Signs above the 45 feet in height
15 with additional sign area may be approved by the Planning Commission as part
16 of a sign program or in this case it is being presented as part of an amendment to
17 an existing sign program.
18

19 In order to provide equity between large integrated centers and one tenant
20 parcels and to avoid sign proliferation along or in close proximity to freeways,
21 previously approved freeway signs for shopping centers have included some
22 larger signs that combine additional square footage of sign area for multiple
23 tenants without the need of having additional pylon signs for each individual
24 tenant or parcel. With the applicant allowing for consolidation of advertising
25 signs for the Town Gate Center and Town Gate Plaza Shopping Center on one
26 larger pylon sign, the need to provide additional future pylon signs for individual
27 businesses or parcels along the freeway is reduced and the increase in sign
28 height and area can be justified in this case.
29

30 The proposed sign design included on the far wall here is compatible with other
31 regional shopping center pylon signs located along the 60 freeway including
32 signs for upgraded portions of Town Gate Center, which includes Town Gate
33 Crossings, containing the Lowe's anchor and those regional shopping centers
34 located on the eastern portion of the City and also west of the Town Gate site,
35 which would be in Riverside.
36

37 The modified sign proposal is exempt, pursuant to California Environmental
38 Quality Act Guidelines, Section 15302 Replacement or Reconstruction and
39 15331 Accessory Structures and there was public notice provided to all property
40 owners of record within the 300 foot radius, published in the newspaper and
41 posted on site. Staff did receive one inquiry on the sign from the City of
42 Riverside and this afternoon I was able to understand that there were no issues
43 based on their initial inquiry. That concludes Staff's Report. The Applicant's
44 Representative John Loper is in the audience this evening representing the
45 project.
46

1 **CHAIR BAKER** – Okay thank you Mark. I think at this time we'll open the
2 questions up to the Staff from the Commissioners. Does anyone have a question
3 of Mark on this project?
4

5 **COMMISSIONER OWINGS** – Thank you. Mark I was just wondering how is the
6 height of the sign determined. Was it by an actual flight test or was it just
7 comparable to other signs in the area?
8

9 **SENIOR PLANNER GROSS** – Well there was a number of things. It was
10 comparable to other signs in the area but there was also a sight line distance
11 study that was done and you can see it on the far wall and I think you have a
12 copy in your Agenda that actually gives an idea of how that signs looks as you
13 are driving along the 60 freeway.
14

15 **COMMISSIONER OWINGS** – Well in the pictures that are depicted there, those
16 are the... so what is depicted is the proposed sign, not the actual sign?
17

18 **SENIOR PLANNER GROSS** – They show... there is a diagram that shows the
19 existing sign and there is one that shows the proposed sign.
20

21 **COMMISSIONER OWINGS** – Could you point me in the right direction there?
22 Would it be the one on page or sheet number 3 is the... this says existing
23 condition proposed
24

25 **SENIOR PLANNER GROSS** – Well it's the attachment... yes its attachment...
26

27 **COMMISSIONER OWINGS** – So what we're saying is that currently at some
28 places the current sign is not even visible.
29

30 **SENIOR PLANNER GROSS** – That's correct. The current sign is not very visible
31 from Highway 60, plus as I mentioned there is a median issue and the difference
32 of grades...
33

34 **COMMISSINER OWINGS** – I'm quite familiar with this issue as everybody
35 probably knows. My concern is you know in the depiction of the proposed
36 condition, I'm not clear whether or not it shows enough of the Harkin Movie
37 Theater to be visible, so I guess my question really is the 80 foot limit to the sign,
38 could it be taller if it was needed to be taller in order for everything to be visible?
39

40 **PLANNING OFFICIAL TEREILL** – Well the answer is could it be taller; possibly...
41

42 **COMMISSIONER OWINGS** – There is nothing in the Ordinance that would
43 prohibit that?
44

45 **PLANNING OFFICIAL TEREILL** – Right; there is a practical limit on when
46 something gets too big to read.

1 **COMMISSIONER OWINGS** – So I guess when the Applicant gets here we'll just
2 ask him if they are satisfied with it. Do you guys know the cost of the
3 construction of the sign prohibit taller signs or is there...

4
5 **PLANNING OFFICIAL TERELL** – There is a cost consideration because the
6 taller you go I believe the width load is something like 150 miles an hour. There
7 is a lot of structure, so the higher you go the much more expensive it gets.

8
9 **COMMISSIONER OWINGS** – Because we're just down the road. Our sign is 65
10 feet tall and with the proposed median by Cal Trans it will not be visible on the
11 westbound lane; the whole sign or most of it, so you know that's a consideration
12 that I was concerned with. I hope you build this great structure to help bring
13 revenue into the City and it does do the job it is intended to do.

14
15 **PLANNING OFFICIAL TERELL** – Yes this is the Applicant's proposal which is
16 supported by the documentation. The tallest sign that has been approved, I
17 believe is 95 feet.

18
19 **COMMISSIONER OWINGS** – So then one other question. I noticed that you
20 guys have been very diligent in telling us in the review process section when the
21 project was submitted to Staff, but in this particular case it was left out. Mark do
22 you know when this was submitted to Staff?

23
24 **SENIOR PLANNER GROSS** – This was actually submitted to Staff about a
25 month ago.

26
27 **COMMISSIONER OWINGS** – Very good, thank you.

28
29 **CHAIR BAKER** – Okay is there anyone else with question?

30
31 **COMMISSIONER VAN NATTA** – Yes, just one minor thing and this is talking
32 about the Regency Theaters and not the Harkins; yes because this is further
33 down. How tall are the existing signs for the mall and for the Auto Mall?

34
35 **SENIOR PLANNER GROSS** – The Auto Mall is actually the one that is actually
36 95 feet. There is I believe more differentiation between the grades in that area.
37 There is some here but there is even more there. As far as the mall sign that one
38 is up there too, although that is just larger. As far as the height goes, I'm not
39 exactly sure. John, I don't know if you...

40
41 **PLANNING OFFICIAL TERELL** – Yes it's definitely higher than 95 feet from the
42 base because it is on the side of a hill there, but the effective height is I believe
43 and I'm trying to remember; it's been so long. It's in the 75 to 80 foot height as I
44 recall.

1 **COMMISSIONER VAN NATTA** – The other question that I had is the 300 foot
2 notice requirement; does that extend pass the freeway to those people on Ken
3 Ross Lane who would be looking at this from their backyards?
4

5 **SENIOR PLANNER GROSS** – Yes it did include some of those properties. It
6 would be a 300 foot radius from all points of the property, so yes there were
7 some of those residences on the north side that did get noticed.
8

9 **COMMISSIONER VAN NATTA** – Okay, thank you
10

11 **CHAIR BAKER** – Okay, who is next? No one else? Okay, let's bring the
12 Applicant forward and he can answer maybe some of these questions. It's Mr.
13 John Loper; right? If you would please state your name and address for the
14 record, we'd appreciate that John.
15

16 **APPLICANT LOPER** – My name is John Loper. I'm Vice President of Fritz Duda
17 Company; we're the Property Manager and Developer of both the centers; the
18 TSC which is the Town Gate Shopping Center with the Theater and Burlington
19 and Dallas Plaza Partners which owns the restaurant row; Starbucks to Outback
20 and we are the original Developer of the center 20 plus years ago. I'm available
21 for any questions. I'm hoping to answer a couple of questions regarding about
22 the height.
23

24 Several years ago when the carpool lanes were added and the big concrete
25 median was added we lost all visibility on the westbound side of the theater sign
26 and lost significant visibility of the sign that is next to the Olive Garden. That is
27 the current multi-tenant sign and at that point we talked to Staff about this idea of
28 putting a new taller sign that could be visible for our anchor tenants which are
29 real important to us at the location of the Outback before you got to the freeway
30 off-ramp that could be seen both east and westbound. The site sign sits about;
31 it's kind of variable because the freeway is sloping a little bit, but about ten feet
32 lower than the freeway, so effectively it's about a 70 foot sign, which is just a tad
33 taller than our Town Gate Crossing sign where Lowe's is. That is another one of
34 the centers that we own and developed. I do not know the mall sign height and I
35 apologize that I don't. Our company actually built that but we haven't owned the
36 mall for 15 years. I'm not quite sure but I believe this will be slightly higher or
37 similar in height. It also has the same problem because it is sitting on a slope.
38

39 We are trying to get visibility for our major tenants. We've lost four of our tenants
40 in the shopping center and we've been able to replace one which is Burlington
41 Coat Factory and we have another tenant that we're trying to attract and are
42 getting very close to announcing and this is one of their requirements which is to
43 have freeway sign visibility. In terms of the theater portion for the Regency
44 Theaters it's a changeable copy sign where they put the letters up similar to what
45 we have now but a little bit more modern and it will have excellent visibility on the

1 going home side; the eastbound, but it will have very limited visibility still on the
2 westbound. There is a certain height though that you can get the letters to go up.

3
4 **COMMISSIONER OWINGS** – Have they considered... excuse me; Thank you
5 Mr. Loper; but have they considered doing LED. I mean that technology is
6 available. Is it their decision or yours?

7
8 **APPLICANT LOPER** – Their request on their portion was not to do LED just
9 because of the cost at this point in the economic cycle. It is still expensive; it's a
10 lot cheaper than it was a couple of years ago.

11
12 **COMMISSIONER OWINGS** – Yes my only concern is that the sign should do the
13 job it is intended to do, which is to bring business to your center and hopefully
14 money to the City in terms of revenue, so the rest of the sign is LED though
15 right...channel letters LED

16
17 **APPLICANT LOPER** – Channel letters LED

18
19 **COMMISSIONER OWINGS** – But the individual store signs are those LED also
20 are they non-illuminated?

21
22 **APPLICANT LOPER** – All the large full panel signs are individual channel letters
23 like the Burlington sign and they will be LED. In terms of the Regency, that is a
24 translucent panel that they put the individual letters up versus the LED TV board
25 where you can change the copy and that's what is really expensive.

26
27 **COMMISSIONER OWINGS** – Thank you very much. Good luck. I hope it works.

28
29 **CHAIR BAKER** – Okay any other questions of the Commissioners to Mr. Loper.
30 Okay, thank you

31
32 **APPLICANT LOPER** – Thank you very much

33
34 **CHAIR BAKER** – We're going to open up Public Testimony. If there are any
35 members in the audience who wish to speak on this item? I don't have any
36 Speaker Slips on this, so we will close Public Testimony and open
37 Commissioner's Debate. I'm sorry about that. Anyhow, I will open this up to
38 Commissioner's Debate.

39
40 **VICE CHAIR SALAS** – I'll go. I don't have any trouble with it all. I'm all for it;
41 anything to help bring business to town. I'm sorry about that. Okay, I'm all for
42 it. I agree with what he is saying. It is hard to see the sign from the freeway so I
43 was wondering about that for a long time so I'm for it.

44
45 **CHAIR BAKER** – Okay, Carlos
46

1 **COMMISSIONER RAMIREZ** – Well having lived in Moreno Valley for quite some
2 time and seeing that shopping center struggle, I agree with Commissioner Salas
3 and Commissioner Owings. I think the sign is definitely going to help. The only
4 concern is the westbound traffic being able to see the lower part of the sign, but
5 other than that I'm all for it and I know once business picks up in the future we
6 can probably do some alterations to the sign and maybe go LED, but for the most
7 part I'm very pleased, so I'm all for it.

8
9 **CHAIR BAKER** – Thank you... Amber

10
11 **COMMISSIONER CROTHERS** – I just want to say that I like this project. I'm
12 excited that it is coming in. I think it will help the stores that are already there and
13 you know hopefully bring in some more stores with the visibility. Like Mr. Salas
14 said, I've lived here all my life and I've been waiting for a sign that you could
15 actually see you know so people know what's there so they can stop by and visit
16 through their way or on their way through town. So it's nice. I'm glad to see it.

17
18 **CHAIR BAKER** – Thank you... Tom

19
20 **COMMISSIONER OWINGS** – I'm just ready to make the motion to approve it.

21
22 **CHAIR BAKER** – Let's let Meli have a... okay go on ahead Meli

23
24 **COMMISSIONER VAN NATTA** – It's about time

25
26 **CHAIR BAKER** – Okay, very good. May I have a motion to accept this sign
27 proposal?

28
29 **COMMISSIONER OWINGS** – Chairman I'd like to make a motion to **APPROVE**
30 Resolution 2011-22 and thereby;

31
32 1. **ADOPT** a Negative Declaration for PA05-0135 Tentative Parcel Map 32556

33
34
35 **PLANNING OFFICIAL TERELL** – Excuse me... I'm sorry...

36
37 **CHAIR BAKER** – Let's go back to... I'll help you out here

38
39 **PLANNING OFFICIAL TERELL** – It's easiest just to look at the Agenda.

40
41 **COMMISSIONER OWINGS** – I am on the Agenda.

42
43 **CHAIR BAKER** – Okay there it is

44
45 **COMMISSIONER OWINGS** – **APPROVE** Resolution No. 2011-21 and thereby;

- 1 1. **RECOGNIZE** that the proposed sign program amendment and pylon sign
2 modifications are exempt from the California Environmental Quality Act
3 (CEQA) Guidelines pursuant to Sections 15302, “Replacement or
4 Reconstruction” and 15311, “Accessory Structures” and,
5
6 2. **APPROVE** P11-0251 to amend an existing Sign Program and 35 foot high
7 pylon sign and 35 foot high pylon sign and replace with a new 80 foot high
8 pylon within the Town Gate Specific Plan No. 200 and the Town Gate
9 Community Shopping Center, subject to the attached Resolution attached
10 as amendment 2.

11
12 **CHAIR BAKER** – Okay do we have a second to that?

13
14 **COMMISSIONER VAN NATTA** – Before we second it I think we need a
15 correction.

16
17 **CHAIR BAKER** – Yes that P11; right?

18
19 **COMMISSIONER OWINGS** – **APPROVE** Resolution No. 2011-21

20
21 **CHAIR BAKER** – And the other thing and not being critical here

22
23 **COMMISSIONER OWINGS** – Please do

24
25 **CHAIR BAKER** – Yes **APPROVE** P11-0251; correct? Okay so we’re go to go?

26
27 **COMMISSIONER OWINGS** – Is it correct?

28
29 **PLANNING OFFICIAL TERELL** – Once we have a second we’re good to go

30
31 **CHAIR BAKER** – Okay a second, okay.

32
33 **VICE CHAIR SALAS** – Second

34
35 **CHAIR BAKER** – Okay we have a motion and a second for this recommendation
36 so all in favor?

37
38 Opposed – 0

39
40 **Motion carries 6 – 0**

41
42 **PLANNING OFFICIAL TERELL** – Okay I didn’t hear who was the second on
43 that? Okay, Vice Chair Salas.

44
45 **CHAIR BAKER** – Okay, Staff wrap up
46

1 **PLANNING OFFICIAL TERELL** – Yes this item shall become final unless
2 appealed to the City Council within 15 days.

3
4 **CHAIR BAKER** – Okay thank you.
5
6
7

8 **2. Case Number: P11-055 Amended Conditional Use Permit**

9
10 **Case Planner: Julia Descoteaux, Associate Planner**
11

12 **CHAIR BAKER** – This has to do with a 50 foot monopine telecommunication
13 tower and Julia will give a presentation on this.
14

15 **ASSOCIATE PLANNER DESCOTEAUX** – Good evening Chair Baker and
16 members of the Planning Commission. I'm Julia Descoteaux, Associate Planner.
17 On May 13th, 2010 the Planning Commission met and approved a
18 telecommunication facility at Cottonwood Park, which is located on Cottonwood
19 Avenue, east of Moreno Beach and west of Redlands Boulevard. The approved
20 conditions of approval are standard to recent monopine telecommunication
21 facilities within the City of Moreno Valley. They require the monopine to be
22 constructed in a natural conical shape, dense branch placement and include faux
23 pine needles to be installed on all the antennas for screening.
24

25 During the plan check review of the structural plans, the design and materials
26 required by the Parks and Community Services conditions of approval were
27 determined to be inconsistent with the standard design conditions of approval
28 from the Planning Division. The facility at Cottonwood Park is a City owned park.
29 The monopine required by Parks would be similar to the existing monopine in
30 Weston Park, which is located on the northeast corner of LaSalle and Dracaea.
31 That facility has a branch design that is symmetrical rather than conical, more
32 open foliage and some gaps allowing some visibility of the telecommunication
33 arrays. The resulting design still provides the current proposal.
34

35 The design still provides a pleasing appearance. Approval by Planning of the
36 required Parks design requires the revisions of several of Planning's conditions
37 of approval. Since Parks is responsible for the operation and maintenance of the
38 subject site, Planning would defer to their judgment since the resulting monopine
39 design and materials will still meet the City's Municipal Code requirements for
40 telecommunication facilities. The Amended Conditional Use Permit would be
41 within the scope of the environmental approved with PA09-0045 and therefore
42 exempt from the California Environmental Quality Act Guidelines. Notification
43 was sent to all property owners within 300 feet of the project, posted on the site
44 as well as in the newspaper. This concludes Staff's presentation and at this time
45 I'm here to answer any questions for you. Thank you.
46

1 **CHAIR BAKER** – Thank you Julia. Commissioners, do any of you have a
2 question on this telecommunication tower?
3

4 **COMMISSIONER CROTHERS** – Julia I'm reading right here and it says the
5 design materials required by Parks and Community Services, conditions of
6 approval were determined to be inconsistent. Has that been changed and
7 remodified?
8

9 **ASSOCIATE PLANNER DESCOTEAUX** – Yes, Planning changed the
10 conditions of approval that we originally placed on the project to match the
11 current project out in Weston Park, so our conditions of approval were revised.
12

13 **COMMISSIONER CROTHERS** – Okay thank you
14

15 **COMMISSIONER OWINGS** – Just to clarify Julia, this property is City owned?
16

17 **ASSOCIATE PLANNER DESCOTEAUX** – Yes
18

19 **COMMISSIONER OWINGS** – So that's the reason that Parks is involved it is that
20 they are the tenant?
21

22 **ASSOCIATE PLANNER DESCOTEAUX** – That's correct
23

24 **COMMISSIONER OWINGS** – Who receives the income drive from this?
25

26 **ASSOCIATE PLANNER DESCOTEAUX** – The City of Moreno Valley does
27

28 **COMMISSIONER OWINGS** – The City; okay, so that's the reason there was the
29 inconsistency is because they are basically somewhat the Applicant.
30

31 **ASSOCIATE PLANNER DESCOTEAUX** – They are basically the property
32 owner.
33

34 **COMMISSIONER OWINGS** - Okay
35

36 **COMMISSIONER VAN NATTA** – I was reading where the modifications are in
37 here and it sounds as though most of these modifications in here are to reflect
38 the fact that nobody really believes these things are going to really, really look
39 like a tree and so it is taking out some of the requirements that would completely
40 camouflage it, because if you look at it you are not going to think it's a tree
41 anyway; right?
42

43 **ASSOCIATE PLANNER DESCOTEAUX** – Well yes and no. It is going to look
44 like a tree. It is just a different type of a pine tree. There are different types and
45 what we have been conditioning have a different type of and I have it posted on
46 the board what the branches look like at Weston Park and each different

1 company makes a different type of product, so this happens to be the product
2 that the Parks and Community Services likes better than the others.

3
4 **COMMISSIONER VAN NATTA** – So that’s why it says the requirement for no
5 open spaces; for it be completely covered and everything like that doesn’t work
6 with this type of pine tree or monopine...

7
8 **ASSOCIATE PLANNER DESCOTEAUX** – With type of a vendor

9
10 **CHAIR BAKER** – Thank you

11
12 **COMMISSIONER OWINGS** – One more question... Who is responsible for and
13 Julia if you know, the maintenance of the area surrounding the tree?

14
15 **ASSOCIATE PLANNER DESCOTEAUX** – The Parks and Community Services
16 handle the park area. The owner of the cell communication has an enclosure
17 and they’ll maintain within that enclosure and then in this particular location, they
18 have a fence around the tree, so they’ll be handling that within that enclosure
19 area only and then they will be planting some additional trees within the park and
20 it is conditioned within the original project.

21
22 **COMMISSIONER OWINGS** – I noticed that the enclosure is wrought iron?

23
24 **ASSOCIATE PLANNER DESCOTEAUX** – Yes

25
26 **COMMISSIONER OWINGS** – Whose stipulation was that?

27
28 **ASSOCIATE PLANNER DESCOTEAUX** – Parks and Community Services

29
30 **COMMISSIONER OWINGS** – Well I’m the tenant of about three of these things
31 and it is notoriously difficult to get them to maintain those. I wondered if a screen
32 might not be more appropriate.

33
34 **ASSOCIATE PLANNER DESCOTEAUX** – Because within this park, Parks and
35 Community Services requested that the tubular steel fencing or wrought iron if
36 you will around the actual tree in a location where there was an original tree and
37 then they’ll be adding additional trees like I said around...

38
39 **COMMISSIONER OWINGS** – So the trees will act as the camouflage to the site

40
41 **ASSOCIATE PLANNER DESCOTEAUX** – Right, but Parks and Community
42 Services will be maintaining the park as they do currently.

43
44 **COMMISSIONER OWINGS** – Very good

45

1 **PLANNING OFFICIAL TERELL** – You’re concern is regarding the fence; that the
2 fence won’t be maintained?
3

4 **COMMISSIONER OWINGS** – Well the fence and what’s inside the fence if it is
5 totally visible. You know T-Mobile is one of our tenants and I don’t know which
6 one takes care of them and which one doesn’t, but one or two of them are not as
7 good as the others at maintaining them.
8

9 **PLANNING OFFICIAL TERELL** – The Applicant is here and can maybe... the
10 Applicant’s Representative, but in the final analysis the City as the property
11 owner has some rights up and to including cancelling the lease and other things
12 under the lease and then also this a Conditional Use Permit, so if there was a
13 chronic situation it could be called forward for revocation, so there is hammers
14 and actually I don’t know about T-Mobile, but we’ve had other situations where
15 landscaping adjacent to sites has not been maintained and the one that always
16 comes to mind is the one on Redlands Boulevard as you are leaving town and
17 we’ve had the trees replaced on that three times, so although they haven’t
18 always maintained them very well, they have been required to replace them.
19

20 **COMMISSIONER OWINGS** – To replace them... Very good John
21

22 **VICE CHAIR SALAS** – I have a question. Has Tony Hetherman been involved
23 in this?
24

25 **ASSOCIATE PLANNER DESCOTEAUX** – Yes he has
26

27 **VICE CHAIR SALAS** – Yes okay. I’ve put up two sites with Tony in two different
28 parks in this town and I know how tough he is. He doesn’t leave any rocks
29 unturned. I’m sure the lady in audience if she has worked with him; she knows
30 that he is very thorough. Our monopines are probably the best looking
31 monopines in any city because of him, so I feel very confident it is going to look
32 good because he will not approve it if it isn’t. And they do; they put up quite a
33 few trees around it to match it. He requires that, so it’s going to look good.
34

35 **CHAIR BAKER** – Thank you George. Are there any other questions? Okay if
36 not let’s bring the Applicant forward please. Would you please state your name
37 and address for the record. I’d appreciate that.
38

39 **APPLICANT REPRESENTATIVE** – Good evening. My name is Barbara Saito.
40 I represent T-Mobile. My address is 418 North Cloverdale Lane, Walnut,
41 California, 91789. Thank you very much for re-hearing this project. The original
42 design of the project was approved as Julia stated, back in May. The items that
43 changed were the shape of the tree; the number of branches per foot on the tree
44 and some of what we call socks that go onto the antennas.
45

1 At the time that I accepted those conditions, it was based on designs that the
2 Planning Department had asked for and absolutely no problem to meet those
3 conditions, however what we came to odds when the condition from Parks said
4 equal to a company named Engineered Endeavors Incorporated, which built the
5 tree over at Weston Park. When we talked to Engineered Endeavors they could
6 not create a tree that matched the conditions of approval and so if the City
7 wanted us to use that vendor then we had to change the shape of the tree and
8 use one that Engineered Endeavors did do which is the one at Weston Park, so
9 that is why we are changing the proposal to match the tree at Weston Park. I did
10 want to comment on the maintenance and let me comment about the fence first.

11
12 There is going to be a wrought iron fence right around the bottom of the tree; that
13 is mostly to keep kids from climbing the tree. I don't think it is real easy to climb
14 but things like that are a little bit of an attractive nuisance. It is a real passive
15 park. It is not one that children come and play at. I think it is more for the... it
16 does have a horse trail going through it and such, but it is better to not have
17 anybody climb the tree unless they are changing out antennas, so that is why
18 they are building a fence around the bottom. The equipment enclosure though
19 does not have... it has a little bit of wrought iron opening in it and that is so in
20 case if anybody was to get inside; not supposed to be there and hop over the
21 fence and get hurt and not be able to get out, at least you can look in there and
22 see that there is somebody is in there who is injured. We find that if we put solid
23 block in parks, it is not always a good idea you know for people to hide in or
24 again, if kids hop over the fence for whatever, you want to be able to get them
25 back out easily.

26
27 As to the maintenance issue, I believe every site, regardless of the carrier has an
28 800 number to call and it is a requirement by the FCC and if you have issues
29 regarding the maintenance of these sites whether you are the landlord or just
30 passerby, you can call the 800 number and let them know that there is a problem
31 at the park. Also it has been my experience that if you call City Hall and tell the
32 Planning Department, they are more than happy to assist in making sure that
33 these facilities are well maintained irrespective of whether it is on private property
34 or on City property and I'd love to answer any other questions that you might
35 have.

36
37 **CHAIR BAKER** – Okay, any questions of the Applicant?

38
39 **COMMISSIONER CROTHERS** – I just wondered why this location. What was it
40 about this location that made it desirable?

41
42 **APPLICANT REPRESENTATIVE** – It's all about coverage. There not really any
43 coverage in this area and so we're just trying to add coverage to the neighbors.
44 Even through this area right now is and I'll call it sparsely populated, that is not
45 actual because as you go toward Redlands there are a lot of houses and stuff,

1 but when the economy picks up, we expect there to be a lot more building out
2 there.

3
4 **CHAIR BAKER** – Is there anyone else?

5
6 **VICE CHAIR SALAS** – Yes I've got one. Barbara are these cabinets right?

7
8 **APPLICANT REPRESENTATIVE** – Yes

9
10 **VICE CHAIR SALAS** – Does it have a roof on it? Are you building a shelter and
11 then sticking them in there?

12
13 **APPLICANT REPRESENTATIVE** – It is not going to be a shelter, it is still going
14 to be cabinets, but at this park there is right here is like a... and I'll call it a
15 pagoda for lack of something better, but it is a four-legged patio cover that has
16 some picnic benches underneath it and it's got very large pilasters and the heavy
17 wood rails on the top and so we're going to mimic that in design.

18
19 **VICE CHAIR SALAS** – Okay, kind of like a picnic area canopy kind of thing.

20
21 **APPLICANT REPRESENTATIVE** – Yes exactly. It will look like that even though
22 it will be enclosed with the equipment.

23
24 **VICE CHAIR SALAS** – Okay

25
26 **CHAIR BAKER** – Is there anyone else? Okay thank you.

27
28 **APPLICANT REPRESENTATIVE** – Thank you

29
30 **CHAIR BAKER** – Now we're going to open this item up to Public Testimony. Is
31 there anyone who would like to speak on this Item? I have no Speaker Slips, so I
32 will close Public Testimony. Let's have a little Commissioners Debate or
33 discussion before we make a motion. Does anyone want to make another
34 comments or so? No, George... is everybody okay? Okay, let's move forward
35 then with a motion and this will be Case Number P11-055. Okay who wants to
36 make a motion?

37
38 **COMMISSIONER CROTHERS** – I'd like to make the motion to **APPROVE**
39 Resolution No. 2011-20, and thereby recommending that the Planning
40 Commission:

- 41
42 1. **RECOGNIZE** that P11-055 Amended Conditional Use Permit is within the
43 scope on the environmental approved with PA09-0045 and therefore exempt
44 from the requirements of CEQA; and,
45
46 2. **APPROVE** P11-055 Amended Conditional Use Permit subject to the

1 attached conditions of approval included as Exhibit A.

2
3 **COMMISSIONER VAN NATTA** - I second

4
5 **CHAIR BAKER** – Okay we have a motion by Commissioner Crothers and a
6 second by Meli. All those in favor?

7
8 Opposed – 0

9
10 **Motion carries 6 – 0**

11
12 **CHAIR BAKER** – Staff wrap up

13
14 **PLANNING OFFICIAL TERELL** – Yes this decision shall become final unless
15 appealed to the City Council within 15 days.

16
17 **CHAIR BAKER** – Thank you and good luck.

18
19 **VICE CHAIR SALAS** – Good luck

20
21
22
23 **3. Case Number: PA05-0135 Tentative Tract Map 32556**

24
25 **Case Planner: Julia Descoteaux, Associate Planner**

26
27 **CHAIR BAKER** – It is has to do with a Tentative Tract Map for 30 single lots.
28 Julia you're up

29
30 **ASSOCIATE PLANNER DESCOTEAUX** – Again, I'm Julia Descoteaux,
31 Associate Planner. Before you this evening is PA05-0135, Tentative Track Map
32 32556. This Tract Map as proposed will subdivide approximately 9.39 acres into
33 30 single-family residential lots in the Residential 5 Zone. Lots in this Tract Map
34 will range from 7,292 square feet to 12,828 square feet. The project is located
35 within the R5 Residential Zone. The project as designed is consistent with all R5
36 Zoning requirements. The R5 Zone allows up to 5 dwelling units per acre and
37 the project's density is 3.45 units per acre. The project is located along the east
38 side of Heacock Street, south of John F. Kennedy Drive. Parcels to the north of
39 the project are zoned R15 and developed within an existing mobile home park.
40 Parcels to the east are zoned R15 and R5 and developed with existing multi-
41 family and single-family units. Properties to the south are zoned RS10 and
42 developed with existing single-family units and to the west is March Air Reserve
43 Base. Primary access to the proposed tract will be from Heacock Street with a
44 connection at the southeast portion of the tract to Clover Avenue, which connects
45 to Pepper Court, which then connects to John F. Kennedy Drive. The design of
46 the proposed single-family residential lots is in conformance with R5 design

1 standards and the street layout is intended to both provide connectivity and calm
2 the traffic in the development by the inclusion of turns and the through street and
3 the cul-de-sac streets. The future single-family homes for the tract will be
4 reviewed under a separate administrative process. At that time Staff will ensure
5 that the proposed units meet the City's design standards. The project will be
6 conditioned to provide a decorative block wall along Heacock Street and
7 decorative block walls are required on the side streets within the development as
8 well.

9
10 The application for the project was submitted July 27th of 2005 and was reviewed
11 by Staff requesting changes or revisions. The preliminary review and approval of
12 the detention and the water quality basin delayed the project for several years.
13 All the relevant issues have been adequately corrected to the satisfaction of all
14 parties concerned. The project will also be conditioned to include a 10 foot
15 landscape easement along Heacock Street and reduce the Street B to a local
16 street.

17
18 Additionally the project will be conditioned to provide notification to all potential
19 buyers of the proximity to the March Air Reserve Base. An Initial Study was
20 conducted for the property and the preliminary water quality plan was approved.
21 On May 14th ,2011 a Burrowing Owl Survey was conducted and which no Owls
22 or burrows were observed or identified, however pursuant to the guidelines an
23 additional survey will be required of the Applicant prior to grading of the site. If
24 Burrowing Owls are found on the site at a later date, proper protocol must be
25 followed before any work can be completed. Public notice was sent to all
26 property owners within 300 feet of the project. Public Notice was posted on the
27 site as well as in the newspaper and as of this date I have not had any questions
28 or calls regarding the project. At this time Land Development has one correction
29 they would like to provide and then that will conclude our report.

30
31 **LAND DEVELOPMENT ENGINEER JIMENEZ** – Good evening Chair Baker and
32 members of the Planning Commission, I'm Clement Jimenez with the Land
33 Development Division. I have one modification that I'd like to include; Condition
34 LD77 (b), the first sentence I'd like to strike out B Street and then I'd like to add a
35 second sentence right after the first one and it would read "the portion of A Street
36 north of Heacock Street entrance and B Street shall be constructed per the short
37 local street standard which is 56 feet of right-of-way and 36 feet deep curb to
38 curb". That's the only revision that I have. Thank you.

39
40 **CHAIR BAKER** – So we're changing that from 60 to 56 and 40 to 36; correct?

41
42 **LAND DEVELOPMENT ENGINEER JIMENEZ** – That's correct

43
44 **CHAIR BAKER** – Okay, thank you. Is there anything else? Is that the
45 conclusion?

1 **ASSOCIATE PLANNER DESCOTEAUX** – That concludes Staff’s presentation
2
3 **CHAIR BAKER** – Thank you. At this time do any of the Commissioners have
4 questions of Staff on this project?
5
6 **VICE CHAIR SALAS** – On the 10 landscaping easement along Heacock who
7 maintains that after the project is built?
8
9 **ASSOCIATE PLANNER DESCOTEAUX** – Special Districts
10
11 **VICE CHAIR SALAS** – Who?
12
13 **ASSOCIATE PLANNER DESCOTEAUX** – The City’s Special Districts Division
14
15 **VICE CHAIR SALAS** – So the City is going to maintain it?
16
17 **ASSOCIATE PLANNER DESCOTEAUX** – Right
18
19 **VICE CHAIR SALAS** – Okay
20
21 **COMMISSIONER OWINGS** – Thank you Chairman. Julia I was just wondering, I
22 noticed in the Staff Review Section it says that this was followed by a couple of
23 additional reviews to resolve outstanding issues relating to the tract. I was
24 wondering if you could give me an outline of what those outstanding issues were.
25
26 **ASSOCIATE PLANNER DESCOTEAUX** – Most of the issues were with the
27 design of the water quality and detention basin and the location. I believe
28 originally and again it’s been a really long time; I think there was a little bit... the
29 street layout was a little bit different to begin with, but this one seemed to work;
30 putting in the detention basin at that far west corner because that’s the lower
31 point of the tract, so again I believe it started out with 31 lots as opposed to 30.
32 They had to give up a lot for the detention basin.
33
34 **COMMISSIONER OWINGS** – For the detention basin...
35
36 **ASSOCIATE PLANNER DESCOTEAUX** – Right
37
38 **COMMISSIONER OWINGS** – The reason it kind of spurred my curiosity because
39 it says July 27th, 2005 was when this packet was first given to you, so it took like
40 six years to resolve the detention basin, so I thought it must have been a really
41 big problem.
42
43 **ASSOCIATE PLANNER DESCOTEAUX** – That’s correct
44

1 **CHAIR BAKER** – Okay, anyone else want to comment to the Staff about this?
2 No, okay if not, let's bring the Applicant forward and present the project. If you'd
3 state your name address for the record, I'd appreciate that.

4
5 **APPLICANT** – My name is Roger (?) Cortez and my address is 1905 Southland
6 Avenue, West Covina, California, 91790.

7
8 **CHAIR BAKER** – Okay, thank you. Do you want to kind of give us a rundown
9 on...? I mean it's kind of self-explanatory. Is there you want to kind of lead into
10 here before the Commissioner's ask you some questions?

11
12 **APPLICANT** – Not really I'm just excited that finally after six years I'm ready to
13 move forward on this project. I think as far as all the questions about engineering
14 and all that, those are for my engineer. I don't know much about engineering, so
15 I'm going to have Mr. Montez answer those questions.

16
17 **CHAIR BAKER** – Okay, Tom do you have a question? Let's start down...
18 Carlos, Amber, George. I've got one question here. Maybe I'm not being able to
19 figure it out here but you've got the mobile home park. What kind of line of
20 demarcation; is that going to be a wood fence of a block wall there between the
21 mobile... and it may say that and I didn't even pick up on it. I know we're having
22 one on Heacock.

23
24 **ASSOCIATE PLANNER DESCOTEAUX** – It's existing

25
26 **APPLICANT** – It's my understanding it is going to be a block wall but my
27 engineer can clarify that.

28
29 **CHAIR BAKER** – A block wall... okay... the block wall all the way around. I'm
30 sorry I didn't pick up on that. Okay any other questions. I think this is a great
31 addition to that area there. I know we've had a big drainage problem with that in
32 the past because we've worked on an industrial project down the road there a
33 little bit there and I'm glad you've got that drainage all straightened out. That's a
34 big plus. Okay, anyone else?

35
36 **VICE CHAIR SALAS** – I was just curious. Are you planning to move ahead with
37 this once we approve the map?

38
39 **APPLICANT** – Yes the plans are to go forward unless we really, really continue
40 with real estate values declining and then I have to look at other options, but at
41 this point in time, it is to move forward.

42
43 **VICE CHAIR SALAS** – So you are the actual developer; you're not going to sell
44 this; you are actually going to develop it?

45
46 **APPLICANT** – No, no, I'm the developer; yes

1 **VICE CHAIR SALAS** – Okay thank you

2
3 **COMMISSIONER VAN NATTA** – So you're saying that at the present state of
4 the real estate market, sometime in 2014 or 2015, we might see something going
5 ahead. I'm being a little facetious here because of course it depends on the real
6 estate market, but you're waiting to see what the market does before you actually
7 start construction, you're not planning at this point to immediately as soon as you
8 have the approval begin construction. I think that was what the question really
9 was.

10
11 **APPLICANT** – My plans are to continue with engineering and that process might
12 take a couple of years. I don't know how long because this project took six
13 years. I don't know how long it's going to be for the engineering and after that
14 then I would have to make a decision based on the current real estate values, but
15 at this point in time it looks like it's a green light.

16
17 **CHAIR BAKER** – Okay, thank you so much. Now at this time I want to open
18 this...the engineer... is part of the presentation. This is the engineer coming
19 forward now. Would you please state your name and address and how you are
20 connected with this project.

21
22 **ENGINEER** – My name is Oscar Montez. I with the firm of CES Consultants and
23 we are the representative for the Applicant; the developer. I'm basically here to
24 answer any questions that you may have. I had two concerns with Planning and
25 Land Development and I think we've got them squared away. One was the right-
26 of-way which we talked about; the 56, so that's okay. You brought up an issue
27 about the drainage and the block wall to the north. Yes they'll be a block wall
28 and yes we did have a drainage issue there. When that trailer park was built
29 probably when it was in Riverside County and not in Moreno Valley, they created
30 several sump conditions along that property line. When we put up our block wall
31 there it will block the drainage to the property. The property itself is a low point.
32 Water comes in from that duplex on the east and it drains to the west. The trailer
33 park to the north drains to the south. This project will address all those issues
34 and so hopefully this project will move forward and everything will be taken care
35 of and the reason it took so long to get this project moving forward is because we
36 had to treat two separate waters; our own and off-site, so there we are. If there
37 are any more questions you'd like to throw at me.

38
39 **CHAIR BAKER** – You've got the engineer up here so now's the chance to fire
40 away.

41
42 **VICE CHAIR SALAS** – We're good thank you

43
44 **ENGINEER** – Okay thank you

45

1 **CHAIR BAKER** – Thank you, I appreciate your addition to the situation there.
2 Okay now at this time we will open this case up to the public for Public Testimony
3 and I have no Speaker Slips, so I will close Public Testimony and we will open
4 Commissioner’s Debate on this project.

5
6 **COMMISSIONER VAN NATTA** – I would like to say that if and when they ever
7 get around to building this, it will be a definite upgrade from what is surrounding it
8 and it would be nice to see something happen with that big vacant piece of land
9 that isn’t doing anything now, but I don’t expect that to happen real quickly.

10
11 **CHAIR BAKER** – Tom

12
13 **COMMISSIONER OWINGS** – I’m fine

14
15 **CHAIR BAKER** – You’re fine... George

16
17 **VICE CHAIR SALAS** – I’m fine

18
19 **CHAIR BAKER** – Okay, Amber... Carlos... Okay, you’re good with it. Okay I’m
20 good. I think this is a good project for the area there. I’m familiar with it, so if no
21 one has any more comments, I would like somebody to grab this case number
22 and give a motion on this.

23
24 **COMMISSIONER OWINGS** – Chairman if you would give me a chance to
25 redeem myself.

26
27 **CHAIR BAKER** – Now this is it

28
29 **COMMISSIONER OWINGS** – I’d like to make a motion to... Meli am I on the
30 right page here? I’d like to make a motion to **APPROVE** Resolution No. 2011-22
31 and thereby recommending to the Planning Commission:

- 32
33 1. **ADOPT** a Negative Declaration for PA05-0135 Tentative Parcel Map 32556
34 pursuant to the California Environmental Quality Act (CEQA) Guidelines
35 since the project as designed and conditioned would not have the potential to
36 create significant environmental impacts; and,
37
38 2. **APPROVE** PA05-0135 Tentative Tract Map 32556 subject to the attached
39 Conditions of approval included as Exhibit A.

40
41 **VICE CHAIR SALAS** – I’ll second

42
43 **CHAIR BAKER** – Okay we have a motion by Tom and a second by George for
44 this project. All those in favor?

1 Opposed – 0

2
3 **Motion carries 6 – 0**

4
5 **CHAIR BAKER** – Staff wrap up

6
7 **PLANNING OFFICIAL TERELL** – Yes this action become final unless appealed
8 to the City Council within 10 days. And as a point for the new Commissioners,
9 sometimes I say 15 days and sometimes I say 10 days. State Law limits the
10 appeal period for a tract to 10 days; any kind of a tract and then for every other
11 project it defers to the City and the City has established 15 days is the time
12 period that people have to appeal a project, so that's why some times it is 10 and
13 sometimes it's 15 days.

14
15 **CHAIR BAKER** – Okay good luck to you

16
17
18
19 **STAFF COMMENTS**

20
21 **PLANNING OFFICIAL TERELL** – Yes just a few items. I did send out an email
22 yesterday regarding some training that came up for Planning Commissioners that
23 will be next Friday and I appreciate everyone getting back to me. As of tonight it
24 looks like a full house as everybody will be able to go. I think you'll really enjoy.
25 It's been a few years since the local chapter of the Planners Association has but
26 it has always been good in the past so I think you'll enjoy it and if you have any
27 comments afterward let me know. I happen to be on the Board of that local
28 chapter, so I would be glad to get any comments back to them.

29
30 Second your next meeting is on September 8th I believe. We don't currently have
31 items scheduled but we are working on a couple of items so I anticipate you will
32 have a meeting. If it turns out you do not, we'll let you know as soon as possible,
33 but as of now we will have a meeting on September 8th. My hope is that at time
34 we will have a seventh Commissioner. The applications closed a week or two
35 ago and the interviews will occur either this week or next and then a selection I'm
36 sure will occur before September 8th, so if not it will be in October. But that
37 concludes my comments.

38
39
40
41 **PLANNING COMMISSIONER COMMENTS**

42
43 **CHAIR BAKER** – Thank you John. At this time I want to open the meeting up to
44 any Planning Commissioner Comments or anything you'd like.

1 **COMMISSIONER CROTHERS** – I have a comment and I know it’s kind of a little
2 bit old because this article was posted in July, but I just want to congratulate
3 MVTV for winning three cable television awards at the 2011 Star Awards held in
4 Long Beach. They won for the shows Mission MoVal, News Center and Pet of
5 the Week and I just wanted to say congratulations and keep up the good work.
6

7 **CHAIR BAKER** – Thank you. Is there anyone else?
8

9 **COMMISSIONER OWINGS** – Mr. Chairman I wondered if we could find out if
10 there was consensus among the Commission and the City Council to see if we
11 could have a Joint Study Session with the Planning Commission and the Council
12 to explore with the City Council’s vision and future plans for the development of
13 the City are currently. I wondered if there was a consensus of the group to move
14 forward with that. That’s my understanding. It’s been kind of annual... it’s been
15 asked to be quarterly but it is sort of ended up being kind of an annual situation.
16 You know I think it is something that we should check in with the Council at least
17 a couple of times a year and I was wondering what the fellow Commissioners
18 thought about that.
19

20 **VICE CHAIR SALAS** – Well we used to do it; right John; didn’t we...
21

22 **PLANNING OFFICIAL TERELL** – It is something we... at times it’s been asked
23 for quarterly, but it’s never been quarterly, but we have had one almost every
24 year. Generally it’s around a particular issue and then we add other items but
25 certainly since we have so many new Commissioners it is something that has
26 been floated, so if the Commissioners are interested in that I’m sure we can
27 schedule that. I just have to find a meeting date; a Study Session meeting date
28 that will work.
29

30 **COMMISSIONER OWINGS** – You know John I was wondering if we’re all in
31 consensus; I saw a lot of heads moving, I wondered if there couldn’t be some
32 sort of a process by which the Chairman we could direct potential topics of
33 conversation or subjects of this to the Chairman and the Chairman could then
34 work with you to come up with an Agenda and members of the City Council
35 obviously, to come up an Agenda that both bodies feel would be beneficial and
36 move us forward.
37

38 **PLANNING OFFICIAL TERELL** – Yes definitely. If you have specific items in
39 addition to the one you talked about, that would be very helpful in forming an
40 Agenda and discussion.
41

42 **COMMISSIONER OWINGS** – So Chairman do you think there would be a date
43 by which we could get this information to you. What do you figure; a couple of
44 weeks.
45

1 **CHAIR BAKER** – Let’s see; August has pretty well had it. Why don’t we by the
2 next meeting; you know September 8th if we meet, try to get each Commissioner
3 if they could have a couple of items that is red hot on their platter; they need to
4 know about and then when either John or I go to the Mayor or the Council, we
5 can say hey here is what we want to talk about rather than just kind of float a
6 blank meeting out there if we’ve got something on our mind we want to talk
7 about. Does that make sense?
8

9 **COMMISSIONER OWINGS** – In going further Chairman, I would respectfully
10 request that the City Council do the same. We would exchange those lists so
11 that there was a mutual Agenda as opposed to a single Agenda that was...
12

13 **VICE CHAIR SALAS** – Well we could request that of the City Council
14

15 **PLANNING OFFICIAL TERELL** – Yes I think the idea is that that can go
16 probably if the Chair was to talk to the Mayor and he can mention it to the Mayor
17 at such time as we get some consensus at this end.
18

19 **CHAIR BAKER** – Yes get your thoughts together. I’ll get that part rolling
20 between the Mayor and myself and let him know that it is coming forward if that’s
21 okay with you guys. We’ll get it working trust me. I think it’s a good idea. If we
22 can do it at least twice a year right now; maybe do a fall and then a spring...
23

24 **COMMISSIONER OWINGS** – Well you know, listen; just to kind of open this up
25 for discussion you know. I’ve talked to people about this and they say; in the City
26 Council; they say well gee whiz you know, it’s hard to get all those folks together
27 and whatever, whatever... Well in my opinion in a meeting of three members of
28 the Commission is better than a meeting of no meeting, so I believe that if we
29 had a couple of meetings a year it would reduce the pressure to have 100
30 percent attendance and we would have two opportunities and maybe the smaller
31 group might actual accomplish more, so if everyone shows fine and if they don’t
32 fine, but I don’t think just because it’s hard to get a group together that shouldn’t
33 eliminate the need for the meeting.
34

35 **CHAIR BAKER** – Well what we’ve done in the past and correct John if I’m wrong
36 here, we usually tie this in with one of their working meetings; is that right?
37

38 **PLANNING OFFICIAL TERELL** – Yes, they have one of their Study Sessions
39 and they have those
40

41 **CHAIR BAKER** – Exactly, so it’s not an impossible deal
42

43 **PLANNING OFFICIAL TERELL** – No the hardest thing typically is to find an
44 open date for the Study Session. That is really the harder thing to do, but if we
45 plan ahead we can try to look at trying to do more than one a year.
46

1 **COMMISSIONER OWINGS** – Well right, but if we’re going to get one done this
2 year we better start now.

3
4 **PLANNING OFFICIAL TERELL** – That is true

5
6 **COMMISSIONER OWINGS** – A second thing that I’d like to bring up Mr.
7 Chairman if it is alright with you is we don’t know who is going to be picked as a
8 seventh member, but assuming they have the equal experience on the Planning
9 Commission as the new members sitting here do, we are going to need some
10 more training, so I appreciate this attempt John. I really commend you for that
11 and John and I talked earlier about there is a website connected with this
12 organization where he is going to explore getting us access to that website so
13 that we’ll be able to do some studying on our own, but beyond that I wondered if
14 there wasn’t... it seemed to me the first meeting we were here there was about
15 three or four ex-Commissioners who we were giving thanks and praise to for their
16 past service. I wonder if we could call upon them one more time to potentially
17 kind of hold an informal training session for those members who would wish to
18 participate and those could be on a Saturday or an afternoon or something like
19 that in a less formal atmosphere and I wondered what the fellow Commissioners
20 thought of that. You know I know the Chairman probably doesn’t need to go
21 through this, but the rest of us probably do and maybe even if there someone
22 from Staff there to assist us in that. What is the consensus of the group on that?

23
24 **COMMISSIONER VAN NATTA** – I have a comment. I like everything you said
25 except getting together with ex or previous Planning Commissioners to get
26 training from them. I would rather have a more formalized training from an
27 organization than to bring back somebody who is not part of the decision making
28 process any more in terms of keeping us newbie’s more clear headed and
29 forward thinking, instead of being told how things were always done before.

30
31 **COMMISSIONER OWINGS** – Well you know I’m not suggesting that they be
32 telling us how things were done before number one and number two, I’ve been
33 to those types of training that you are suggesting and because those trainings
34 sessions are basically directed towards a group of different municipalities and
35 different organizations that are kind of generic and they are not specific and
36 believe me this City does things quite differently than other cities, so I think there
37 is some realm to that and I’m not inviting them to tell us war stories, but there are
38 four or five different responsibilities for this Commission and some of it is
39 ministerial; some of it is legislative and those are the types of things that these
40 Commissioners could talk to us and instruct us about and if they are not
41 appropriate then maybe the Staff could fill that role, but I think these kinds of
42 seminars are terrific but they are not going to teach us what we really need to
43 know in my opinion.

44
45 **COMMISSIONER CROTHERS** – Tom I happen to agree with you. I know both
46 formal and informal kinds of training teach you a lot and very different aspects of

1 the job that we are doing and I'm open for any kind of training that this Staff is
2 willing to let us take and you know as long as it's in the scope of what we can do
3 and we are not violating any laws or rules or procedures, then I'm absolutely
4 open for any kind of training.

5
6 **VICE CHAIR SALAS** – It's up to Ray and you and John probably talk about...
7 something you could talk about. I'm not too crazy about the past Staff members
8 coming either, but I'll go along with the group. If you guys think that's what we
9 should do but I think training by Staff, the website and just that class I think is
10 going to be sufficient for us or for me anyway.

11
12 **CHAIR BAKER** – John what have you done in the past? Have we met as a
13 group or we allowed meeting with the Planning Staff and kind of getting a vision
14 of where we need to go from you guys...

15
16 **PLANNING OFFICIAL TEREEL** – Well definitely that's possible to I guess
17 establish more of a round table discussion as opposed to a formal discussion like
18 we have at the meeting. I'd like to kind of get your feelings after you go to the
19 training and see what you think. There are definitely nuances about how Moreno
20 Valley does things compared to other cities, but generally it is very similar and so
21 if we get into the details of kind of how we run the meeting and what things go to
22 the Planning Commission and what things don't, that would be a nice round table
23 discussion with Staff or past Commissioners; however you want to do it and then
24 for the big picture framework, hopefully the training you go to next Friday gives
25 you both information and maybe questions for further training.

26
27 **COMMISSIONER OWINGS** – Let me bring up an example of what I think is
28 important. In every City that I have been involved in, Planning Commissions
29 generally have a prohibition about meeting with Applicants privately. To my
30 knowledge, this Planning Commission hasn't made any kind of decision as to
31 what is appropriate behavior or not and if you were to ask a Planning
32 Commissioner from the City of Riverside, he would tell you that it is inappropriate
33 for a Planning Commission member to meet with a private applicant being
34 lobbied on a particular goal. I don't think there is anything illegal about it, but I
35 certainly think it should be at the discretion of this Commission and this
36 Commission should set its own rules on that and unless they are even aware of
37 that fact, they won't be able to do that and you can go to a hundred of those
38 Commissions or symposiums and you are never going to understand that nuance
39 of Moreno Valley.

40
41 I personally believe that we should be in a situation where we are immune to that
42 type of lobbying and I don't know what else anyone else on this Commission
43 believes but I certainly don't need to be pressured and I don't want to be
44 pressured and I think this Staff and this Commission setting that you provide for
45 us, gives the applicant adequate input to its Commissioners; by written means or
46 through the Staff. So those are the types of things that I think that if we are going

1 to be an effective, strong Commission that doesn't get caught up in all kinds of
2 personalities and personal fights and things then we restore the respect and
3 integrity with the community; maintain it, we need to adopt these types of issues
4 and talk about them and accept them and we're not going to do that in a
5 symposium in Riverside at the Mission Inn.

6
7 **COMMISSIONER VAN NATTA** – I agree that there is going to be a lot more that
8 we need to learn about what we're doing than what we are going to get at a
9 symposium like that and I think that's a very good starting place, but I would like
10 to personally have a little more upfront knowledge about the exact process that
11 someone goes through when they are going through the Planning Commission
12 and if there would be a time when Staff could walk us through it. Okay, this is
13 where they come in; this is what they do; this who they meet; this is the process;
14 then it goes to here and then it goes to that person and so forth and as far as
15 what is appropriate or not appropriate for us to do legally, I think our Counsel can
16 tell us; you know our City Attorney can tell us if there are certain things or certain
17 activities or certain conversations or groups that we should avoid.

18
19 **DEPUTY CITY ATTORNEY BRYANT** – If I could just briefly touch on that. If you
20 do meet with an Applicant ahead of time, you have to disclose it and let everyone
21 on the Commission know and don't prejudge the issue. If you come in here and
22 you've already prejudged the issue, then you shouldn't be participating on that
23 particular Agenda item... disclosure

24
25 **COMMISSIONER OWINGS** – For myself personally I will never meet with an
26 applicant personally

27
28 **DEPUTY CITY ATTORNEY BRYANT** – That's fine

29
30 **COMMISSIONER OWINGS** - And I believe that everyone on this Commission
31 should pledge to do the same and unless we discuss it and have a venue to
32 discuss it, it will not happen.

33
34 **PLANNING OFFICIAL TERELL** – Yes and that's a slightly different... I mean
35 there is training which is one thing you've talked about but the Planning
36 Commission rules which I believe you all have a copy of and those are your kind
37 of standards that you established for yourself and your conduct and certainly you
38 can review those and we can review those with you to see if you want to change
39 those. Currently there is no prohibition against meetings as long as they are
40 disclosed but it is something you can talk about as a group and there might be
41 other things.

42
43 **COMMISSIONER OWINGS** – So maybe in one of those Agenda items on the
44 round table and I understand your sensitivity about past Commissioners, but trust
45 me I'm not afraid to be tainted by any of them. If they have good knowledge, I
46 can sort through the chafe and weed and there were several of those people who

1 definitely have good motives and good intentions and there is something for us to
2 learn from them and I understand that, but if that isn't the venue, then we need to
3 find a venue and if it is some sort of a round table discussion where one of the
4 Agenda items could be to review those rules and to decide what this Commission
5 stands for and I really believe it is in everyone's best interest to keep the oath.
6 We need to keep the integrity of this Commission intact and make the above
7 reproach. This town has had a lot of controversy over the years. It is not
8 productive and we don't need any more of it.

9
10 **CHAIR BAKER** – Let's do this. John and I will get our heads together and we'll
11 kind of put together a program. We are going to do the deal on Friday. We'll go
12 together and get the joint thing set up with the City and then from what Meli and I
13 and from my standpoint too, maybe we need to get together over in the Planning
14 Commission office and Julia or Mark or John walk us through the process. I
15 mean I've been through it a little bit myself because I've worked with the Planning
16 Commission before, but I don't know how Moreno Valley works for sure. I mean
17 I've been up in the offices but that might be a good idea. I don't know how big a
18 deal that would be but you know just say hey, here's where you start at the
19 counter or whatever we have to submit. Will that help us a little bit to know what
20 the process is? You know any of you that submitted any kind of plans at all to
21 the City and I know George knows this, it's a real process, so maybe on this side
22 of the bench, if we know what these guys go through, at least we've got a little
23 insight into what is going there and then we move forward with it and there is a
24 lot besides the Planning. You've got those guys behind there; Public Safety and
25 Roads and Utility. There are a lot of things that go into it. There's the Fire
26 Department and the whole thing, so John and I will get our heads together and it
27 may not happen next month, but in the next couple of months. I know we've got
28 a new... hopefully we've got a new Commissioner on hand and we'll go through it
29 and make it work; okay. Is there anybody else? Are there any more comments?

30
31 **COMMISSIONER VAN NATTA** – Yes one more comment. If there is anyone
32 here who has not had the opportunity to take the Leadership Moreno Valley
33 course, I know they are taking applications for this year and it is a lot of really,
34 really good information and you'll see a lot of things that you might not have ever
35 known about the City.

36
37 **CHAIR BAKER** – Who is that handled through; the Chamber or the City?

38
39 **COMMISSIONER VAN NATTA** – The City and the Chamber jointly have a
40 program and it encompasses a meeting a month for nine months and takes you
41 all over the City and explores everything from what services are offered, what
42 companies are here and how things work and it's really a very, very good
43 program and if you haven't had the opportunity, now would be a good time to
44 sign up for that.

1 **CHAIR BAKER** – Thank you. Is there anyone else? If not, I'd like to entertain a
2 motion for adjournment.

3
4
5

6 **ADJOURNMENT**

7

8 **VICE CHAIR SALAS** – You've got it

9

10 **CHAIR BAKER** – Is there a second?

11

12 **COMMISSIONER OWINGS** – Second

13

14 **CHAIR BAKER** – George is going to motion and Tom seconded. Okay, all in
15 favor? See you next month. Good night Moreno Valley.

16
17
18
19
20
21
22

23 _____
24 John C. Terell
25 Planning Official
26 Approved

_____ Date

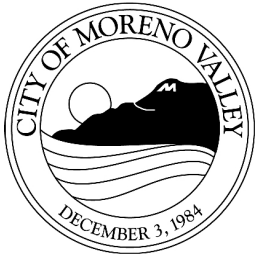
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31 _____
32 Ray L. Baker
33 Chair

_____ Date

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PLANNING COMMISSION STAFF REPORT

Case: PA10-0036 (Tentative Tract Map 36277)
PA10-0037 (394-unit condominium)

Date: October 13, 2011

Applicant: Moreno Valley Day Street Apartments LP

Representative: Chris Livoni

Location: 13120 Day Street (APN: 291-120-048)

Proposal: Conversion of the existing 394 unit
apartment complex to condominiums.

Redevelopment Area: Yes

Recommendation: Approval

SUMMARY

The applicant, Moreno Valley Day Street Apartments, is proposing the conversion of the existing 394 unit apartment complex located at 13120 Day Street, to condominiums. The proposed use is within the Specific Plan 200 High Density Residential. No changes are proposed to the existing structures or site. The project complies with the standards set forth in the City's Municipal Code for Condominium Conversions.

PROJECT DESCRIPTION

Project

The existing 394-unit apartment complex on a 19.72-acre site was constructed in 2005. There are twelve buildings consisting of eight-two (82) one bedroom, two hundred eighty-eight (288) two bedroom, and twenty-four (24) three bedroom units. The apartment complex is gated with mature landscaping and trees throughout the complex. Amenities include private open space for each unit, a swimming pool, fitness room, playground and the clubhouse.

The existing project is located within the Specific Plan 200 High Density Residential which provides for the development of multi-family residential projects up to 20 units per acre. The density of this project is 20 units per acre.

Surrounding Area

Properties to the south and east are within the Specific Plan 200, properties to the north are zoned Community Commercial, and properties to the west are zoned Office Commercial (OC) and Residential 15 (R15). All properties to the south and east are developed with single family homes and zoned SP200 R 4500 and SP200R 5000. To the north is an existing non-conforming concrete batch plant. To the west are sparsely developed parcels with single family dwellings.

Access/Parking

The main entrance to the existing gate site is on Day Street with two additional entries on Eucalyptus Avenue and Dracaea Avenue.

Parking stalls, both covered and uncovered, are located throughout the complex providing convenient parking for residents. The required parking is 690 including covered, standard and ADA spaces. The existing parking includes 415 covered, 50 garages and 294 standard spaces (including ADA spaces) for a total of 758 which exceeds the required parking.

Design/Landscaping

The complex was approved in 2003 and constructed in 2005. The design includes stucco buildings with clay tile roofing. Balconies with wrought iron railings are incorporated at each story and all buildings include decorative features to enhance the building elevations. Units range in size from 735 square feet (one-bedroom) to 1,173 square feet (three-bedroom) and all units include private open space. The site includes mature trees and landscaping throughout the complex.

REVIEW PROCESS

The projects were submitted on October 21, 2010 with a Project Review Staff Committee meeting held on November 16, 2010. Several minor revisions were

requested and resubmitted by the applicant. All relevant issues have been adequately corrected to the satisfaction of all parties.

ENVIRONMENTAL

As an existing project, it is not anticipated that these projects will result in a potential for significant impacts to Fish and Wildlife resources. The Tentative Tract Map for Condominium purposes and Plot Plan would be exempt from the requirements of the California Environmental Quality Act (CEQA) Guidelines as provided for in Section 15315, Class 15 Categorical Exemption for Minor Land Division and Section 15301 (k) Existing Facilities.

NOTIFICATION

Public notice was sent to all property owners of record within 300' of the project. The public hearing notice for this project was also posted on the project site and published in the local newspaper.

In addition, the applicant has provided the required notices to tenants and prospective tenants as required under State Subdivision Map Act and the City's Municipal Code.

CONDOMINIUM CONVERSION

Municipal Code Section 9.08.040(D) requires a finding in conjunction with approval of condominium conversions to demonstrate that the rental housing stock will not be adversely affected. To date, the City has approved five condominium conversions including a project for a 56-unit community on the southwest corner of Bay Avenue and Frederick Street (PA06-0046/47), a 147-unit complex on the southwest corner of Bay Avenue and Heacock Street, a 552 units (PA05-0098) at the Stonegate at Towngate project along the south side of the Moreno Valley Mall, a 92-unit complex (PA08-0014 & PA08-0015) on Ironwood Avenue and a 136-unit complex on Sunnymead Boulevard (PA08-0016 & PA08-0017). To date, none of the approved condominium maps have been recorded.

The applicant wants to obtain the entitlements for the conversion, however, will not be completing the conversion at this time.

The Municipal Code provides two optional criteria for evaluating the effect of a conversion upon the rental stock. One is a demonstration that the rental stock vacancy rate is at least 5% and the second is that there will be a 1:1 replacement in the rental stock due to new construction.

City development activity statistics for indicate more than 2,496 multiple-family rental units were completed during the last development cycle and are available for rent/lease. This current rental stock more than offsets the proposed conversion of 394 units for this proposal as well as other recent approvals.

REVIEW AGENCY COMMENTS

Staff received the following responses to the Project Review Staff Committee transmittal; which was sent to all potentially affected reviewing agencies.

<u>Agency</u>	<u>Response Date</u>	<u>Comments</u>
Riverside County Flood Control	November 14, 2010	No comment
Southern California Gas	December 28, 2010	No comment

STAFF RECOMMENDATION

That the Planning Commission **APPROVE** Resolution No. 2011-25 and thereby:

1. **RECOGNIZE** that PA10-0036 (Tentative Tract Map 36277) and PA10-0037 (Plot Plan) qualifies as an exemption in accordance with CEQA Guidelines, Section 15301, Existing Facilities (k) and 15315, Minor Land Divisions; and
2. **APPROVE** PA10-0036 (Tentative Tract Map 36277) and PA10-0037 (Plot Plan), subject to the attached conditions of approval included as Exhibit A.

Prepared by:

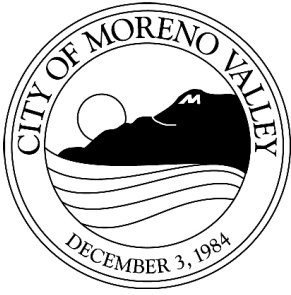
Julia Descoteaux
Associate Planner

Approved by:

John C. Terell, AICP
Planning Official

ATTACHMENTS:

1. Public Hearing Notice
2. Planning Commission Resolution No. 2011-25 with Conditions of Approval
3. Zoning Map
4. Aerial Site Plan
5. Plot Plan
6. Tentative Tract Map



Notice of PUBLIC HEARING

This may affect your property. Please read.

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

CASE: PA10-0036 (Tentative Tract Map Condo)
PA10-0037 (Plot Plan)

APPLICANT: Moreno Valley Day Street Apartments

OWNER: Moreno Valley Day Street Apartments

REPRESENTATIVE: Chris Livoni

LOCATION: 13120 Day Street (APN: 291-120-048)

PROPOSAL: Plot Plan (PA10-0037) and Tentative Tract Map No. 36277 (PA10-0036) to convert the existing 394 unit apartment complex to condominiums. The project is located on the south east corner of Day Street and Eucalyptus Avenue in the Specific Plan 200 H.

ENVIRONMENTAL DETERMINATION: Exempt under CEQA as provided for in Section 15301 Existing Facilities (k) and 15315, Class 15 categorical exemption for Minor Land Divisions.

COUNCIL DISTRICT: 5

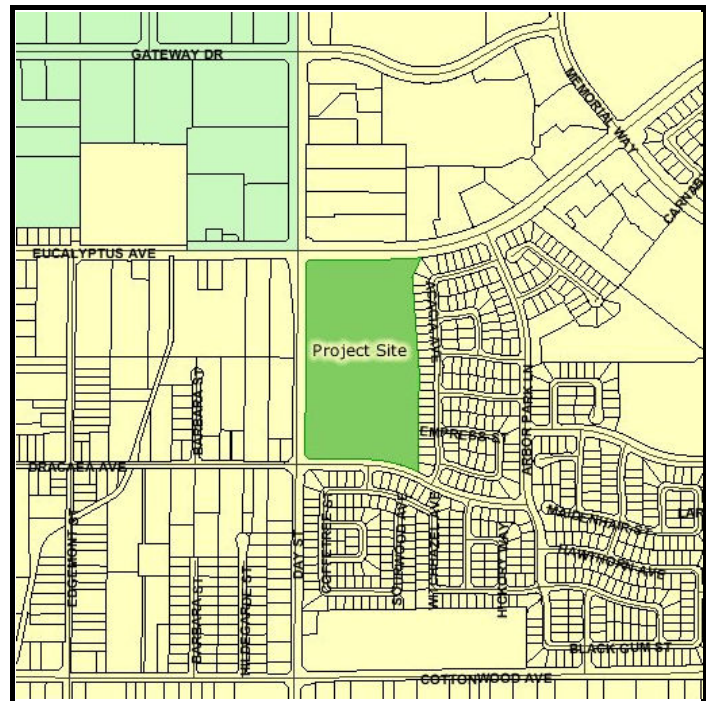
STAFF RECOMMENDATION: Approval

Any person interested in any listed proposal can contact the Community & Economic Development Department, Planning Division, at 14177 Frederick St., Moreno Valley, California, during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday) or may telephone (951) 413-3206 for further information. The associated documents will be available for public inspection at the above address.

In the case of Public Hearing items, any person may also appear and be heard in support of or opposition to the project or recommendation of adoption of the Environmental Determination at the time of the Hearing.

The Planning Commission, at the Hearing or during deliberations, could approve changes or alternatives to the proposal.

If you challenge any of these items in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



LOCATION N ↑

PLANNING COMMISSION HEARING

City Council Chamber, City Hall
14177 Frederick Street
Moreno Valley, Calif. 92553

DATE AND TIME: October 13, 2011 at 7 PM

CONTACT PLANNER: Julia Descoteaux

PHONE: (951) 413-3209

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PLANNING COMMISSION RESOLUTION NO. 2011-25

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING TENTATIVE TRACT MAP NO. 36277 (PA10-0036) FOR CONDOMINIUM PURPOSES ON 19.72 ACRES AND A PLOT PLAN (PA10-0037) TO ESTABLISH A 394-UNIT CONDOMINIUM DEVELOPMENT

WHEREAS, the applicant, Moreno Valley Day Street Apartments, LP has filed applications for the approval of Tentative Tract Map 36277 (PA10-0036) and Plot Plan (PA10-0037), a proposal to approve a conversion of the existing 394-unit apartment complex (Assessor's Parcel Number 291-120-048) for residential condominium purposes as described in the title of this Resolution.

WHEREAS, on October 13, 2011, the Planning Commission of the City of Moreno Valley held a meeting to consider the application.

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances;

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on October 13, 2011 including written and oral staff reports, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:
 1. **That the proposed land division and plot plan are consistent with applicable general and specific plans, their goals, objectives, policies and programs (PA10-0036 and PA10-0037);**

FACT: The proposed tentative tract map and plot plan would establish a 397-unit residential condominium development on a 19.72-acre site. The proposed residential use is consistent with the General Plan. The project site is within the Specific Plan 200 High Density Residential.

2. **That the design or improvements of the proposed land division and plot plan are consistent with applicable general and specific plans and in conformance with zoning regulations (PA10-0036 and PA10-0037);**

FACT: The site is within the Specific Plan 200 High Density Residential (SP200H) which allows for multi-family use. The existing residential product type is consistent with the type of residential uses identified as appropriate within the SP200H land use designation. As proposed and conditioned, the project design is compatible with surrounding development and is consistent with all applicable goals, objectives, policies and programs of the General Plan.

3. **That the site of the proposed land division is physically suitable for the type of development (PA10-0036);**

FACT: The project site is currently occupied by an apartment complex constructed in 2005. The proposed land division will provide for continuation of the existing multiple-family use, with a change in the ownership structure. Infrastructure to support the existing development is currently in place.

4. **That the site of the proposed land division is physically suitable for the proposed density of development (PA10-0036) and the location, design and operation of the proposed project will be compatible with existing and planned uses in the area (PA10-0037);**

FACT: Use of the site in accordance with the SP200H land use designation has occurred for more than 6 years and is currently a legal use within the Specific Plan 200H which allows high density residential. The change in ownership structure from rental to ownership does not affect the physical suitability of the site for the established and continuing use.

5. **That the design of the proposed land division or the proposed improvements are not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat (PA10-0036);**

FACT: The project site is a developed property in an urbanized setting where all services and facilities are currently available. The proposed site will not present the potential for substantial environmental damage or impacts to fish or wildlife habitat.

6. **That the design of the proposed land division or the type of improvements are unlikely to cause serious public health problems (PA10-0036) and the proposed project will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity (PA10-0037);**

FACT: Eastern Municipal Water District provides water and sewer services to the project site. There are no known hazardous conditions associated with the property, the design of the land division or the type of improvements.

7. **That the design of the land division or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (PA10-0036 and PA10-0037);**

FACT: As conditioned, the tentative tract map has been designed to accommodate any existing easements on the subject site

8. **That the design of the land division provides, to the extent feasible, for future passive or natural heating and cooling opportunities in the subdivision (PA10-0036);**

FACT: The project site supports a multitude of mature trees that shade the existing buildings.

9. **That the effect of the proposed land division on the housing needs of the region were considered and balanced against the public service needs of the residents of Moreno Valley and available fiscal and environmental resources (PA10-0036);**

FACT: The proposed land division will allow conversion of 394 existing rental units to for-sale units. The proposed land division does not entail any undue demands for public services or environmental resources. Homeowners within the project will pay Community Services District fees, property tax, sales tax and other taxes and fees that will be used to provide landscape maintenance as well as police, fire and other public services. The project is in compliance with condominium conversion requirements.

10. **That the proposed project complies with all applicable zoning and other regulations (PA10-0037);**

FACT: As designed and conditioned, the proposed development conforms to Specific Plan 200H provisions as to the type (residential) of use permitted in the plan. In accordance with the provisions of Municipal Code Section 9.08.040.D.5 for condominium conversions, the conditions of approval require that the applicant certify that plumbing is sound, pipes for circulated hot water are insulated, individual gas meters are provided, individual electric meters are provided, and adequate trash areas are provided.

11. **That the project conforms to any applicable provisions of any City redevelopment plan (PA10-0036 and PA10-0037).**

FACT: This project is located within the boundaries of the City of Moreno Valley Redevelopment Project Area, and is in conformance with the provisions of the City redevelopment plan.

C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

1. FEES

Impact, mitigation and other fees may be due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat Conservation Plan (MSHCP) Mitigation Fee, Stephens' Kangaroo Habitat Conservation fee, Underground Utilities In-lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

The adopted Conditions of Approval for PA10-0036 and PA10-0037, incorporated herein as Exhibit A, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. CITY RIGHT TO MODIFY/ADJUST; PROTEST LIMITATIONS

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d) (1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the Statute of Limitations has previously expired.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution Number 2011-25, approving PA10-0036 (Tentative Tract Map No. 36277 for Condominium Purposes) and PA10-0037 (Plot Plan for a 397-unit Residential Condominium Development), subject to the attached conditions of approval (Exhibit A).

APPROVED this 13th day of October 2011.

Ray L. Baker
Chair, Planning Commission

ATTEST:

John C. Terell, Planning Official
Secretary to the Planning Commission

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**CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL
FOR
PA10-0036
TENTATIVE TRACT MAP 36277
FOR CONDOMINIUM PURPOSES
PA10-0037 PLOT PLAN
A.P.N.: 479-050-002**

Approval Date: **October 13, 2011**
Expiration Date: **October 13, 2014**

- X Planning (P), Building (B), Land Development (LD)**
- X Public Works, Special Districts (SD)**
- X Public Works – Transportation (TE)**

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

Planning Division

- P1. This approval shall comply with all applicable requirements of the City of Moreno Valley Municipal Code.
- P2. This Tentative Tract Map 36277 and Plot Plan shall expire three years after the approval date of this tentative map unless extended as provided by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever in the event the applicant or any successor in interest fails to properly file a final map before the date of expiration. (MC9.02.230, 9.14.050, 080)
- P3. The site shall be developed in accordance with the approved tentative map and plot plan on file in the Community & Economic Development Department - Planning Division, the Municipal Code regulations, the Landscape Development Guidelines and Specifications (if applicable), General Plan, and the conditions contained herein. A change or modification shall require separate approval. (MC 9.14.020, Ldscp)

**** Added at Planning Commission**

Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):

R - Map Recordation	GP - Grading Permits	CO - Certificate of Occupancy or building final
WP - Water Improvement Plans	BP - Building Permits	P - Any permit

Governing Document (see abbreviation at the end of the affected condition):

GP - General Plan	MC - Municipal Code	CEQA - California Environmental Quality Act
Ord - Ordinance	DG - Design Guidelines	Ldscp - Landscape Development Guidelines and Specs
Res - Resolution	UFC - Uniform Fire Code	UBC - Uniform Building Code
	SBM - Subdivision Map Act	

- P4. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris, by the developer or the developer's successor-in-interest. Any new landscaping shall be drought tolerant with low-water usage. (MC 9.02.030)
- P5. All site plans, grading plans, landscape and irrigation plans, and street improvement plans shall be coordinated for consistency with this approval.

PRIOR TO RECORDATION OF FINAL MAP

- P6. (R) Prior to recordation of the final subdivision map, the developer shall submit for review and approval the following documents to the Planning Division which shall demonstrate that the project will be developed and maintained in accordance with the intent and purpose of the approval:
- a. The document to convey title
 - b. Deed restrictions, easements, or Covenants, Conditions and Restrictions (CC&Rs) to be recorded concurrent with recordation of the subdivision map. The CC&Rs shall include:
 - Provisions consistent with the requirements of the Municipal Code Section 9.08.040.C.3 & D.1-6.

The approved documents shall be recorded at the same time that the subdivision map is recorded. The documents shall contain provisions for joint access to proposed parcels and open space use restrictions. The approved documents shall contain a provision, which provides that they may not be terminated or substantially amended without the consent of the City and the developer's successor-in-interest. (MC 9.14.090)

- P7. All tenants shall be given a minimum of one hundred eighty (180) days' written notice of intention to convert prior to termination of tenancy.
- P8. Prior to recordation of the final map, the existing trash receptacle enclosure(s) shall be modified adding double bins and decorative solid covers to be reviewed and approved by the Community & Economic Development Department - Planning Division. The design shall comply with City standards and be architecturally integrated with the project.
- P9. Prior to recordation of the final map, any new trash enclosures shall be double bin and shall be designed with a decorative solid cover, reviewed and approved by the Community & Economic Development Department – Planning Division. The design shall comply with City standards and be architecturally integrated with the project.

- P10. Prior to recordation of the final map, all structural, electrical, fire and life safety systems shall be in safe and operable condition and any necessary repairs that are required by the Building Official shall be completed and inspected.**
- P11. Prior to recordation of the final map, the plumbing shall be in sound condition, all water heaters, and where feasible, pipes are insulated, individual gas meters, electric meters are provided and any necessary repairs that are required by the Building Official shall be completed and inspected prior to recordation of the final map. Applicant shall provide information to determine feasibility prior to recordation.**
- P12. Prior to recordation of the final map, all areas with sparse landscaping will be re-planted in compliance with approved plans.**

Building and Safety Division

- B1. The above project shall comply with the current California Codes (CBC, CEC, CMC and the CPC) as well as city ordinances. All new projects shall provide a soils report as well. Plans shall be submitted to the Building and Safety Division as a separate submittal. The 2010 edition of the California Codes became effective for all permits issued after January 1, 2011.

COMMERCIAL, INDUSTRIAL, MULTI- FAMILY PROJECTS INCLUDING
CONDOMINIUMS, TOWNHOMES, DUPLEXES AND TRIPLEX BUILDINGS
REQUIRE THE FOLLOWING.

- B2. Prior to final inspection, all plans will be placed on a CD Rom for reference and verification. Plans will include "as built" plans, revisions and changes. The CD will also include Title 24 energy calculations, structural calculations and all other pertinent information. It will be the responsibility of the developer and or the building or property owner(s) to bear all costs required for this process. The CD will be presented to the Building and Safety Division for review prior to final inspection and building occupancy. The CD will become the property of the Moreno Valley Building and Safety Division at that time. In addition, a site plan showing the path of travel from public right of way and building to building access with elevations will be required.
- B3. (BP) Prior to the issuance of a building permit, the applicant shall submit a properly completed "Waste Management Plan" (WMP), as required, to the Compliance Official (Building Official) as a portion of the building or demolition permit process.

POLICE DEPARTMENT

PD1. (CO) Prior to the issuance of a Certificate of Occupancy, an Emergency Contact information Form for the project shall be completed at the permit counter of the Community & Economic Development Department - Building Division for routing to the Police Department. (DC 9.08.080)

**CITY OF MORENO VALLEY
COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
LAND DEVELOPMENT DIVISION
CONDITIONS OF APPROVAL
PA10-0036 Plot Plan – Conversion of 394 Unit Apartment Complex into
Condominiums
PA10-0037 Tentative Tract Map for Condominium Purposes
APN 291-050-054**

Note: All Special Conditions are in **Bold** lettering and follow the standard conditions.

**COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
LAND DEVELOPMENT DIVISION**

The following are the Public Works Department – Land Development Division Conditions of Approval for this project and shall be completed at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Public Works Department – Land Development Division.

General Conditions

- LD1. (G) The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). (MC 9.14.010)
- LD2. (G) If the project involves the subdivision of land, maps may be developed in phases with the approval of the City Engineer. Financial security shall be provided for all improvements associated with each phase of the map. The boundaries of any multiple map increment shall be subject to the approval of the City Engineer.
- LD3. (G) It is understood that the tentative map correctly shows all existing easements, traveled ways, and drainage courses, and that their omission may require the map or plans associated with this application to be resubmitted for further consideration. (MC 9.14.040)

Prior to Map Approval or Recordation

- LD4. (MR) Prior to recordation of the final map, this project is subject to requirements under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (**NPDES**) as mandated by the Federal Clean Water Act. Following are the requirements:

- a. Establish a Home Owners Association (HOA) to finance the maintenance of the "Water Quality Ponds/Bio-swales". Any lots which are identified as "Water Quality Ponds/Bio-Swales" shall be owned in fee by the HOA.
- b. Dedicate a maintenance easement to the City of Moreno Valley.
- c. Execute a maintenance agreement between the City of Moreno Valley and the HOA. The maintenance agreement must be approved by City Council.
- d. Establish a trust fund per the terms of the maintenance agreement.
- e. Provide a certificate of insurance per the terms of the maintenance agreement.
- f. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.
 - i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Residential NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process, or
 - ii. Establish an endowment to cover future maintenance costs for the Residential NPDES Regulatory Rate Schedule.
- g. Notify the Special Districts Division of the intent to record the final map 90 days prior to City Council action authorizing recordation of the final map and the financial option selected. (California Government Code & Municipal Code)

LD5. (MR) The developer is required to bring any existing access ramps adjacent to and fronting the project to current ADA (Americans with Disabilities Act) requirements. However, when work is required in an intersection that involves or impacts existing access ramps, those access ramps in that intersection shall be retrofitted to comply with current ADA requirements, unless approved otherwise by the City Engineer.

LD6. (MR) All work performed within the City right-of-way requires a construction permit. As determined by the City Engineer, security may be required for work within the right-of-way. Security shall be in the form of a cash deposit or other approved means. The City Engineer may require the execution of a public improvement agreement as a condition of the issuance of the construction permit. All inspection fees shall be paid prior to issuance of construction permit. (MC 9.14.100)

SPECIAL CONDITIONS

LD7. Prior to map approval, the map shall clearly show the extents of all existing easements on the property. The map shall include the abandonment/vacation of an existing easement for ingress and egress granted to the City of Moreno Valley recorded on November 10, 1988 as Instrument No. 329898. This easement currently traverses across existing buildings, but prior to development served as necessary ingress and egress access for maintenance and repair of a temporary retention basin.

This easement should have been vacated when the permanent flood control facilities were completed.

- LD8. Prior to final map approval, the applicant shall schedule a walk through with a Public Works Inspector to inspect existing improvements within public right-of-way along project frontage. The applicant will be required to install, replace and/or repair any missing, damaged or substandard improvements including handicap access ramps that do not meet current City standards. The applicant may be required to post security to cover the cost of the repairs and complete the repairs within the time allowed in the public improvement agreement used to secure the improvements.**
- LD9. Prior to final map approval, all trash enclosures shall be dual bin; one bin for trash and one bin for recyclables. The trash enclosures shall be per City Standard Plan 627.**

**CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL
Case No: PA10-0036 (TTM 36277 for a condo conversion)
APN: 291-120-048
11.10.10**

PUBLIC WORKS DEPARTMENT

Special Districts Division

Note: All Special Conditions, Modified Conditions, or Clarification of Conditions are in bold lettering. All other conditions are standard to all or most development projects.

Acknowledgement of Conditions

The following items are Special Districts' Conditions of Approval for project **PA10-0036**; this project shall be completed at no cost to any Government Agency. All questions regarding Special Districts' Conditions including but not limited to, intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480. The applicant is fully responsible for communicating with each designated Special Districts staff member regarding their conditions.

General Conditions

- SD-1 The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services Districts Zones A (Parks & Community Services) and C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual Zone A and Zone C charges for operations and capital improvements.

- SD-2 In the event the Moreno Valley Community Services District determines that funds authorized by Proposition 218 mail ballot proceeding are insufficient to meet the costs for parkway, slope, and/or open space maintenance and utility charges (**Zone E**), the District shall have the right, at its option, to terminate the grant of any or all parkway, slope, and/or open space maintenance easements. This power of termination, should it be exercised, shall be exercised in the manner provided by law to quit claim and abandon the property so conveyed to the District, and to revert to the developer or the developer's successors in interest, all rights, title, and interest in said parkway, slope, and/or open space areas, including but not limited to responsibility for perpetual maintenance of said areas.

- SD-3 Any damage to existing landscape easement areas due to project construction shall be repaired/replaced by the developer, or developer's

successors in interest, at no cost to the Moreno Valley Community Services District.

Prior to Recordation of Final Map

SD-4 (R) This project has been conditioned to provide a funding source for the continued maintenance, enhancement, and/or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. In order for the Developer to meet the financial responsibilities to fund the defined maintenance, one of the following options shall be selected:

- a. Participate in a special election for annexation into **Community Facilities District No. 1**; or
- b. Establish an endowment to cover future maintenance costs for new neighborhood parks.

The Developer must notify Special Districts of intent to record final map 90 days prior to City Council action authorizing recordation of the map and the financial option selected to fund the continued maintenance. (California Government Code, GP Chapter 2.7)

SD-5 (R) This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for **Public Safety** services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the developer shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district that may already be established. The Developer must notify Special Districts of intent to record final map 90 days prior to City Council action authorizing recordation of the map. (California Government Code)

SD-6 (R) This project is conditioned to provide a funding source for the capital improvements and/or maintenance for the **future Day Street median landscape improvements**. In order for the Developer to meet the financial responsibility to maintain the defined service, one of the following options shall be selected:

- a. Participate in the mail ballot proceeding in compliance with Proposition 218, for Moreno Valley Community Services District **Zone M** (Commercial, Industrial and Multifamily Improved Median Maintenance), and pay all associated costs with the ballot process; or

- b. Establish an endowment to cover the future maintenance costs of the landscaped area.

The Developer must notify Special Districts of intent to record final map 90 days prior to City Council action authorizing recordation of the map and the financial option selected to fund the continued maintenance.

- SD-7 *Residential* (R) If Land Development, a Division of the Public Works Department, requires this project to supply a funding source necessary to provide, but not limited to, stormwater utilities services for the required continuous operation, maintenance, monitoring, system evaluations and enhancements, remediation and/or replacement, the developer must notify Special Districts of intent to record final map 90 days prior to City Council action authorizing recordation of the map and the financial option selected to fund the continued maintenance. (California Government Code)
- SD-8 (R) Prior to recordation of the final map, the developer, or the developer's successors or assignees, shall record with the County Recorder's Office a **Declaration of Covenant and Acknowledgement of Assessments** for each assessable parcel therein, whereby the developer covenants and acknowledges the existence of the Moreno Valley Community Services District, its established benefit zones, and that said parcel(s) is (are) liable for payment of annual benefit zone charges and the appropriate National Pollutant Discharge Elimination System (NPDES) maximum regulatory rate schedule when due. A copy of the recorded Declaration of Covenant and Acknowledgement of Assessments shall be submitted to the Special Districts Division.**For a copy of the Declaration of Covenant and Acknowledgement of the Assessment form, please contact Special Districts, phone 951.413.3480.

**CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL
Case No: PA10-0037 (PP for a condo conversion)
APN: 291-120-048
11.10.10**

PUBLIC WORKS DEPARTMENT

Special Districts Division

Note: All Special Conditions, Modified Conditions, or Clarification of Conditions are in bold lettering. All other conditions are standard to all or most development projects.

Acknowledgement of Conditions

The following items are Special Districts' Conditions of Approval for project **PA10-0037**; this project shall be completed at no cost to any Government Agency. All questions regarding Special Districts' Conditions including but not limited to, intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480. The applicant is fully responsible for communicating with each designated Special Districts staff member regarding their conditions.

General Conditions

- SD-1 The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services Districts Zones A (Parks & Community Services) and C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual Zone A and Zone C charges for operations and capital improvements.

- SD-2 In the event the Moreno Valley Community Services District determines that funds authorized by Proposition 218 mail ballot proceeding are insufficient to meet the costs for parkway, slope, and/or open space maintenance and utility charges (**Zone E**), the District shall have the right, at its option, to terminate the grant of any or all parkway, slope, and/or open space maintenance easements. This power of termination, should it be exercised, shall be exercised in the manner provided by law to quit claim and abandon the property so conveyed to the District, and to revert to the developer or the developer's successors in interest, all rights, title, and interest in said parkway, slope, and/or open space areas, including but not limited to responsibility for perpetual maintenance of said areas.

- SD-3 Any damage to existing landscape easement areas due to project construction shall be repaired/replaced by the developer, or developer's

successors in interest, at no cost to the Moreno Valley Community Services District.

Prior to Building Permit Issuance

SD-4 (BP) This project has been conditioned to provide a funding source for the continued maintenance, enhancement, and/or retrofit of neighborhood parks, open spaces, linear parks, and/or trails systems. In order for the Developer to meet the financial responsibilities to fund the defined maintenance, one of the following options shall be selected:

- a. Participate in a special election for annexation into **Community Facilities District No. 1**; or
- b. Establish an endowment to cover future maintenance costs for new neighborhood parks.

The Developer must notify Special Districts of intent to request building permits 90 days prior to their issuance and the financial option selected to fund the continued maintenance. (California Government Code, GP Chapter 2.7)

SD-5 (BP) This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for **Public Safety** services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the developer shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district that may already be established. The Developer must notify Special Districts of intent to request building permits 90 days prior to their issuance. (California Government Code)

SD-6 (BP) This project is conditioned to provide a funding source for the capital improvements and/or maintenance for the **future Day Street median landscape improvements**. In order for the Developer to meet the financial responsibility to maintain the defined service, one of the following options shall be selected:

- a. Participate in the mail ballot proceeding in compliance with Proposition 218, for Moreno Valley Community Services District **Zone M** (Commercial, Industrial and Multifamily Improved Median Maintenance), and pay all associated costs with the ballot process; or

- b. Establish an endowment to cover the future maintenance costs of the landscaped area.

The developer must notify Special Districts of intent to request building permits 90 days prior to their issuance and the financial option selected to fund the continued maintenance.

SD-7 *Residential* (BP) If Land Development, a Division of the Public Works Department, requires this project to supply a funding source necessary to provide, but not limited to, stormwater utilities services for the required continuous operation, maintenance, monitoring, system evaluations and enhancements, remediation and/or replacement, the developer must notify Special Districts 90 days prior to the City's issuance of a building permit and the financial option selected to fund the continued maintenance. (California Government Code)

SD-8 (BP) Prior to release of building permit, the developer, or the developer's successors or assignees, shall record with the County Recorder's Office a **Declaration of Covenant and Acknowledgement of Assessments** for each assessable parcel therein, whereby the developer covenants and acknowledges the existence of the Moreno Valley Community Services District, its established benefit zones, and that said parcel(s) is (are) liable for payment of annual benefit zone charges and the appropriate National Pollutant Discharge Elimination System (NPDES) maximum regulatory rate schedule when due. A copy of the recorded Declaration of Covenant and Acknowledgement of Assessments shall be submitted to the Special Districts Division.

**For a copy of the Declaration of Covenant and Acknowledgement of the Assessments form, please contact Special Districts, phone 951.413.3480.



**Public Works
Transportation Engineering Division**

MEMORANDUM

To: Julia Descoteaux, Associate Planner
From: Michael Lloyd, Senior Engineer
Date: August 16, 2011
Subject: **Conditions of Approval for PA10-0036/0037** – Conversion of existing 394 unit apartment complex to condominiums located on the southeast corner of Day Street and Eucalyptus Avenue.

Attached are the Transportation Engineering Conditions of approval for the subject project.

CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL
PA10-0036/0037

Conversion of existing 394 unit apartment complex to condominiums located on the southeast corner of Day Street and Eucalyptus Avenue.

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

Transportation Engineering Division – Conditions of Approval

Based on the information contained in our standard review process we recommend the following conditions of approval be placed on this project:

GENERAL CONDITIONS

- TE1. Conditions of approval may be modified if project is phased or altered from any approved plans.
- TE2. Day Street is classified as a Divided Arterial – Four Lanes per City Standard Plan No. 103A. A raised median is planned for this segment of Day Street, and future access to the Day Street driveway may be restricted to right-in and right-out only.
- TE3. The main driveway to Eucalyptus Avenue has left-in, right-in, and right-out access. The City reserves the right to restrict the driveway to right-in and right-out only access in the future if collision reports indicate an access problem.
- TE4. All gated entries at driveways shall be kept in good working order.

PRIOR TO MAP RECORDATION

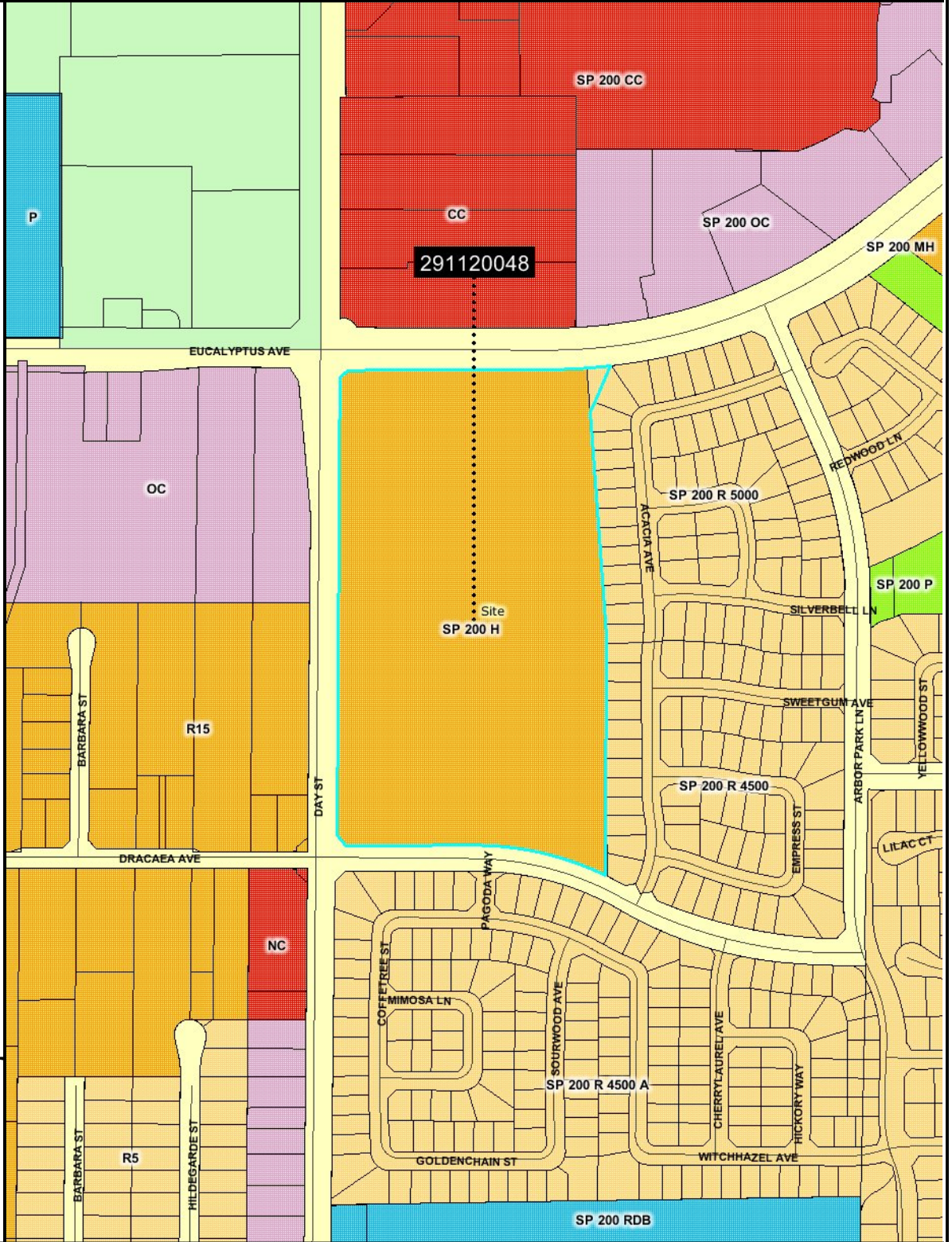
- TE5. All driveways shall conform to the applicable City Standard Plans, including necessary right of way.
- TE6. Sight distance at the driveways shall conform to City Standard Plans 125A, B, and C.

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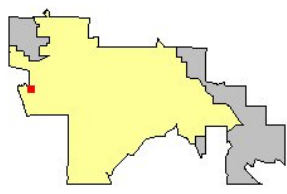
PA10-0036 & PA10-0037jd

Legend

-  Selected Features
-  Highways
-  Parcels
-  Roads
- Zoning**
-  Commercial
-  Industrial/Business Park
-  Large Lot Residential
-  Multi-family
-  Office
-  Open Space/Park
-  Planned Development
-  Public Facilities
-  Residential 2 Dwellings/Acre
-  Residential Agriculture 2 Dwellings/Acre
-  Suburban Residential
-  Waterbodies
- City Boundaries**
-  Calimesa
-  Moreno Valley
-  Perris
-  Riverside

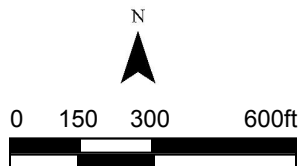


Powered By GeoSmart.net



City of Moreno Valley
 14177 Frederick St
 Moreno Valley, CA 92553

DISCLAIMER: The information shown on this map was compiled from the Riverside County GIS and the City of Moreno Valley GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses, or damages resulting from the use of this map.



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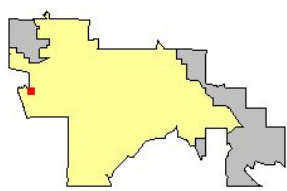
PA10-0037 & PA10-0036jd

Legend

-  Selected Features
-  Highways
-  Parcels
-  Roads
-  Waterbodies
-  City Boundaries
-  Calimesa
-  Moreno Valley
-  Perris
-  Riverside

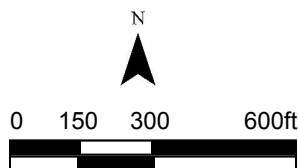


Powered By GeoSmart.net



City of Moreno Valley
 14177 Frederick St
 Moreno Valley, CA 92553

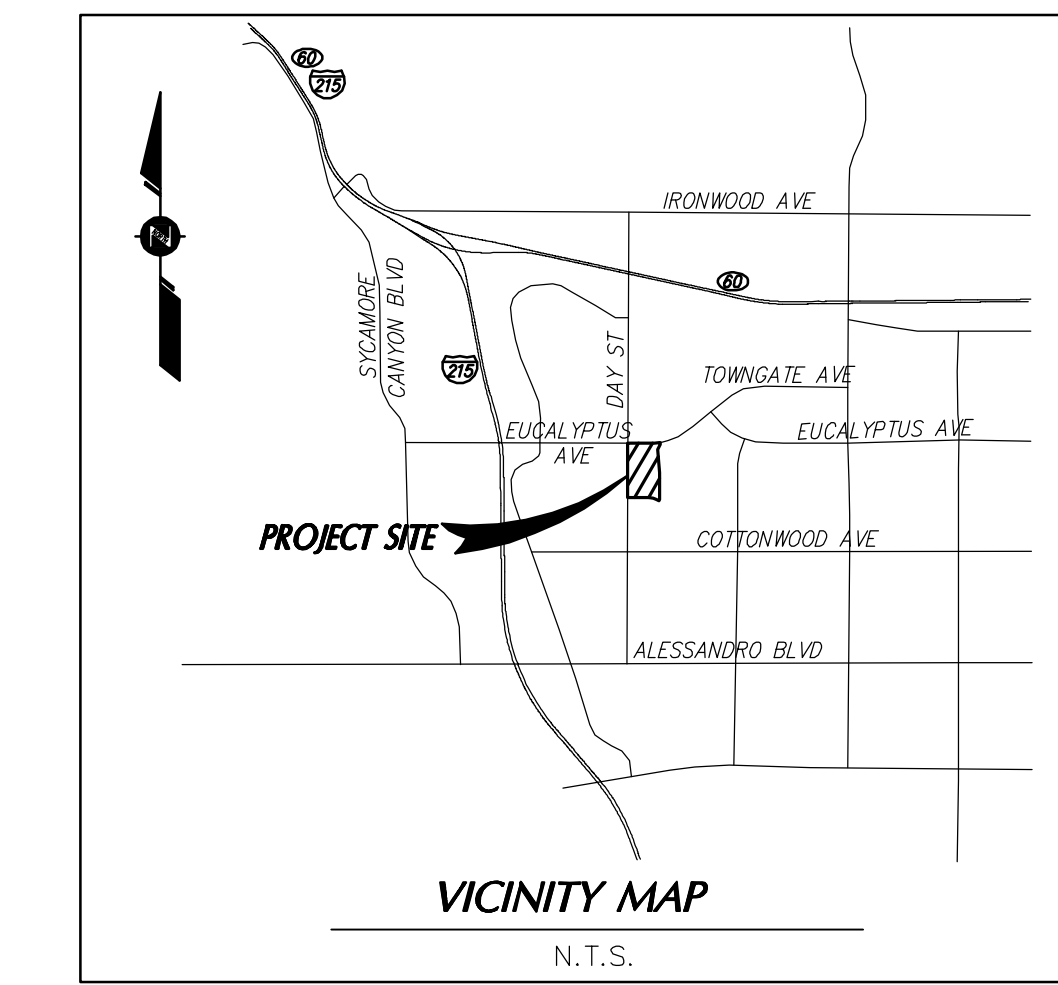
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Printed: 11:20:05 AM

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PLOT PLAN
FOR TTM 36277
FOR CONDOMINIUM PURPOSES
 DATE PREPARED: SEPTEMBER 21, 2011
 GROSS AREA = 19.72 ACRES
 A.P.N. 291-120-048



LEGAL DESCRIPTION:
 THE LEGAL DESCRIPTION SHOWN HEREIN IS FROM CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER NO. 850014825 BEARING AN EFFECTING DATE OF APRIL 30, 2009, MORE PARTICULARLY DESCRIBED AS:
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 THOSE PORTIONS OF LOTS 12 AND 16 OF TRACT 22049, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 177, PAGES 1 THROUGH 4, INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT AN ANGLE POINT IN THE NORTHERLY LINE OF SAID LOT 12 SAID POINT BEING THE NORTHERLY TERMINUS OF THAT COURSE THAT BEARS NORTH 42°21'41" EAST 13.89 FEET, AS SHOWN ON SAID MAP; SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY SIDE LINE OF EUCALYPTUS AVENUE (FORMERLY EASTSIDE AVENUE) AS SHOWN ON SAID MAP;
 THENCE NORTH 89°37'25" EAST ALONG SAID NORTHERLY LINE A DISTANCE OF 508.87 FEET TO THE BEGINNING OF A NON TANGENT CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 1452.00 FEET;
 THENCE EASTERLY ALONG SAID NORTHERLY LINE AND SAID CURVE THROUGH A CENTRAL ANGLE OF 04°27'05" AN ARC DISTANCE OF 113.20 FEET;
 THENCE LEAVING SAID NORTHERLY LINE AND SAID SOUTHERLY SIDE LINE SOUTH 04°49'10" EAST ON A RADIAL LINE FROM SAID CURVE A DISTANCE OF 678.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 12;
 THENCE SOUTH 00°27'28" EAST A DISTANCE OF 641.01 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT 16, ALSO BEING THE NORTHERLY SIDE LINE OF DRACAEA AVENUE, AS SHOWN ON SAID MAP, SAID POINT BEING A POINT IN A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 833.00 FEET, A RADIAL LINE OF SAID CURVE THROUGH SAID CURVE THROUGH SAID POINT BEARS NORTH 24°42'00" EAST;
 THENCE NORTHWESTERLY AND WESTERLY ALONG SAID CURVE AND ALONG SAID SOUTHERLY LINE THROUGH A CENTRAL ANGLE OF 24°38'54" AN ARC DISTANCE OF 357.87 FEET;
 THENCE CONTINUING ALONG SAID SOUTHERLY LINE AND TANGENT TO SAID CURVE SOUTH 89°57'28" WEST A DISTANCE OF 335.72 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE;
 THENCE NORTH 41°42'26" WEST A DISTANCE OF 33.24 FEET ALONG THE CORNER CUTBACK OF SAID SOUTHERLY SIDE LINE TO A POINT ON THE WESTERLY LINE OF SAID LOT 18, ALSO BEING THE EASTERLY SIDE LINE OF DAY STREET AS SHOWN ON SAID MAP;
 THENCE NORTH 00°23'24" WEST ALONG SAID EASTERLY SIDE LINE A DISTANCE OF 1184.02 FEET TO AN ANGLE POINT IN SAID EASTERLY SIDE LINE;
 THENCE NORTH 42°21'41" EAST A DISTANCE OF 33.87 FEET ALONG THE CORNER CUTBACK OF SAID EASTERLY SIDE LINE TO THE POINT OF BEGINNING.
 SAID DESCRIPTION IS PURSUANT TO LOT LINE ADJUSTMENT NO. 898 RECORDED APRIL 23, 2001 AS INSTRUMENT NO. 2001-189154 OF OFFICIAL RECORDS.
 A.P.N. 291-120-048

GENERAL NOTES:
 1. EXISTING LAND USE: APARTMENT COMPLEX
 2. PROPOSED LAND USE: CONDOMINIUM COMPLEX

UTILITIES AND SERVICES:

AGENCY SERVING THE AREA	FACILITIES PRESENT
ELECTRIC: SOUTHERN CALIFORNIA EDISON	YES
GAS: SOUTHERN CALIFORNIA GAS CO.	YES
TELEPHONE: VERIZON	YES
CABLE TV: CHARTER COMMUNICATIONS	YES
WATERS: EASTERN MUNICIPAL WATER DISTRICT	YES
SEWER: RIVERSIDE PUBLIC UTILITIES	YES
SCHOOL DIST: RIVERSIDE UNIFIED	—

EXISTING PARKING SPACES:

	REGULAR	HANDICAP
GARAGE	48	1
CARPORY	407	8
STANDARD	274	20
	729	29
TOTAL SPACES = 758		

LEGEND:

- PROPERTY LINE
- EXISTING BLOCK WALL (6' HIGH UNLESS NOTED)
- WOOD FENCE (6' HIGH UNLESS NOTED)
- FIRE HYDRANT
- EXISTING LIGHT POLE
- GATE VALVE
- SIGN
- PARKING SPACE
- TRASH ENCLOSURE
- TRASH ENCLOSURE WITH RECYCLE BIN

KA ENGINEERING
 LAND PLANNING
 SURVEYING
 357 N. SHERIDAN STREET
 SUITE 117
 CORONA, CALIFORNIA 92880
 TEL: (951) 279-1800
 FAX: (951) 279-4300

DATE: / /
 FARRIS N. HADDAD, R.C.E. 65931
 REGISTRATION EXPIRES JUNE 30, 2012

SITE ADDRESS:
 3170 DAY ST.
 MORENO VALLEY, CA

OWNER/DEVELOPER:
 MORENO VALLEY DAY STREET APARTMENTS, LP
 410 W. MAIN STREET
 CORONA, CALIFORNIA 92880

BENCH MARK:
 ELEVATION = 1594.28
 262' CITY OF RIVERSIDE GPS STATION, CAGME BRASS DISK
 SET FLUSH TO TOP OF INLET ON THE NORTH EAST SIDE
 OF CANTON SPRINGS PARKWAY 0.5 MILES NORTH WEST OF
 DAY STREET.

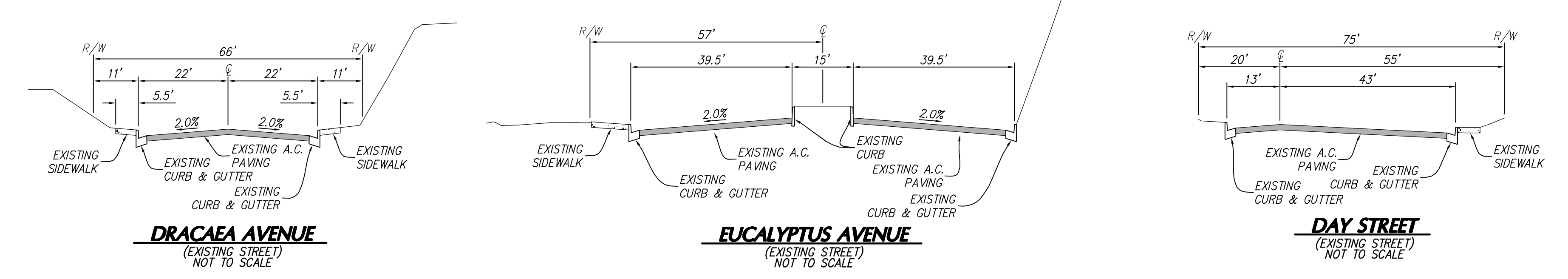
CITY OF MORENO VALLEY

PLOT PLAN
FOR CONDOMINIUM PURPOSES

Drawn By: BJC
 Checked By: JND
 Scale: AS NOTED

CWC NO:
 SHEET 1
 OF 1 SHEETS

CITY CASE NO: **PAN-0037**
 DATE PREPARED: **9/21/2011**



EASEMENTS:

- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY. PURPOSE: UTILITIES. RECORDED: OCTOBER 7, 1989 AS INSTRUMENT NO. 102331 OF OFFICIAL RECORDS. AFFECTS: THE NORTHERLY 10 FEET.
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- AN EASEMENT FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL WATER DISTRICT, ITS SUCCESSORS AND ASSIGNS. PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS. RECORDED: SEPTEMBER 23, 2005 AS INSTRUMENT NO. 2005-0788789 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF LOT 12 AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- AN EASEMENT FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL WATER DISTRICT, ITS SUCCESSORS AND ASSIGNS. PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS. RECORDED: SEPTEMBER 23, 2005 AS INSTRUMENT NO. 2005-078880 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF LOT 16 AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- AN EASEMENT FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: THE CITY OF MORENO VALLEY, A MUNICIPAL CORPORATION. PURPOSE: CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC LANDSCAPE AND IRRIGATION. RECORDED: OCTOBER 31, 2005 AS INSTRUMENT NO. 2005-0902895 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF LOT 12 AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

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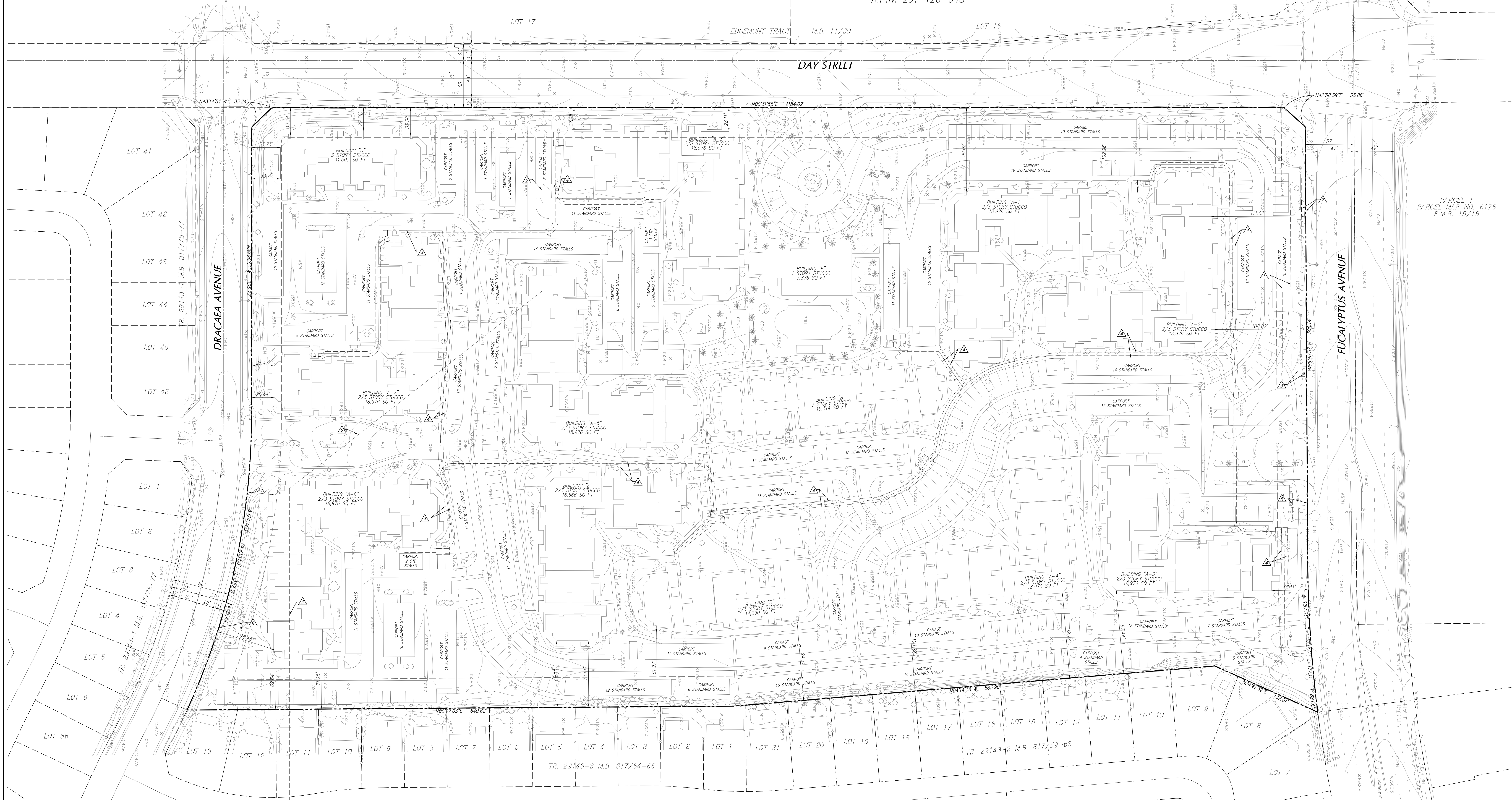
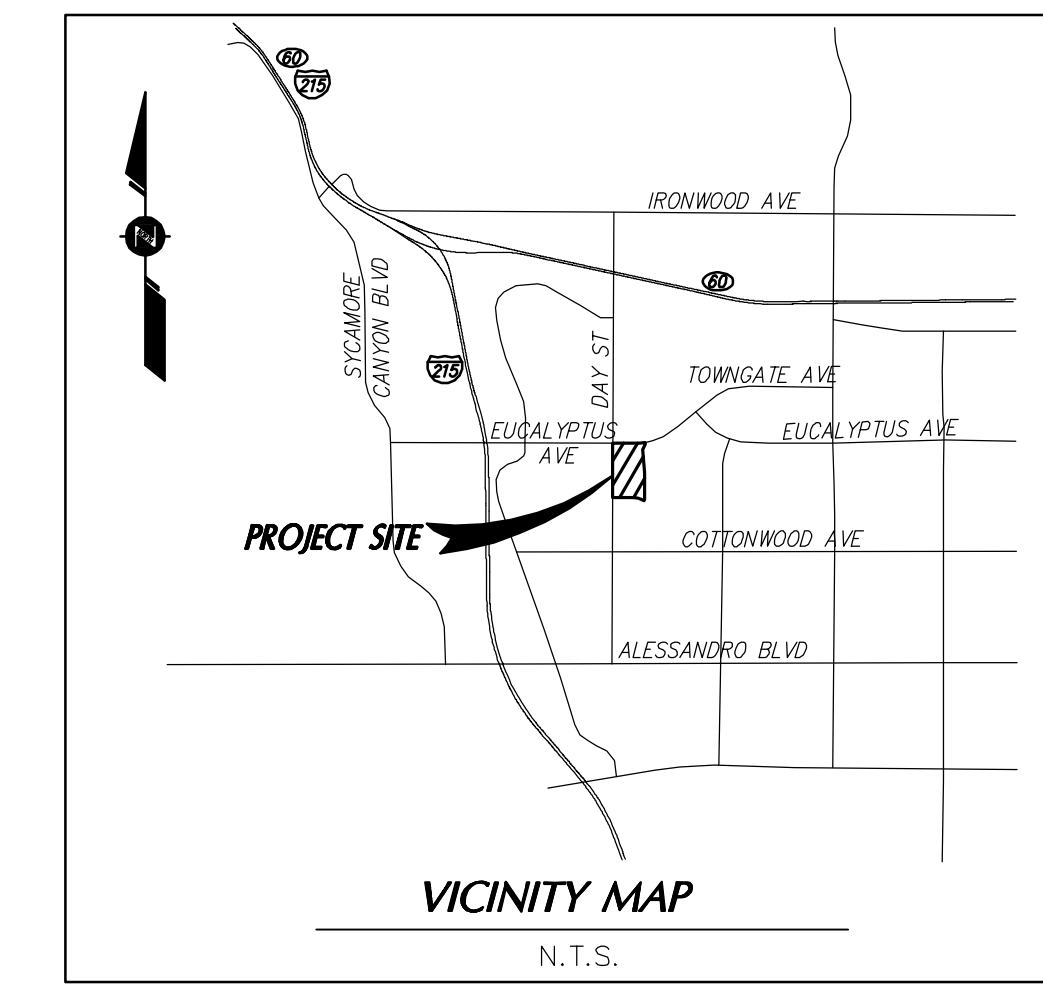
TENTATIVE TRACT MAP NO. 36277

FOR CONDOMINIUM PURPOSES

DATE PREPARED: SEPTEMBER 21, 2011

GROSS AREA = 19.72 ACRES

A.P.N. 291-120-048



LEGAL DESCRIPTION

THE LEGAL DESCRIPTION SHOWN HEREIN IS FROM CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER NO. 850014625 BEARING AN EFFECTING DATE OF APRIL 30, 2009, MORE PARTICULARLY DESCRIBED AS: THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 12 AND 16 OF TRACT 22048, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 177, PAGES 1 THROUGH 4, INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN ANGLE POINT IN THE NORTHERLY LINE OF SAID LOT 12 SAID POINT BEING THE NORTHERLY TERMINUS OF THAT COURSE THAT BEARS NORTH 42°24'41" EAST 18.87 FEET, AS SHOWN ON SAID MAP; SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY SIDE LINE OF EUCALYPTUS AVENUE (FORMERLY EASTSIDE AVENUE) AS SHOWN ON SAID MAP;

THENCE NORTH 89°37'25" EAST ALONG SAID NORTHERLY LINE A DISTANCE OF 508.87 FEET TO THE BEGINNING OF A NON TANGENT CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 1452.00 FEET;

THENCE EASTERLY ALONG SAID NORTHERLY LINE AND SAID CURVE THROUGH A CENTRAL ANGLE OF 04°27'05" AN ARC DISTANCE OF 113.20 FEET;

THENCE LEAVING SAID NORTHERLY LINE AND SAID SOUTHERLY SIDE LINE SOUTH 04°49'10" EAST ON A RADIAL LINE FROM SAID CURVE A DISTANCE OF 678.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 12;

THENCE SOUTH 00°27'28" EAST A DISTANCE OF 641.01 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID LOT 16, ALSO BEING THE NORTHERLY SIDE LINE OF DRACAEA AVENUE, AS SHOWN ON SAID MAP; SAID POINT BEING A POINT IN A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 833.00 FEET, A RADIAL LINE OF SAID CURVE THROUGH SAID CURVE THROUGH SAID POINT BEARS NORTH 24°44'00" EAST;

THENCE NORTHERLY AND WESTERLY ALONG SAID CURVE AND ALONG SAID SOUTHERLY LINE THROUGH A CENTRAL ANGLE OF 24°38'54" AN ARC DISTANCE OF 357.87 FEET;

THENCE CONTINUING ALONG SAID SOUTHERLY LINE AND TANGENT TO SAID CURVE SOUTH 89°57'28" WEST A DISTANCE OF 335.72 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE;

THENCE NORTH 41°49'28" WEST A DISTANCE OF 132.4 FEET ALONG THE CORNER CUTBACK OF SAID SOUTHERLY SIDE LINE TO A POINT ON THE WESTERLY LINE OF SAID LOT 18, ALSO BEING THE EASTERLY SIDE LINE OF DAY STREET AS SHOWN ON SAID MAP;

THENCE NORTH 00°25'34" WEST ALONG SAID EASTERLY SIDE LINE A DISTANCE OF 1184.02 FEET TO AN ANGLE POINT IN SAID EASTERLY SIDE LINE;

THENCE NORTH 42°15'42" EAST A DISTANCE OF 33.87 FEET ALONG THE CORNER CUTBACK OF SAID EASTERLY SIDE LINE TO THE POINT OF BEGINNING.

SAID DESCRIPTION IS PURSUANT TO LOT LINE ADJUSTMENT NO. 898 RECORDED APRIL 23, 2001 AS INSTRUMENT NO. 2001-189154 OF OFFICIAL RECORDS.

APN: 291-120-048

GENERAL NOTES

- EXISTING LAND USE: APARTMENT COMPLEX
- PROPOSED LAND USE: CONDOMINIUM COMPLEX

UTILITIES AND SERVICES

AGENCY SERVING THE AREA	FACILITIES PRESENT	
ELECTRIC	SOUTHERN CALIFORNIA EDISON	YES
GAS	SOUTHERN CALIFORNIA GAS CO.	YES
TELEPHONE	VERIZON	YES
CABLE TV	CHARTER COMMUNICATIONS	YES
WATERS	EASTERN MUNICIPAL WATER DISTRICT	YES
SEWER	RIVERSIDE PUBLIC UTILITIES	YES
SCHOOL DIST.	RIVERSIDE UNIFIED	—

EXISTING PARKING SPACES

	REGULAR	HANDICAP
GARAGE	48	1
CARPORY	407	8
STANDARD	274	20
	729	29
TOTAL SPACES =	758	

LEGEND

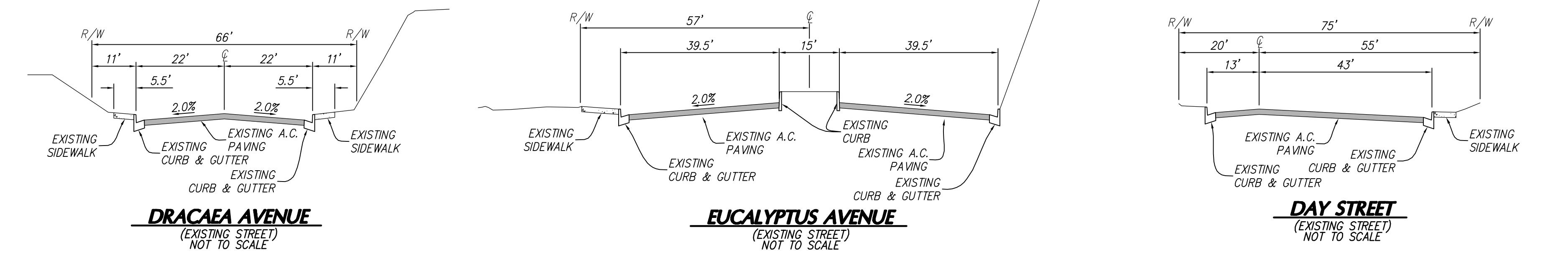
- PROPERTY LINE
- EXISTING BLOCK WALL (6' HIGH UNLESS NOTED)
- WOOD FENCE (6' HIGH UNLESS NOTED)
- FIRE HYDRANT
- EXISTING LIGHT POLE
- GATE VALVE
- SIEN
- PARKING SPACE

KA ENGINEERING
LAND PLANNING
SURVEYING
357 N. SHERIDAN STREET
SUITE 117
CORONA, CALIFORNIA 92880
TEL: (951) 279-1800
FAX: (951) 279-4300

DATE: 9/21/11
REGISTRATION EXPIRES: JUNE 30, 2012
SITE ADDRESS: 3700 DAY ST., MORENO VALLEY, CA
OWNER/DEVELOPER: MORENO VALLEY DAY STREET APARTMENTS, LP
410 W. MAIN STREET
CORONA, CALIFORNIA 92880

BENCH MARK:
ELEVATION = 1594.28
262' CITY OF RIVERSIDE GPS STATION, CAMEL BRASS DISK
SET FLUSH TO TOP OF INLET ON THE NORTH EAST SIDE
OF CANTINA SPRINGS PARKWAY 0.5 MILES NORTH WEST OF
DAY STREET.

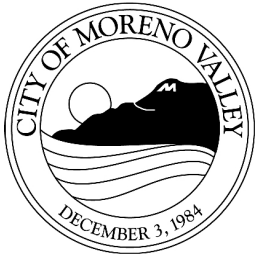
CITY OF MORENO VALLEY
TENTATIVE TRACT MAP NO. 36277
FOR CONDOMINIUM PURPOSES
Drawn By: BLC
Checked By: JND
Scale: AS NOTED
CWC NO:
SHEET 1
OF 1 SHEETS
CITY CASE NO: **PA10-0036**
DATE PREPARED: **9/21/2011**



EASEMENTS

- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL WATER DISTRICT, ITS SUCCESSORS AND ASSIGNS. PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS. RECORDED: OCTOBER 7, 1989 AS INSTRUMENT NO. 102331 OF OFFICIAL RECORDS. AFFECTS: THE NORTHERLY 10 FEET.
- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: THE CITY OF MORENO VALLEY. PURPOSE: INGRESS AND EGRESS. RECORDED: NOVEMBER 10, 1988 AS INSTRUMENT NO. 309898 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
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- AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION. PURPOSES: DISTRIBUTING ELECTRICAL ENERGY AND FOR TRANSMITTING INTELLIGENCE BY ELECTRICAL MEANS. RECORDED: JUNE 10, 2004 AS INSTRUMENT NO. 2004-005065 OF OFFICIAL RECORDS. AFFECTS: THE ROUTE AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
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- AN EASEMENT FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL WATER DISTRICT, ITS SUCCESSORS AND ASSIGNS. PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS. RECORDED: SEPTEMBER 23, 2005 AS INSTRUMENT NO. 2005-0788800 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF LOT 12 AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- AN EASEMENT FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. GRANTED TO: THE CITY OF MORENO VALLEY, A MUNICIPAL CORPORATION. PURPOSES: CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC LANDSCAPE AND IRRIGATION. RECORDED: OCTOBER 31, 2005 AS INSTRUMENT NO. 2005-0902895 OF OFFICIAL RECORDS. AFFECTS: A PORTION OF LOT 12 AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.

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**PLANNING COMMISSION
STAFF REPORT**

Case: PA11-0031 Conditional Use Permit

Date: October 13, 2011

Applicant: Los Angeles SMSA Limited Partnership
dba, Verizon Wireless

Representative: Raheleh Gorginfar
RealCom Associates LLC

Location: 10271 Heacock Street
(APNs: 474-500-019 & 474-500-020)

Proposal: A proposal for the installation of a 75 foot tall monopine telecommunications facility to include 12 antennas, one microwave dish, one GPS antennas and the associated ground equipment. The monopine and the equipment shelter will be located south west of the existing classroom and south of the existing telecommunications facility in the Residential Two (R2) zone.

Redevelopment Area: No

Recommendation: Approval

SUMMARY

A Conditional Use Permit for the installation of a new wireless telecommunications facility consisting of a 75 foot tall monopine with associated ground equipment to be installed to the southwest of an existing school building on a church site located in the Residential Two (R2) zone.

PROJECT DESCRIPTION

Project

The proposed monopine will be located south west of an existing school building at the Moreno Valley United Methodist Church and south of an existing telecommunications facility which includes a 45 foot tall monopine. The proposed monopine will be seventy-five feet in height with twelve (12) panel antennae. The antennae will be located towards the top of the monopine tree and will be covered with faux pine needle sleeves. The branches will be spaced at a minimum of 3 per foot and will extend beyond the antennae a minimum of two (2) feet to screen the antennae in a natural pattern with sufficient artificial branches and foliage. The raised bark pole will have a high relief pattern with texture and color to resemble a natural tree.

The equipment building will be located within the fenced area, with the fence constructed of wrought iron.

Three (3) live trees, a minimum of 15 feet in height and vines will be added to the site to provide additional screening.

The project meets the requirements of the City's Municipal Code. The Municipal Code requires that the facilities be designed with the ability to have future carriers co-locate on the existing facilities. However, due to the height of the existing facility (45'), and the proximity to the westerly property line, the applicant could not meet the set back requirement related to the height necessary to meet the carrier's coverage needs. Findings for the Conditional Use Permit are stated in the resolution attached to this report.

Site/Surrounding Area

The project site is located within an existing church site in the Residential 2 (R2) zone. Specifically, the project site is located west of Heacock Street and north of Meander Court. The monopine will be located a minimum of 75 feet away from the nearest residential property line and approximately 500 feet from any existing residence. The site is located near a large amount of undeveloped R2 zoned parcels to the north, south and west.

Access/Parking

The main access to the project site will be from the church parking lot entrance, and given that the facility will only require periodic routine maintenance visits, the potential for any significant impact to on-site parking does not exist.

Design

The project has been reviewed and the design of the monopine conforms to the standards of the City's Municipal Code for development within the Residential Two (R2) zone and for Communication Facilities. As proposed, the branches for the monopine will start no higher than 15 feet above grade and installed to ensure full and complete coverage of the antennae. The antennae and all ancillary equipment and

hardware attached to the monopine will be painted and covered with faux pine needles to match the monopine pole.

The equipment will be installed in a pre-manufactured structure situated within the fenced leased area of approximately 980 square feet. The proposed equipment building will be painted brown to match the existing telecommunications equipment building and blend with the area topography. The structure will be protected by an eight-foot high wrought iron fence, which will be installed along the perimeter of the lease area.

Three live trees and vines with irrigation will be installed outside the fenced area to provide additional screening and blend the new installation with the existing site facilities.

REVIEW PROCESS

This project was reviewed by staff at the August 23, 2011, Pre-Project Review Staff Committee (Pre-PRSC) meeting. All relevant comments have been addressed.

ENVIRONMENTAL

Based on the review of the project, a determination has been made that this project qualifies as a Class 32 Categorical Exemption, CEQA Guidelines, Section 15332 for In-Fill Development. This determination is based on the criteria as described in section 15332. Several site improvements have been conditioned to mitigate the potential aesthetic impacts. The improvements include the planting of three live evergreen trees, vine plantings along the exterior sides of the wrought iron fence and iron mesh to screen the interior of the fenced area. The tree species chosen are required to grow to a height of at least 50 feet upon maturity.

NOTIFICATION

Public notice was sent to all property owners of record within 300' of the project. The public hearing notice for this project was also posted on the project site and published in the local newspaper. As of the date of this report I have had no phone calls or inquiries regarding the project.

REVIEW AGENCY COMMENTS

Staff received the following responses to the Project Review Staff Committee transmittal; which was sent to all potentially affected reviewing agencies.

<u>Agency</u>	<u>Response Date</u>	<u>Comments</u>
Riverside County Flood Control	September 6, 2011	No comment
Southern California Gas	September 7, 2011	Maps provided to applicant

STAFF RECOMMENDATION

APPROVE Resolution No. 2011-31 and thereby:

1. **RECOGNIZE** that PA11-0031 (Conditional Use Permit) qualifies as an exemption in accordance with CEQA Guidelines, Section 15332 (In-Fill Development Projects); and,
2. **APPROVE** PA11-0031 (Conditional Use Permit) subject to the attached conditions of approval included as Exhibit A.

Prepared by:

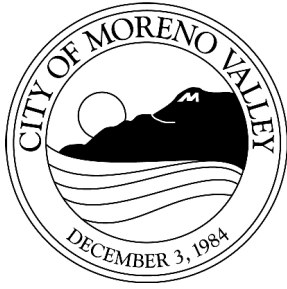
Julia Descoteaux
Associate Planner

Approved by:

John C. Terell, AICP
Planning Official

ATTACHMENTS:

1. Public Hearing Notice
2. Planning Commission Resolution No. 2011-31 with Conditions of Approval
3. Land Use Map
4. Aerial Photograph
5. Project Plans



Notice of PUBLIC HEARING

This may affect your property. Please read.

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

CASE: PA11-0031 (Conditional Use Permit)

APPLICANT: Los Angeles SMSA Limited Partnership
dba, Verizon Wireless

OWNER: Moreno Valley United Methodist Church

REPRESENTATIVE: Raheleh Gorginfar
RealCom Associates LLC

LOCATION: 10271 Heacock Street
(APN's: 474-500-019 & 020)

PROPOSAL: A proposal for the installation of a 75 foot tall monopine telecommunications facility to include 12 antennas, one microwave dish, one GPS antennas and the associated ground equipment. The monopine and the equipment shelter will be located on the south west side of the existing classroom and the existing telecommunications facility in the Residential Two (R2) zone.

ENVIRONMENTAL DETERMINATION: The Conditional Use Permit would be exempt from the requirements of the California Environmental Quality Act (CEQA) Guidelines as provided for in Section 15332 (In-Fill Development Projects).

COUNCIL DISTRICT: 2

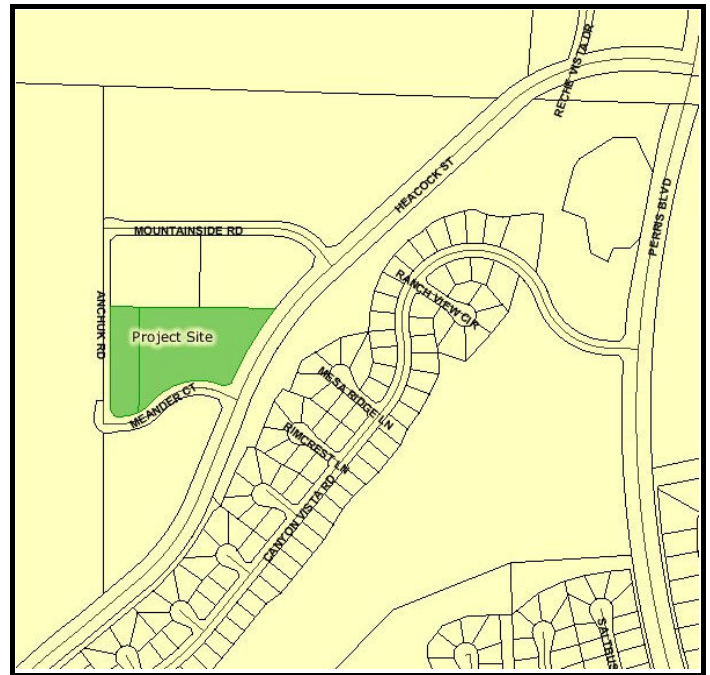
STAFF RECOMMENDATION: Approval

Any person interested in any listed proposal can contact the Community & Economic Development Department, Planning Division, at 14177 Frederick St., Moreno Valley, California, during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday), or may telephone (951) 413-3206 for further information. The associated documents will be available for public inspection at the above address.

In the case of Public Hearing items, any person may also appear and be heard in support of or opposition to the project or recommendation of adoption of the Environmental Determination at the time of the Hearing.

The Planning Commission, at the Hearing or during deliberations, could approve changes or alternatives to the proposal.

If you challenge any of these items in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



LOCATION N ↑

PLANNING COMMISSION HEARING

City Council Chamber, City Hall
14177 Frederick Street
Moreno Valley, Calif. 92553

DATE AND TIME: October 13, 2011 at 7 PM

CONTACT PLANNER: Julia Descoteaux

PHONE: (951) 413-3209

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PLANNING COMMISSION RESOLUTION NO. 2011-31

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING PA11-0031, A CONDITIONAL USE PERMIT FOR A SEVENTY-FIVE FEET MONOPINE TELECOMMUNICATION FACILITY LOCATED AT 10271 HEACOCK STREET ON A PORTION OF PARCEL 474-500-019 AND 474-500-020.

WHEREAS, the applicant, Los Angeles SMSA Limited Partnership dba Verizon Wireless, has filed an application for the approval of PA11-0031 Conditional Use Permit, as described in the title of this Resolution.

WHEREAS, on October 13, 2011, the Planning Commission of the City of Moreno Valley held a meeting to consider the application.

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances;

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.

B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on October 13, 2011 including written and oral staff reports, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The proposed conditional use is consistent with the General Plan designation. As designed and conditioned, the proposed telecommunications facility will be compatible with the

goals, objectives, policies, and programs established within the General Plan and future developments, which may occur within the immediate area

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

FACT: As designed and conditioned, the proposed telecommunications facility will comply with the Municipal Code Section 9.09.040 that provides standards for commercial telecommunication facilities.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: The proposed Conditional Use Permit PA11-0031 will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity. The project would be exempt from the requirements of the California Environmental Quality Act (CEQA) Guidelines as provided for in Section 15332 (In-Fill Development Projects).

4. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

FACT: As designed and conditioned, the proposed project will be constructed and operated to be compatible with surrounding uses. The proposed project consists of the installation of a 75 foot tall monopine to include twelve (12) panel antennas and the associated ground equipment. The antennas will be screened with faux pine sleeves. The associated ground equipment will be within a storage building and screened with a tubular steel fence located south west of the existing classroom building. The project is located in the Residential Two (R2) land use district, which permits the use with a Conditional Use Permit

5. **Conformance with City Redevelopment Plans** – The proposed use conforms with any applicable provisions of any city redevelopment plan.

FACT: This project is not located within the boundaries of the City of Moreno Valley Redevelopment Project Area.

C. FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

1. Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat Conservation Plan (MSHCP) Mitigation Fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

2. DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

The adopted Conditions of Approval for PA11-0031 incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90 day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this resolution begins on the effective date of this resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the Statute of Limitations has previously expired.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution Number 2011-31, approving PA11-0031 (Conditional Use Permit) for 75 feet tall monopine and associated ground equipment subject to the attached conditions of approval (Exhibit A).

APPROVED this 13th day of October 2011

Ray L. Baker
Chair, Planning Commission

ATTEST:

John C. Terell, Planning Official
Secretary to the Planning Commission

APPROVED AS TO FORM:

City Attorney

Attached: Conditions of Approval

**CITY OF MORENO VALLEY
PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA11-0031
CONDITIONAL USE PERMIT FOR A WIRELESS COMMUNICATIONS FACILITY
ASSESSOR'S PARCEL NUMBER: 474-500-019 & 474-500-020**

APPROVAL DATE: October 13, 2011
EXPIRATION DATE: October 13, 2014

This set of conditions shall include conditions from:

- Planning (P), Building (B)
- Fire Prevention Bureau (F)

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

Planning Division

- P1. Conditional Use Permit PA11-0031 is for a new telecommunications facility to be located on the northern portion of the site, south west of the existing school building and south of the existing telecommunications facility. The proposed structure is a seventy-five foot (75') tall monopine designed to hold 12 concealed panel antennas and one parabolic antenna within the top portion of the tree. The unmanned equipment for the antennas will be located in a 980 square foot lease area.**
- P2. The antennas and all ancillary equipment and hardware attached to the top portion of the monopine shall be painted to match the tree and concealed within the dense foliage of the tree. Antennas and all attachment hardware shall be covered with faux pine sleeves. Branches shall be a minimum of three (3) branches per foot and extend a minimum of two feet (2') beyond the antennas at all points. The parabolic antenna shall be painted to match the monopine.**
- P3. The pole shall be designed to resemble a natural tree trunk including raised**

Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):

R - Map Recordation	GP - Grading Permits	CO - Certificate of Occupancy or building final
WP - Water Improvement Plans	BP - Building Permits	P - Any permit

Governing Document (see abbreviation at the end of the affected condition):

GP - General Plan	MC - Municipal Code	CEQA - California Environmental Quality Act
Ord - Ordinance	DG - Design Guidelines	Ldscp - Landscape Development Guidelines and Specs
Res - Resolution	UFC - Uniform Fire Code	UBC - Uniform Building Code
	SBM - Subdivision Map Act	

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA11-0031
CONDITIONAL USE PERMIT
PAGE 2**

bark with a high relief pattern as approved by staff.

- P4. The minimum standard of design for the monopine shall include sufficient artificial branches and foliage as to screen the antenna arrays from view, i.e., the length of the artificial branches shall exceed that of the antenna arrays and the density of the artificial foliage shall be such that the visibility of the antenna arrays are secondary to that of the monopine.**
- P5. The placement of the artificial branches shall begin at no more than a height of 15 feet on the monopine and shall extend to the full height of the pole and shall be mounted so that no gaps are apparent in the branches or foliage. Branches shall be mounted a minimum of three branches per foot.**
- P6. The placement of the artificial branches shall not have a symmetrical appearance, but rather shall be mounted in a manner which gives a more natural, “conical” appearance to the monopine.**
- P7. All utility and coaxial connections to the equipment building/screened area shall be underground. All connections to the monopine shall be underground, installed within the equipment building or located within the lease area below the height of the eight foot (8’) wrought iron fence. For connection equipment between the equipment building and the monopine, located above ground but within the wrought iron fence area, mesh screening will be required. The monopine shall be designed to accommodate co-locations with future connections provided for at the base of the monopine structure.**
- P8. All antennas and equipment located on the tree will be completely covered and screened by the artificial branches, faux pine needle sleeves (where applicable) and foliage of the monopine.**
- P9. The antenna array shall not extend beyond the lease area and any other equipment associated with the telecommunications facility shall be placed within the screened lease area.**
- P10. There shall be no signage or graphics affixed to the equipment, equipment building or fence except for public safety warnings and FCC required signage.**
- P11. The facility shall provide for co-location of other equipment/utilities with review and approval by the Community & Economic Development Director. The design of any co-location shall be compatible with the design of the monopine.**

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA11-0031
CONDITIONAL USE PERMIT
PAGE 3**

- P12. All proposed ancillary equipment shall be placed within the confines of the equipment/lease area. No barbed or razor wire fencing shall be used for the facility.**
- P13. The equipment area shall be screened with the wrought iron fence. The equipment building shall be painted brown to match the adjacent telecommunications building. The equipment shall be located within the lease area as shown on the approved site plan.**
- P14. At such time as the facility ceases to operate, the facility shall be removed. The removal shall occur within 90-days of the cessation of the use. The Conditional Use Permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)**
- P15. The applicant shall replace or repair any existing landscape or irrigation that is disturbed through the installation or operation of this telecommunications facility.**
- P16. This approval shall comply with all applicable requirements of the City of Moreno Valley Municipal Code.**
- P17. Three live trees, (species chosen shall be in excess of 50 feet at maturity and evergreen) with irrigation, a minimum of fifteen (15') feet in height at planting and vines shall be installed/planted around the lease area outside of the proposed fence on the north, west and south.**
- P18. This approval shall expire three (3) years after the approval date of Conditional Use Permit PA11-0031 unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)**
- P19. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris by the developer or the developer's successor-in-interest. (MC 9.02.030)**

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA11-0031
CONDITIONAL USE PERMIT
PAGE 4**

- P20. The site shall be developed in accordance with the approved plans on file in the Community & Economic Development Department - Planning Division, the Municipal Code regulations, the Landscape Requirements, the General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the City Planning Official or designee. (MC 9.14.020, Ldscp)
- P21. (GP) Prior to issuance of grading permits, all site, grading plans, and street improvement plans shall be coordinated for consistency with this approval.
- P22. The emergency generator is approved to be located within the existing equipment lease area and shall be below the height of the tubular steel fence.**
- P23. All connections for the generator shall be within the equipment lease area and located below the height of the 8 foot tall wrought iron fence.**
- P24. (BP) Prior to building permit, the applicant shall demonstrate that noise from the generator shall be below the level of 55 dBA at the boundaries of the church property and 45 dBA within the adjacent church buildings.**
- P25. The emergency generator shall only be used during power outages. Periodic weekly testing shall be allowed during day hours only for 15 minutes.**
- P26. (BP) Prior to issuance of building permits, the applicant shall obtain a Land Use Clearance stamp from the Community & Economic Development Department – Planning Division on the final plan check set.
- P27. (CO) Prior to issuance of a building final, the applicant shall contact the Planning Division for a final inspection.

Building and Safety Division

- B1. The above project shall comply with the current California Codes (CBC, CEC, CMC and the CPC) as well as city ordinances. All new projects shall provide a soils report as well. Plans shall be submitted to the Building and Safety Division as a separate submittal. The 2010 edition of the California Codes became effective for all permits issued after January 1, 2011.

COMMERCIAL, INDUSTRIAL, MULTI-FAMILY PROJECTS INCLUDING
CONDOMINIUMS, TOWNHOMES, DUPLEXES AND TRIPLEX BUILDINGS
REQUIRE THE FOLLOWING.

**PLANNING DIVISION
FINAL CONDITIONS OF APPROVAL FOR PA11-0031
CONDITIONAL USE PERMIT
PAGE 5**

- B2. Prior to final inspection, all plans will be placed on a CD Rom for reference and verification. Plans will include “as built” plans, revisions and changes. The CD will also include Title 24 energy calculations, structural calculations and all other pertinent information. It will be the responsibility of the developer and or the building or property owner(s) to bear all costs required for this process. The CD will be presented to the Building and Safety Division for review prior to final inspection and building occupancy. The CD will become the property of the Moreno Valley Building and Safety Division at that time. In addition, a site plan showing the path of travel from public right of way and building to building access with elevations will be required.
- B3. (BP) Prior to the issuance of a building permit, the applicant shall submit a properly completed “Waste Management Plan” (WMP), as required, to the Compliance Official (Building Official) as a portion of the building or demolition permit process.

**CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL
Case No: PA11-0031
APN: 474-500-019 & -020
DATE: 9/12/11**

FIRE PREVENTION BUREAU

Standard Conditions:

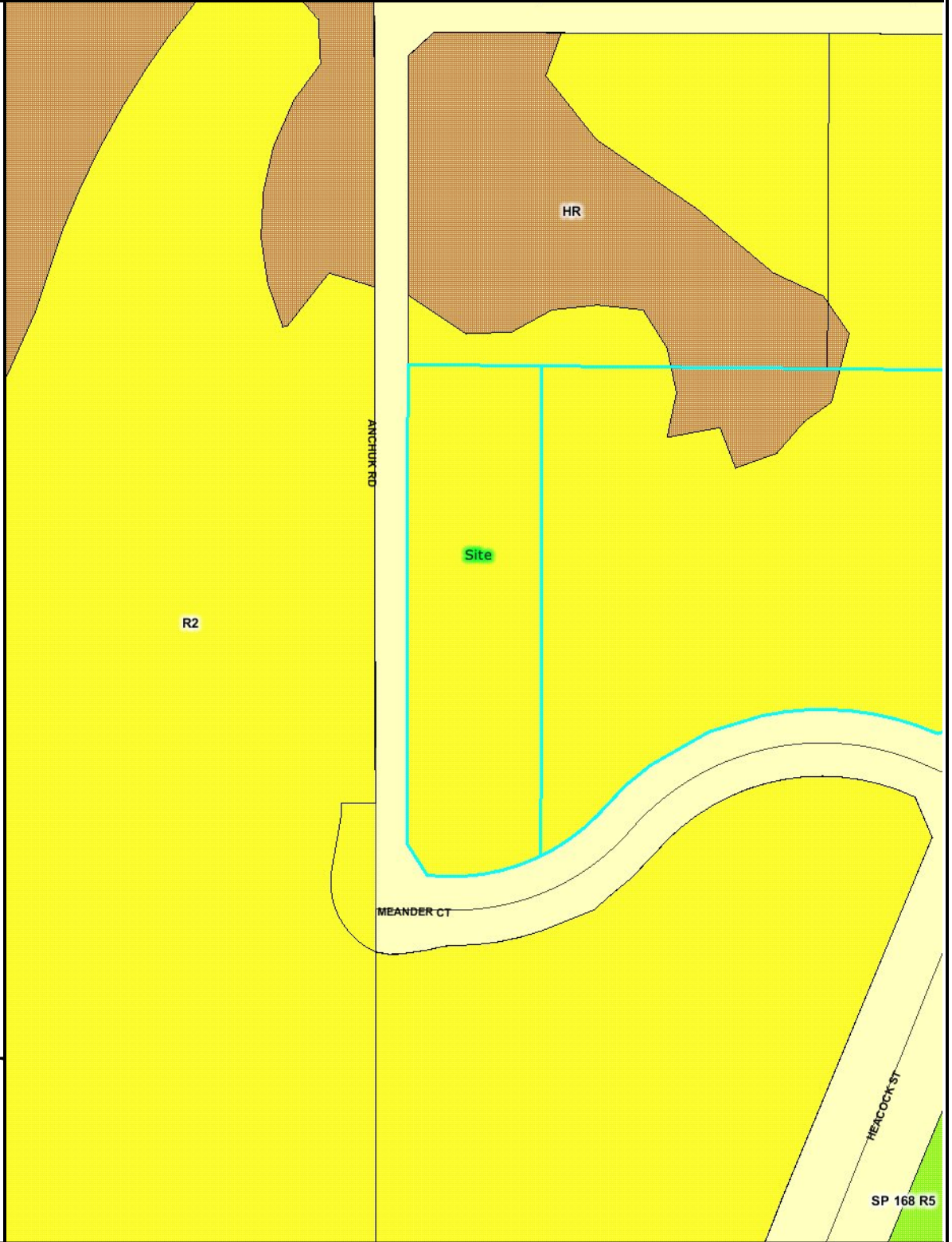
With respect to the conditions of approval for the above referenced (**PA11-0031**), the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinance's and/or recognized fire protection standards:

- F1. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy and use as specified in the California Building Code (CBC), California Fire Code (CFC), Moreno Valley Municipal Code and related codes which are in force at the time of building plan submittal.
- F2. Prior to construction and issuance of Building Permits, fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less the thirteen (13) feet six (6) inches. (CFC 503.2 and MVMC 8.36.060)
- F3. Prior to construction, "private" driveways over 150 feet in length shall have a turn-around as determined by the Fire Prevention Bureau capable of accommodating fire apparatus. Driveway grades shall not exceed 12 percent. (CFC 503 and MVMC 8.36.060)
- F4. Prior to issuance of building permit applicant shall provide written verification that the system they will be installing will not interfere with Fire or Police Communication System.
- F5. Anytime after installation, any interruption of Fire, Police or other public emergency Communication System due to the purveyor's system, the purveyor shall cease to operate site until corrections can be made to purveyor's system.
- F6. Prior to the issuance of a Certificate of Occupancy or building final, the developer/applicant shall be responsible for obtaining permits for the storage of combustible liquids, flammable liquids or any other hazardous materials from both the County Health department and Fire Prevention Bureau. (CFC 105.6.20, 105.7.2 and 105.6.16)
- F7. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Chief. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506)

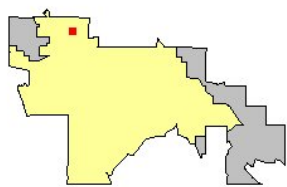
PA11-0031jd

Legend

-  Selected Features
-  Highways
-  Parcels
-  Roads
- Zoning**
-  Commercial
-  Industrial/Business Park
-  Large Lot Residential
-  Multi-family
-  Office
-  Open Space/Park
-  Planned Development
-  Public Facilities
-  Residential 2 Dwellings/Acre
-  Residential Agriculture 2 Dwellings/Acre
-  Suburban Residential
-  Waterbodies
- City Boundaries**
-  Calimesa
-  Moreno Valley
-  Perris
-  Riverside

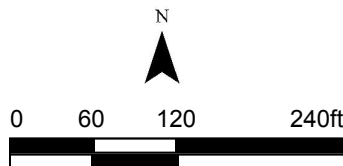


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City of Moreno Valley
 14177 Frederick St
 Moreno Valley, CA 92553

DISCLAIMER: The information shown on this map was compiled from the Riverside County GIS and the City of Moreno Valley GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses, or damages resulting from the use of this map.



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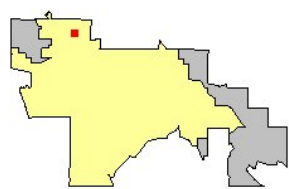
PA11-0031jd

Legend

-  Selected Features
-  Highways
-  Parcels
-  Roads
-  Waterbodies
- City Boundaries**
-  Calimesa
-  Moreno Valley
-  Perris
-  Riverside

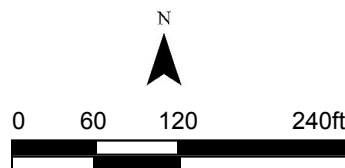


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City of Moreno Valley
14177 Frederick St
Moreno Valley, CA 92553

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ATTACHMENT 4

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verizon WIRELESS

YUCATAN 10271 HEACOCK ST. MORENO VALLEY, CA 92557 CONDITIONAL USE PERMIT



ARCHITECTS Inc.

1801 LAMPTON LANE
NORCO, CALIFORNIA 92860
PHONE: 951-371-2057
FAX: 951-371-5924

SITE NAME AND ADDRESS

YUCATAN

10271 HEACOCK ST.
MORENO VALLEY, CA 92557



15505 SAND CANYON AVENUE
BUILDING D, 1st. FLOOR
IRVINE, CA. 92618
Telephone (949) 286-7000

CURRENT ISSUE DATE:

9-20-11

ISSUED FOR:

ZONING REVIEW

APPROVALS

APPROVED BY:	INITIALS	DATE
LANDLORD		
LEASING		
ZONING		
RF		
E/P		
C.P.M.		

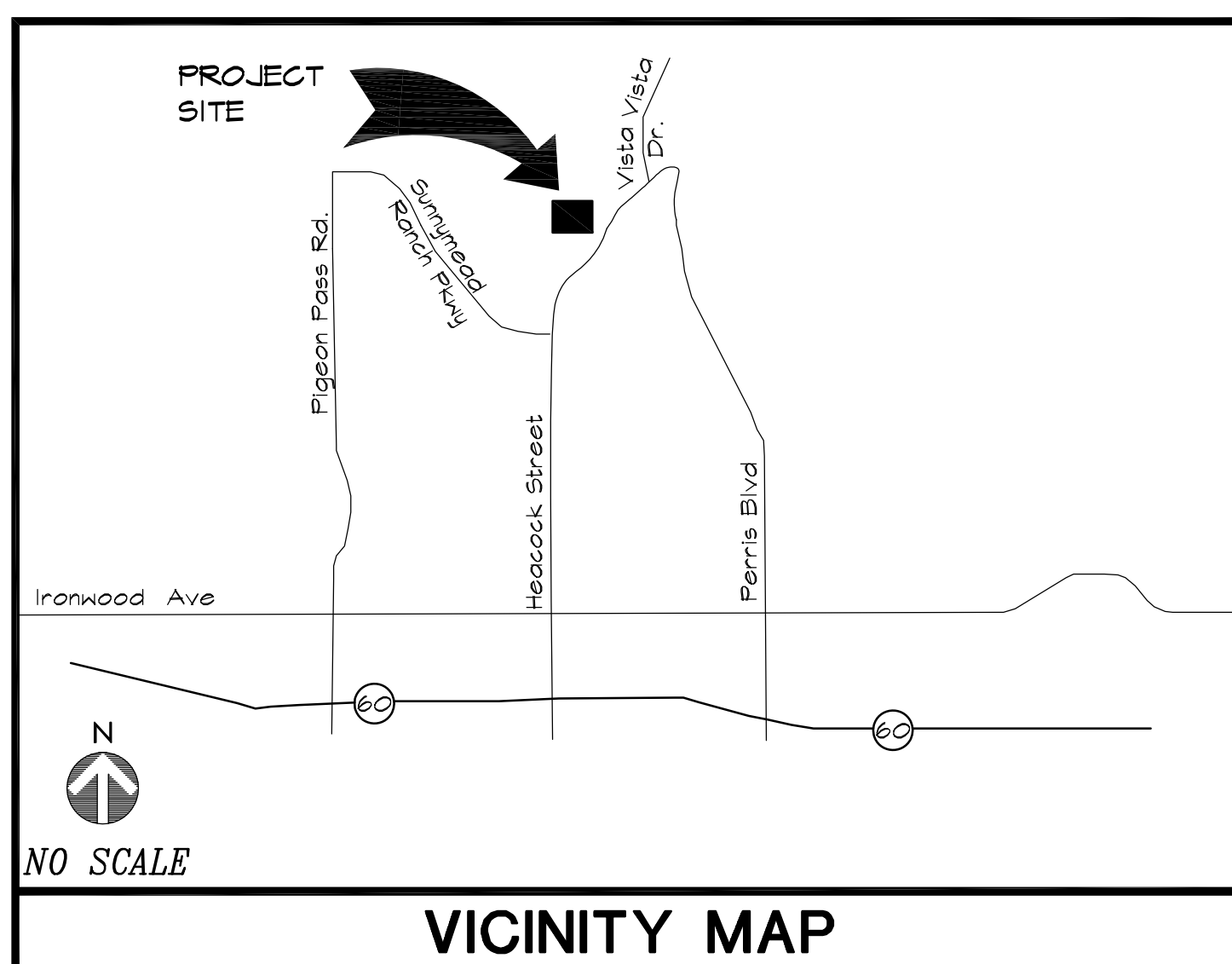
JOB NUMBER: 09028	DRAWN BY: P.K.
ISSUED FOR: CUP	
CHECKED BY: D.H.	DATE: 9-20-11

SHEET TITLE

**TITLE SHEET
PROJECT DATA
AND VICINTY MAP**

SHEET NUMBER

1 OF 5 ATTACHMENT 5 **T-1**



VICINITY MAP

SCOPE OF WORK:

THIS IS AN UNMANNED TELECOMMUNICATIONS FACILITY FOR VERIZON WIRELESS

WORK INCLUDES THE INSTALLATION OF VERIZON WIRELESS 11'-6"x16'-0"x10'-3" PREFABRICATED STATE APPROVED EQUIPMENT SHELTER, GPS ANTENNA MOUNTED ON SHELTER, A NEW ELECTRICAL SERVICE AND A NEW TELCO PANEL, ALL MOUNTED ON A NEW CONCRETE SLAB ON GRADE

INSTALLATION OF (3) SECTORS, (4) ANTENNAS PER SECTOR, (12) ANTENNAS TOTAL, (1) 4" MICROWAVE ANTENNA ALL MOUNTED ON A NEW 75'-0" HIGH MONOPINE

INSTALLATION OF COAXIAL CABLE FROM RADIO EQUIPMENT SHELTER TO EXISTING TOWERCO MONOPINE

PROJECT DATA:

APN: 474-500-019 and 474-500-020
ZONING: HR/R2 HILLSIDE RESIDENTIAL
EXISTING USE: MORENO VALLEY UNITED METHODIST CHURCH
PROPOSED USE: COMMUNICATIONS / CHURCH
JURISDICTION: CITY OF MORENO VALLEY

TOTAL VERIZON WIRELESS NET LEASE AREA: 800 SQ. FT.
TOTAL TOWERCO NET LEASE AREA: 180 SQ. FT.
TOTAL NET LEASE AREA: 980 SQ. FT.

OCCUPANCY TYPE B NON RATED, CONSTRUCTION TYPE II B NON RATED

UTILITY PURVEYORS:

SOUTHERN CALIFORNIA EDISON
P.O. BOX 800
RESEMEAD, CA 91770
1-800-990-7788

PROJECT GENERAL NOTES

COUNT	SHEET NO.	SHEET TITLE
1	T-1	TITLE SHEET, PROJECT DATA, AND VICINITY MAP
2	C-1	SITE SURVEY DATA AND EXISTING SITE PLAN
3	A-1	SITE PLAN
4	A-2	ENLARGED AREA PLAN
5	A-3	EXTERIOR ELEVATIONS

SHEET INDEX

OWNER:

MIKE RITTER
980 ROOSEVELT AVE STE. 210
IRVINE, CA 92620
CONTACT: TOWERCO - KEITH DRUCKER
PHONE: (760) 917-1123

ARCHITECT:

HC&D ARCHITECTS
1801 LAMPTON LANE
NORCO, CALIFORNIA 92860
CONTACT: DAN HINSON
(949) 371-2057

APPLICANT:

verizon WIRELESS

15505 SAND CANYON AVE.
BUILDING D 1ST FLOOR
IRVINE, CA 92618
PHONE: (949) 286-7000

APPLICANT REPRESENTATIVE:

REALCOM ASSOCIATES, LLC
18301 VON KARMAN, SUITE 910
IRVINE, CA 92612

SITE ACQ: RAHELEH GORGINFAR
(909) 997-2536

SURVEYOR:

M. PETYO & ASSOC. INC.
17982 SKY PARK CIRCLE,
SUITE B
IRVINE, CALIFORNIA 92614
(949) 250-0272

--159--
PROJECT TEAM

REVISIONS

INTER-OFFICE

△	DATE	ISSUED BY:	DESCRIPTION

COMMENTS:

APPROVAL AGENCIES

△	DATE	ISSUED BY:	DESCRIPTION
△	9/20/11	CITY	PLANNING COMMENTS

COMMENTS:

PROJECT TRACKING

APPLICABLE CODE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING
2010 CALIFORNIA BUILDING CODE (CBC)
HVAC
2010 CALIFORNIA MECHANICAL CODE (CMC)
PLUMBING
2010 CALIFORNIA PLUMBING CODE (CPC)
ELECTRIC
2010 CALIFORNIA ELECTRIC CODE (CEC)
FIRE
2010 CALIFORNIA BUILDING CODE
ENERGY
2008 CALIFORNIA ENERGY CODE (CEEC)

LOCAL BUILDING CODE(S)
CITY AND/OR COUNTY ORDINANCES/AMENDMENTS

PLANNING NOTES

1. THE PLACEMENT OF THE ARTIFICIAL BRANCHES SHALL NOT HAVE A SYMMETRICAL APPEARANCE, BUT RATHER SHELL BE MOUNTED IN A MANNER THAT GIVES A MORE NATURAL APPEARANCE TO THE MONOPINE. THE POLE PORTION OF THE MONOPINE SHALL HAVE A FINISH THE GIVES THE APPEARANCE OF PINE TREE TRUNK AND SHALL BE PLACED THE ENTIRE LENGTH OF THE MONOPINE. NO PAINTED POLES.
2. ALL ANTENNAS AND EQUIPMENT WILL BE COMPLETELY SCREENED BY THE ARTIFICIAL BRANCHES AND FOLIAGE OF THE MONOPINE INCLUDING PINE SLEEVES ON THE ANTENNAS.
3. THE MINIMUM STANDARD OF DESIGN FOR THE MONOPINE SHALL INCLUDE SUFFICIENT ARTIFICIAL BRANCHES AND FOLIAGE AS TO SCREEN THE ANTENNA ARRAYS FROM VIEW, I.E., THE LENGTH OF THE ARTIFICIAL BRANCHES SHALL EXCEED THAT OF THE ANTENNA ARRAYS AND THE DENSITY OF THE ARTIFICIAL FOLIAGE SHALL BE SUCH THAT THE VISIBILITY OF THE ANTENNA ARRAYS ARE SECONDARY TO THAT OF THE MONOPINE.
4. ALL ANCILLARY EQUIPMENT AND HARDWARE ATTACHED TO THE MONOPINE SHALL BE PAINTED TO MATCH THE MONOPINE, OR AS APPROVED BY THE COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR.
5. THERE SHALL BE NO SIGNAGE OR GRAPHICS INSTALLED ON THE MONOPINE, OR THE EQUIPMENT STORAGE FACILITY, EXCEPT INCIDENTAL SIGNS NECESSARY FOR THE SAFE OPERATION OF THE FACILITY.
6. ALL UTILITY, TELECOMMUNICATIONS EQUIPMENT OR ANY OTHER CABLE CONNECTIONS TO THE MONOPOLE AND TO THE LEASE AREA SHALL BE UNDERGROUND.
7. AT SUCH TIME AS THE FACILITY CEASES TO OPERATE, THE FACILITY SHALL BE REMOVED.

SITE NAME AND ADDRESS

YUCATAN

10271 HEACOCK ST.
MORENO VALLEY, CA 92557



15505 SAND CANYON AVENUE
BUILDING D, 1st. FLOOR
IRVINE, CA. 92618
Telephone (949) 286-7000

CURRENT ISSUE DATE:

9-20-11

ISSUED FOR:

ZONING REVIEW

APPROVALS

APPROVED BY:	INITIALS	DATE
LANDLORD		
LEASING		
ZONING		
RF		
E/P		
C.P.M.		

JOB NUMBER: 09028	DRAWN BY: N.M.
ISSUED FOR: CUP	
CHECKED BY: D.H.	DATE: 9-20-11

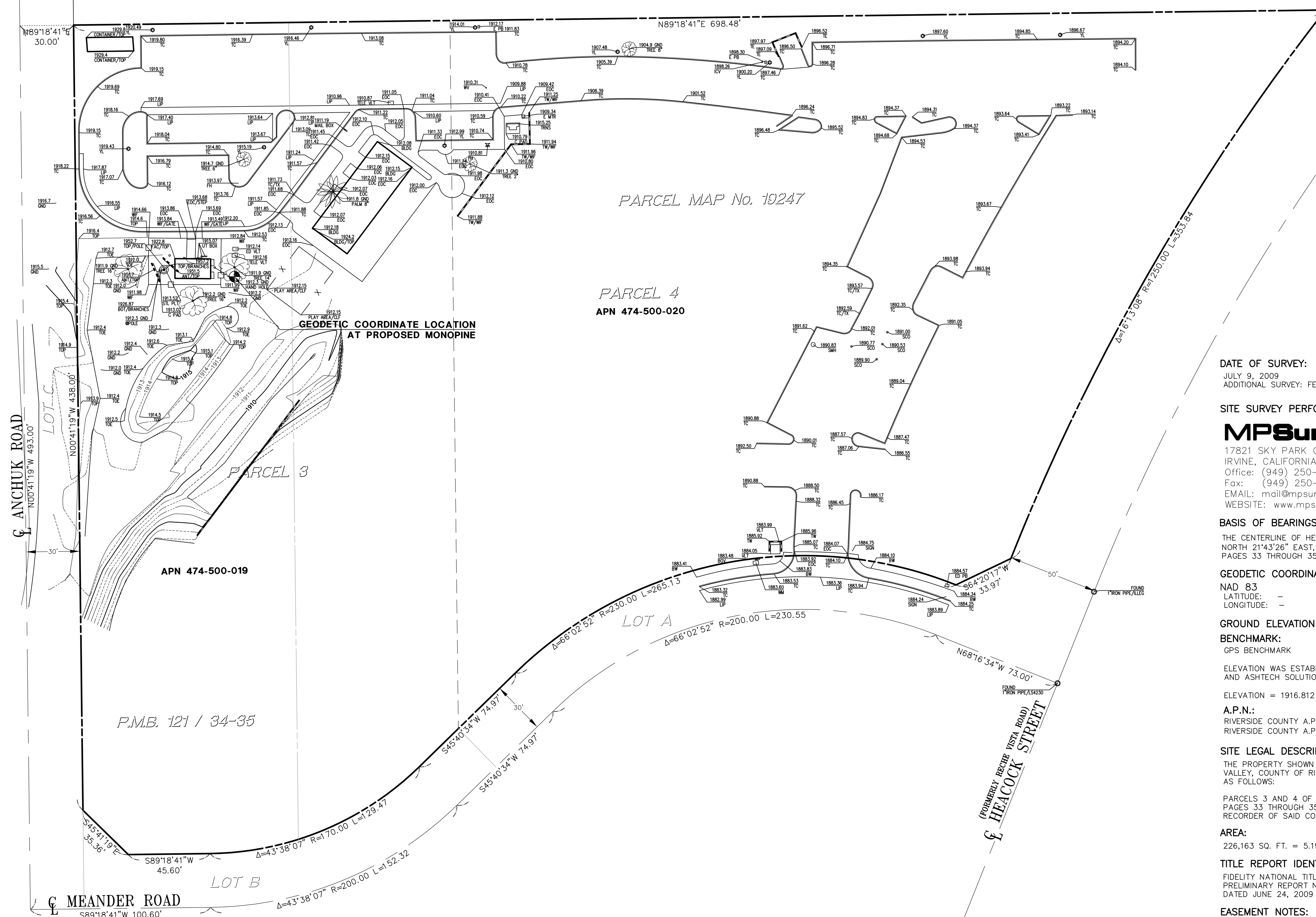
SHEET TITLE

**SITE SURVEY DATA
AND EXISTING SITE PLAN**

SHEET NUMBER

2 OF 5

C-1



DATE OF SURVEY:
JULY 9, 2009
ADDITIONAL SURVEY: FEBRUARY 12, 2010

SITE SURVEY PERFORMED BY:
MPSurveyors
17821 SKY PARK CIRCLE, SUITE L
IRVINE, CALIFORNIA 92614
Office: (949) 250-0272
Fax: (949) 250-0275
EMAIL: mail@mpsurveyors.com
WEBSITE: www.mpsurveyors.com

BASIS OF BEARINGS:
THE CENTERLINE OF HEACOCK STREET (FORMERLY RECHE VISTA ROAD), BEING NORTH 21°43'26" EAST, PER PARCEL MAP No. 19247, RECORDED IN BOOK 121, PAGES 33 THROUGH 35 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY.

GEODETIC COORDINATES @ PROPOSED MONOPINE: \odot
NAD 83
LATITUDE: -
LONGITUDE: -

GROUND ELEVATION @ PROPOSED MONOPINE: -
BENCHMARK: Elev. 1916.812 FEET
GPS BENCHMARK

ELEVATION WAS ESTABLISHED USING "PROMARK 2 ASYTECH" GPS RECEIVERS AND ASYTECH SOLUTIONS VERSION 2.7 SOFTWARE FOR POST-PROCESSING.
ELEVATION = 1916.812 FEET (NAVD88)

A.P.N.:
RIVERSIDE COUNTY A.P.N. 474-500-019
RIVERSIDE COUNTY A.P.N. 474-500-020

SITE LEGAL DESCRIPTION:
THE PROPERTY SHOWN HEREON IS LOCATED IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCELS 3 AND 4 OF PARCEL MAP No. 19247, AS PER MAP IN BOOK 121, PAGES 33 THROUGH 35, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA:
226,163 SQ. FT. = 5.191 ACRES

TITLE REPORT IDENTIFICATION:
FIDELITY NATIONAL TITLE COMPANY
PRELIMINARY REPORT No. 09-725123916-SB
DATED JUNE 24, 2009

EASEMENT NOTES:
THE EASEMENT SHOWN HEREON ARE PER FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT No. 09-725123916-SB, DATED JUNE 24, 2009.

4 AN EASEMENT FOR PUBLIC UTILITY PURPOSES, GRANTED TO CALIFORNIA WATER AND TELEPHONE COMPANY, RECORDED FEBRUARY 15, 1977 AS INSTRUMENT No. 25339, OF OFFICIAL RECORDS. (NOT PLOTTABLE FROM RECORD)

5 THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE MAP OF SAID TRACT, AFFECTS RECHE VISTA ROAD. (BLANKET IN NATURE)

14 LOT LINE ADJUSTMENT No. 863 AND CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 29, 1996 AS INSTRUMENT No. 96-071797 OF OFFICIAL RECORDS.

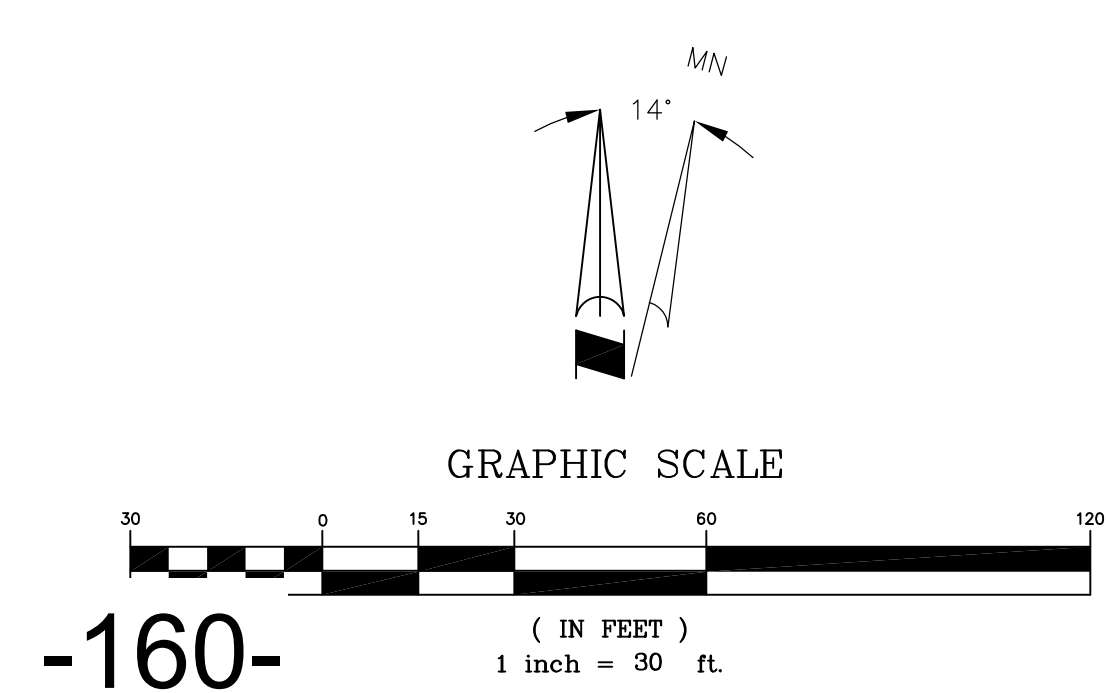
22 ANY EASEMENTS NOT DISCLOSED BY THOSE PUBLIC RECORDS WHICH MAY IMPART CONSTRUCTIVE NOTICE AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY AND WHICH ARE NOT VISIBLE AND APPARENT FROM AN INSPECTION OF THE SURFACE OF SAID LAND. (BLANKET IN NATURE)

THERE ARE NO PLOTTABLE EASEMENTS PER TITLE REPORT.

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	2/15/10	REVISED SITE LOC. AND COORDS.	FC

- LEGEND:**
- AC ASPHALT CONCRETE
 - ANT ANTENNA
 - BLDG BUILDING
 - BOT BOTTOM
 - BOV BLOW OFF VALVE
 - BW BACK OF WALK
 - C CONCRETE
 - CLF CHAIN LINK FENCE
 - E ELECTRICAL
 - ED EDISON
 - EOC EDGE OF CONCRETE
 - FAC FACILITY
 - FH FIRE HYDRANT
 - GND GROUND
 - ICV IRRIGATION CONTROL VALVE
 - MTR METER
 - PB PULL BOX
 - SCO SEWER CLEAN OUT
 - SMH SEWER MANHOLE
 - STL PLT STEEL PLATE
 - TC TOP OF CURB
 - TC/TX TOP OF CURB CUT
 - TE TRASH ENCLOSURE
 - TEL TELEPHONE
 - TRNS TRANSFORMER
 - TW TOP OF WALL
 - UT UTILITY
 - VLT VAULT
 - WIF WROUGHT IRON FENCE
 - WM WATER METER
 - WV WATER VALVE
 - YL YARD LIGHT



SITE NAME AND ADDRESS

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MORENO VALLEY, CA 92557



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BUILDING D, 1st. FLOOR
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Telephone (949) 286-7000

CURRENT ISSUE DATE:

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ZONING REVIEW

APPROVALS

APPROVED BY:	INITIALS	DATE
LANDLORD		
LEASING		
ZONING		
RF		
E/P		
C.P.M.		

JOB NUMBER: 09028	DRAWN BY: P.K.
ISSUED FOR: CUP	
CHECKED BY: D.H.	DATE: 9-20-11

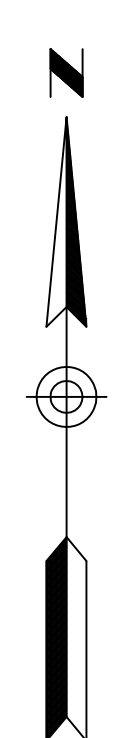
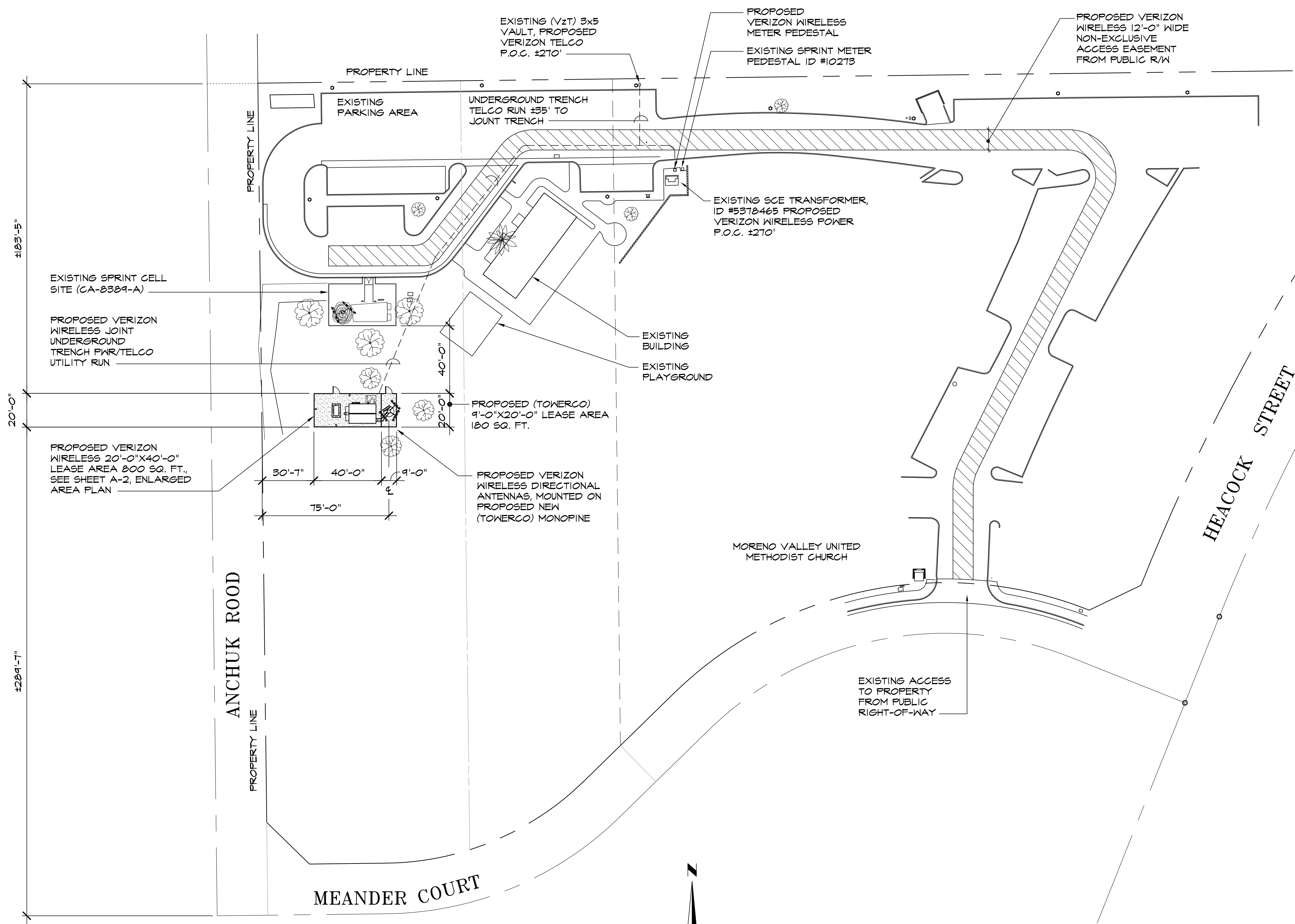
SHEET TITLE

SITE PLAN

SHEET NUMBER

3 OF 5

A-1



PARTIAL SITE PLAN
1" = 30'

SITE NAME AND ADDRESS

YUCATAN
 10271 HEACOCK ST.
 MORENO VALLEY, CA 92557



CURRENT ISSUE DATE:

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APPROVALS

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C.P.M.		

JOB NUMBER: 09028	DRAWN BY: P.K.
ISSUED FOR: CUP	
CHECKED BY: D.H.	DATE: 9-20-11

SHEET TITLE

ENLARGED AREA PLAN AND ANTENNA AZIMUTH CONFIGURATION

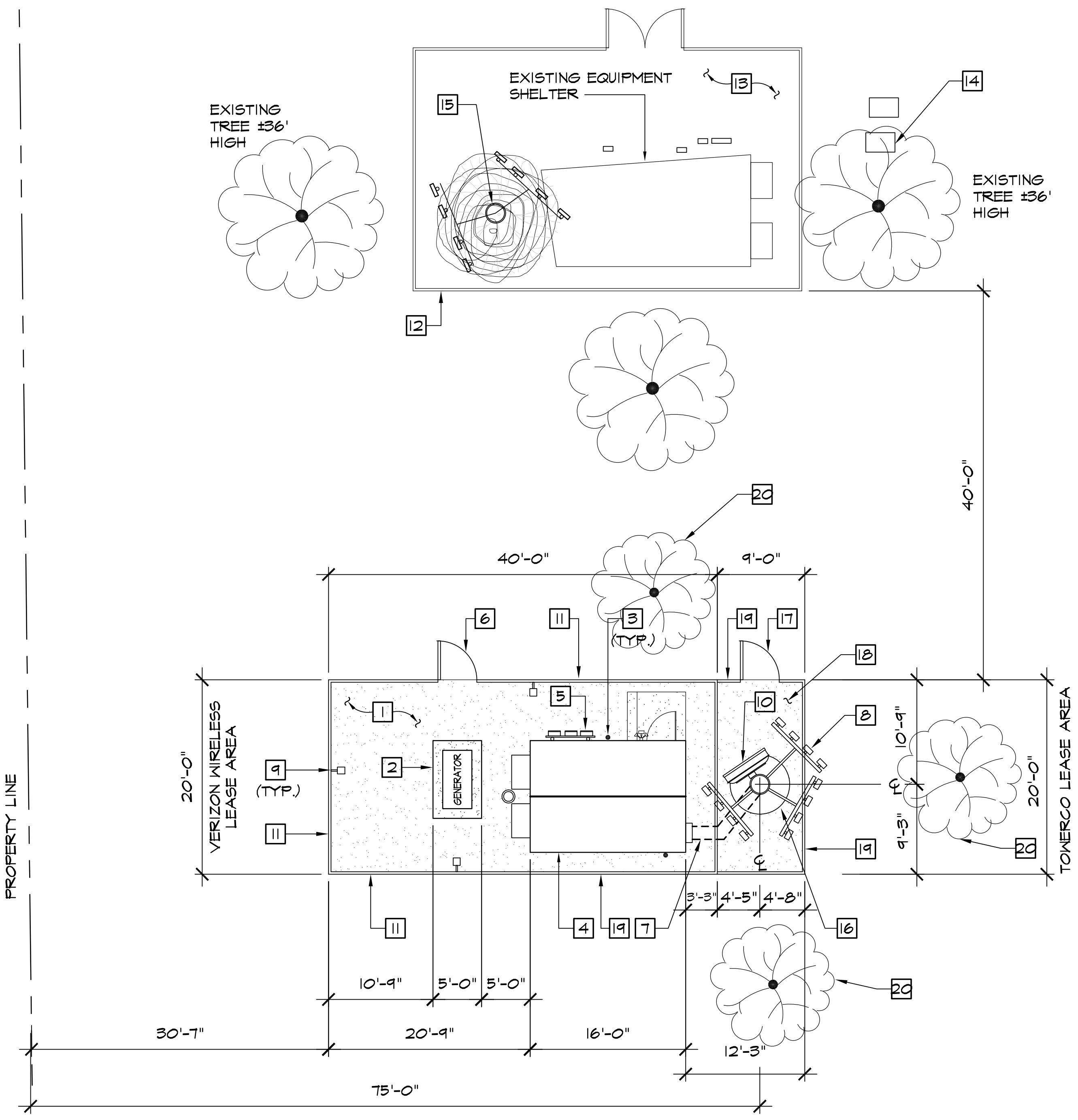
SHEET NUMBER

4 OF 5

A-2

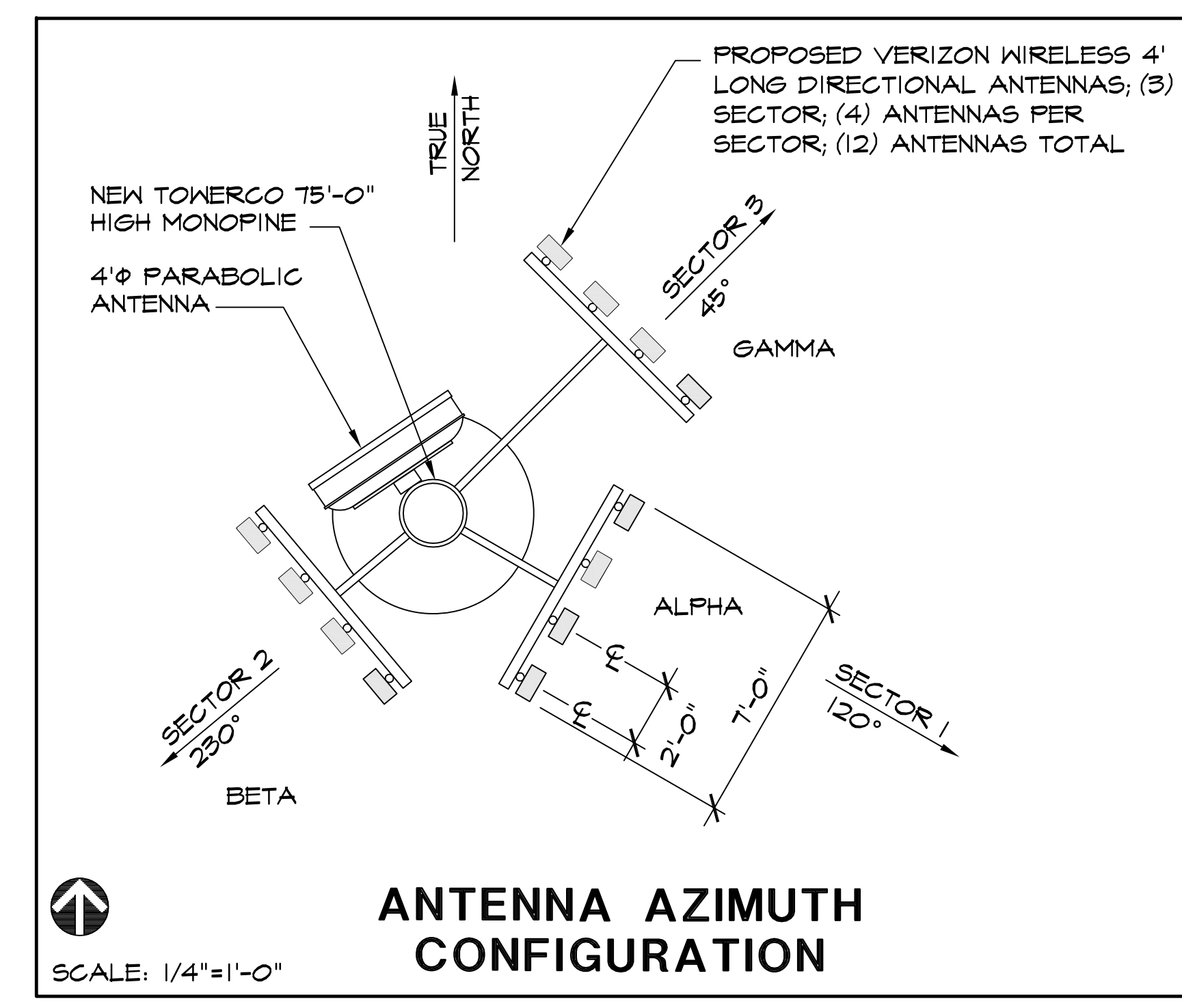
GENERAL KEY NOTES

- 1 PROPOSED VERIZON WIRELESS LEASE AREA 20'-0"x40'-0", 800 SQ. FT.
- 2 PROPOSED VERIZON WIRELESS 5'-0"x8'-0" EMERGENCY GENERATOR PAD FOR PERMANENT GENERATOR
- 3 PROPOSED VERIZON WIRELESS GPS ANTENNAS MOUNTED ON EQUIPMENT SHELTER, TYPICAL OF (2)
- 4 PROPOSED VERIZON WIRELESS 11'-6"x16'-0"x10'-3" PRE-FAB 1 HOUR FIRE RATED STATE APPROVED RADIO EQUIPMENT SHELTER
- 5 PROPOSED VERIZON WIRELESS "H" FRAME
- 6 PROPOSED VERIZON WIRELESS 4'-0" WIDE WROUGHT IRON GATE
- 7 PROPOSED VERIZON WIRELESS COAX CABLE TRAY BELOW GRADE FROM PROPOSED 75'-0" HIGH MONOPINE TO EQUIPMENT SHELTER
- 8 PROPOSED VERIZON WIRELESS DIRECTIONAL ANTENNAS; (3) SECTOR; (4) ANTENNAS PER SECTOR; (12) ANTENNAS TOTAL, MOUNTED ON PROPOSED TOWERCO 75'-0" HIGH MONOPINE
- 9 PROPOSED VERIZON WIRELESS SECURITY LIGHT WITH TIMER SWITCH; LIGHTING SHALL BE HOODED AND DIRECTED SO AS NOT TO SHINE DIRECTLY UPON ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY, TYPICAL OF (3)
- 10 PROPOSED VERIZON WIRELESS 4'φ PARABOLIC ANTENNA MOUNTED ON PROPOSED 75'-0" HIGH MONOPINE
- 11 PROPOSED VERIZON WIRELESS 8'-0" HIGH WROUGHT IRON FENCE TO MATCH EXISTING ADJACENT CELL SITE
- 12 EXISTING WROUGHT IRON FENCE
- 13 EXISTING SPRINT CELL SITE (CA-8389-A)
- 14 EXISTING HAND HOLE (TELCO), PROPOSED VERIZON WIRELESS TELCO P.O.C.
- 15 EXISTING TOWERCO 45'-0" HIGH STEEL MONOPINE
- 16 PROPOSED NEW TOWERCO 75'-0" HIGH MONOPINE
- 17 PROPOSED TOWERCO 4'-0" WIDE WROUGHT IRON GATE
- 18 PROPOSED TOWERCO 9'-0"x20'-0" LEASE AREA 180 SQ. FT.
- 19 PROPOSED TOWERCO 8'-0" HIGH WROUGHT IRON FENCE TO MATCH EXISTING ADJACENT CELL SITE
- 20 PROPOSED NEW LIVE PINE TREES, MINIMUM 15'-0" IN HEIGHT, TYPICAL OF 3.

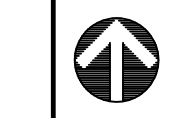


ENLARGED AREA PLAN

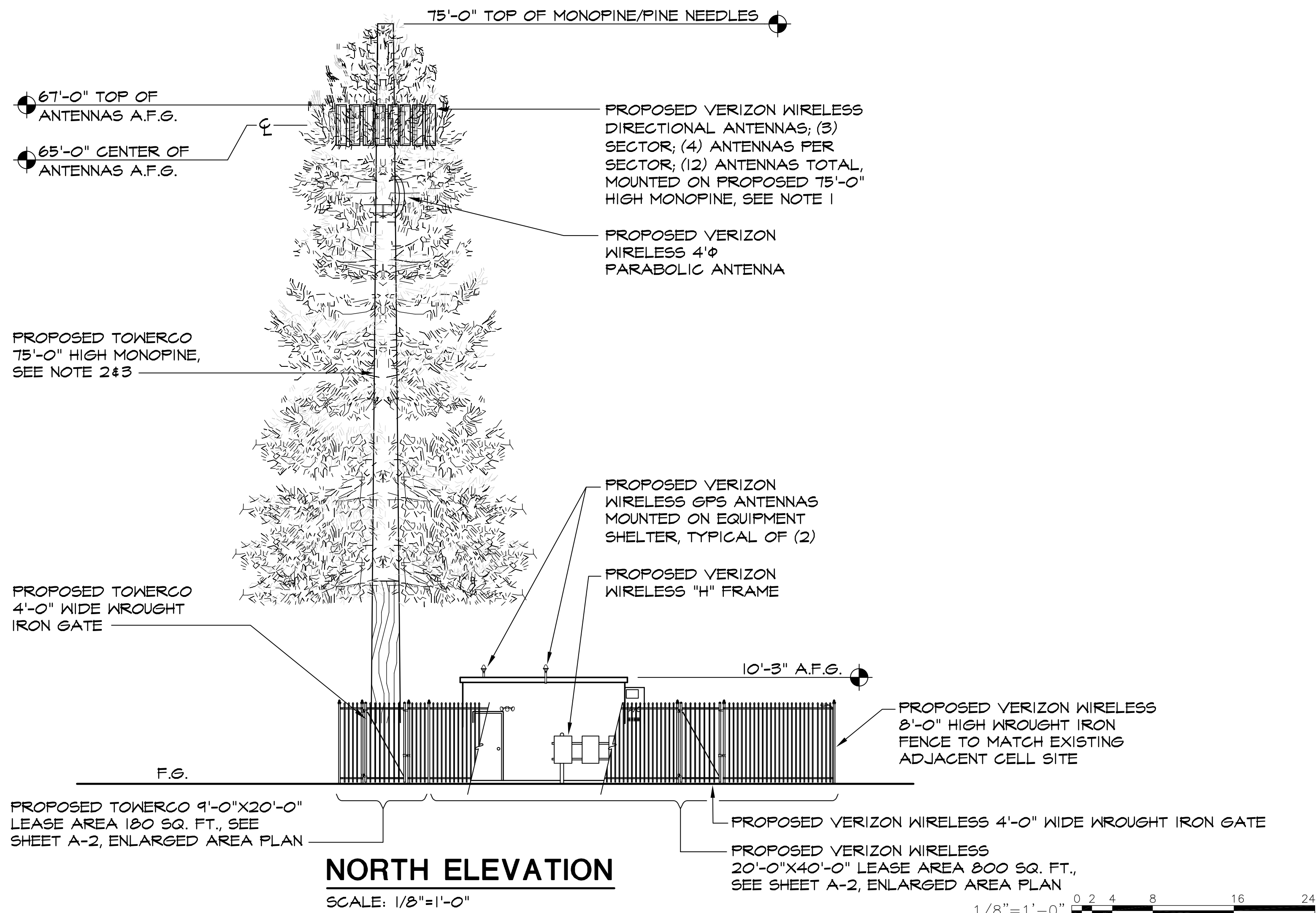
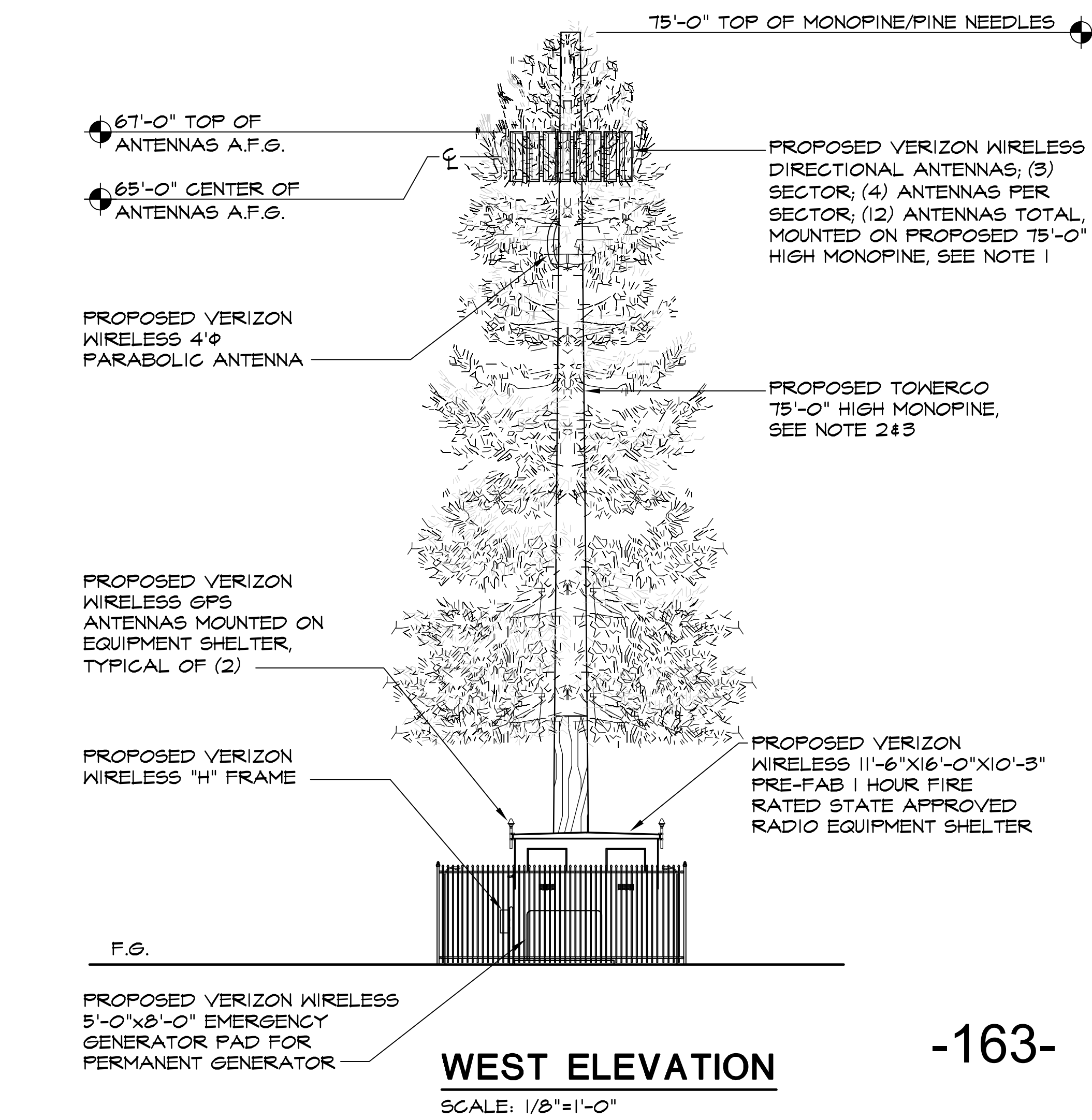
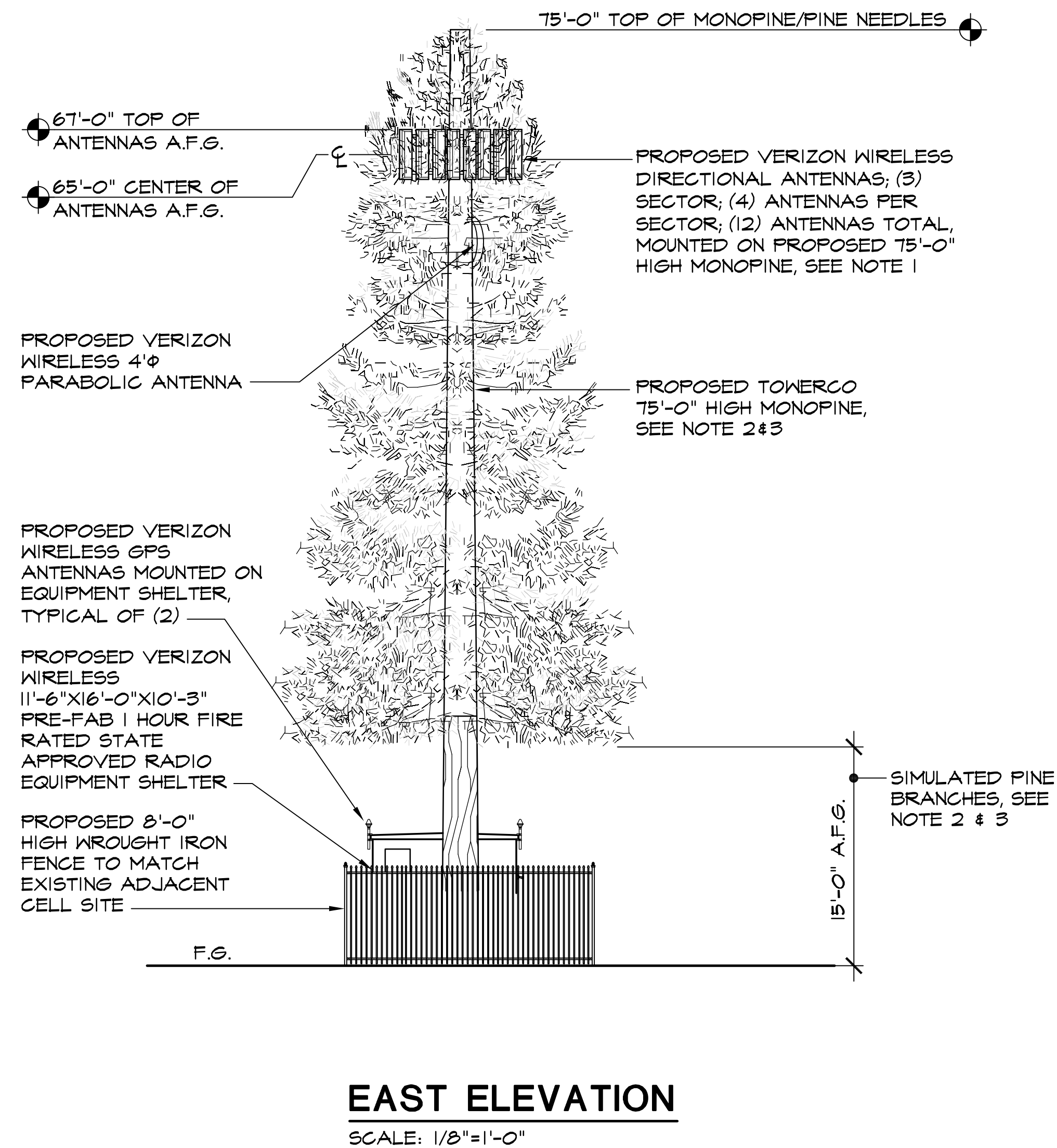
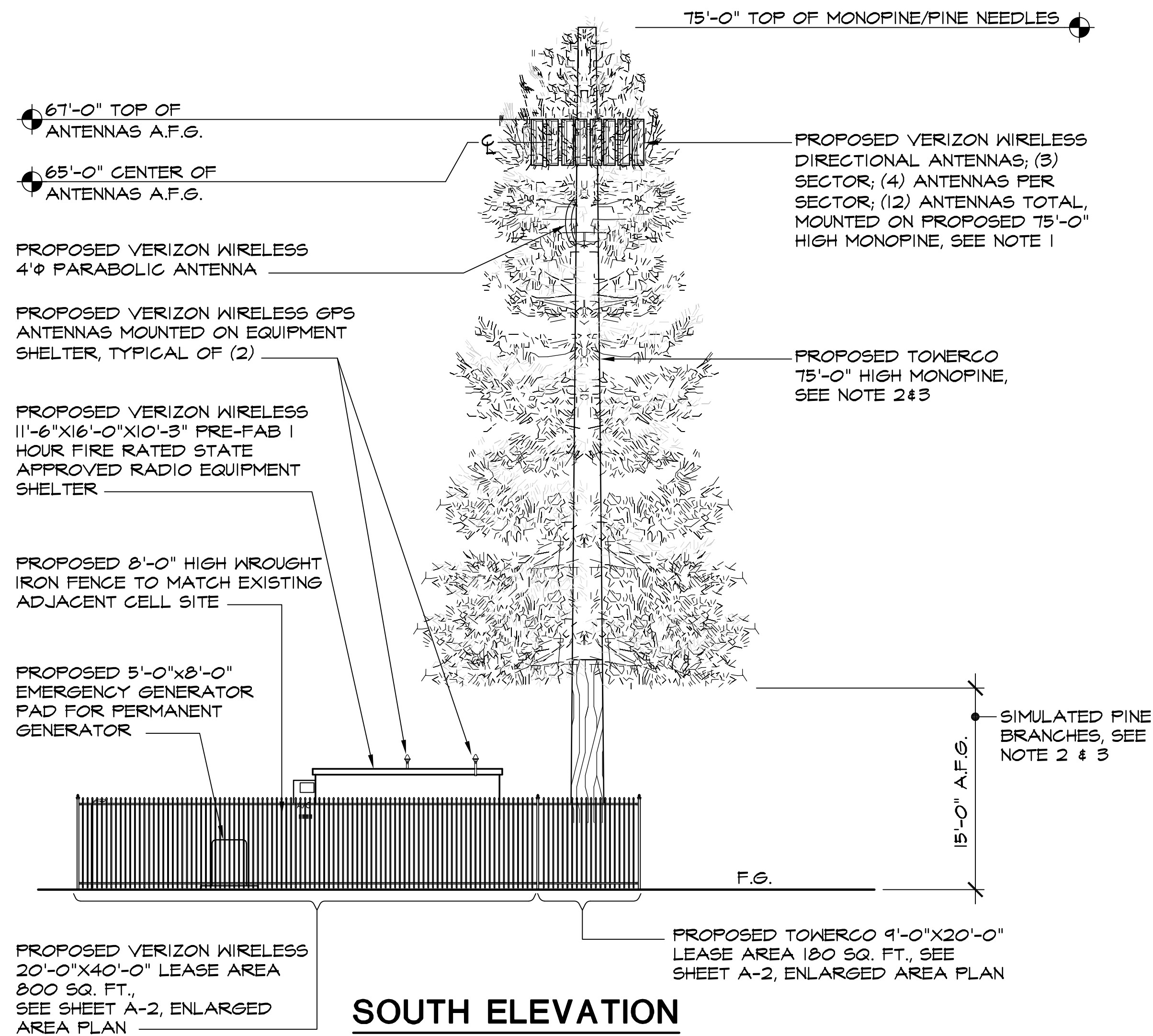
1/8" = 1'-0"



ANTENNA AZIMUTH CONFIGURATION



SCALE: 1/4"=1'-0"



MONOPINE KEY NOTES

1. THE ANTENNAS AND ALL SUPPORT STRUCTURES SHALL BE PAINTED GREEN TO MATCH THE COLOR OF THE PINE NEEDLES. ANTENNAS SHALL ALSO BE COVERED W/ FAUX PINE SLEEVES.
2. THE STEEL MONOPOLE SHALL HAVE SIMULATED PINE BARK TO EMULATE THE APPEARANCE OF A PINE TREE, STARTING AT FINISH GRADE UP TO TOP OF POLE. THE PINE BRANCHES WILL START AT 15'-0" ABOVE FINISH GRADE AND CONTINUE TO TOP OF POLE.
3. THE PINE BRANCHES SHALL CONCEAL THE ANTENNAS AND SUPPORT STRUCTURES. BRANCHES SHALL EXTEND THE FULL HEIGHT OF THE POLE AND SHALL BE MOUNTED SO THAT NO GAPS ARE APPARENT IN THE BRANCHES OR FOILAGE; BRANCHES SHALL BE MOUNTED EVERY 2 TO 3 FEET AND EXTEND A MINIMUM OF 2 FEET BEYOND THE ANTENNAS.
4. THE MONOPOLE/MONOPINE SHALL NOT HAVE ANY PORTIONS OF IT VISIBLE FROM THE GROUND THAT ARE NOT PAINTED OR TREATED WITH NATURAL COLOR. NO SHINY OR BRIGHT COLOR SHALL BE EMPLOYED OR BE VISIBLE FROM THE GROUND

ABBREVIATIONS:

- A.F.G. ABOVE FINISH GRADE
- F.G. FINISH GRADE



ARCHITECTS Inc.

1801 LAMPTON LANE
NORCO, CALIFORNIA 92860
PHONE: 951-371-2057
FAX: 951-371-5924

SITE NAME AND ADDRESS

YUCATAN

10271 HEACOCK ST.
MORENO VALLEY, CA 92557



15505 SAND CANYON AVENUE
BUILDING D, 1st. FLOOR
IRVINE, CA. 92618
Telephone (949) 286-7000

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APPROVALS

APPROVED BY:	INITIALS	DATE
LANDLORD		
LEASING		
ZONING		
RF		
E/P		
C.P.M.		

JOB NUMBER: 09028	DRAWN BY: P.K.
ISSUED FOR: CUP	DATE: 9-20-11
CHECKED BY: D.H.	

SHEET TITLE

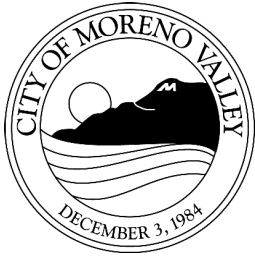
EXTERIOR ELEVATIONS

SHEET NUMBER

5 OF 5

A-3

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PLANNING COMMISSION STAFF REPORT

Case: PA11-0008 – Conditional Use Permit

Date: October 13, 2011

Applicant: T-Mobile West Corporation

Representative: KDC Architects, Engineers, PC

Location: West side of Perris Blvd. in public right-of-way and approximately 400 feet south of Manzanita Ave.

Proposal: Conditional Use Permit for a new wireless communications facility to be located within the public right-of-way. The application proposes to replace an existing street light pole with a larger diameter pole and mount panel antennas inside a metal radome or sheath at the top of the pole. Ground mounted equipment is proposed to be placed underground in a vault in the right-of-way in proximity to the pole. The facility also requires the extension of approximately 780 feet of telecommunication lines and power lines from Manzanita Avenue south to the proposed pole and vault location.

Redevelopment Area: No

Recommendation: Approval

SUMMARY

The proposal is to install a T-Mobile telecommunications facility on a street light within the public right-of-way and conceal the support equipment in an underground vault in the parkway.

PROJECT DESCRIPTION

Project

On January 20, 2011, T-Mobile West Corporation submitted an application for a Conditional Use Permit for the installation of a wireless communications facility in the public right-of-way on a street light located on the west side of Perris Boulevard and south of Manzanita Avenue.

The application proposes to replace an existing street light pole (Pole #040-01244) that has a diameter of 7 inches with a larger 11.8 inch diameter pole to accommodate the additional equipment and wiring required for the antennas. The existing pole is 29'6" tall and the replacement pole will also be 29'6" tall with a total height of 35' including the radome on top of the pole. The new pole will include panel antennas concealed within the radome cover at the top of the light standard. Support equipment will be placed in a nearby underground equipment vault.

The applicant proposes to shift the new pole 20 feet to the north to avoid removing an existing tree to accommodate the vault for the underground equipment. The area required for the vault is approximately 35 square feet and is located in the parkway between the curb and the sidewalk on the west side of Perris Boulevard, approximately 780 feet south of Manzanita Avenue. All utility and equipment connections to the vault and to the street light pole will be underground.

The project has been conditioned to enter into an agreement with the City of Moreno Valley to provide compensation to the City for the use of the right-of-way. The agreement will be similar to on-going agreements with other telecommunication providers who have placed equipment and antennas in City parks.

Site/Surrounding Area

The project as proposed would be located in the Sunnymead Ranch Specific, within a portion of the public right-of-way on the west side of Perris Boulevard and approximately 780 feet south of Manzanita Avenue. The project site is in a residential district and is zoned SP 168 R1.

This portion of the public right-of-way is located within an approximately 36 foot wide parkway that is maintained by the Sunnymead Ranch Home Owners Association. The parkway separates the rear yards of adjacent tract homes from Perris Boulevard.

The parkway includes curb separated curvilinear sidewalk with grass and trees along with a planter with shrubs and trees adjacent to a block wall at the rear of the adjacent homes. The proposed installation would be sited in a grassy area located between the curb and the sidewalk.

Adjacent land uses are tract homes and Perris Boulevard. Overall, the proposed project is compatible with the current commercial zone and land use designation and the existing uses on-site as well as adjacent and surrounding land uses.

Access/Parking

The project site will be accessed once a month for routine maintenance. Access to the pole for maintenance will be the same as when street lights and utility poles are maintained when accessed from the public right-of-way. No additional improvements are required for access or parking purposes.

Design/Landscaping

As stated previously, the proposed changes include the replacement of an existing street light with a larger diameter street light pole for the co-location of panel antennas and the installation of an underground vault within a parkway area maintained by the Sunnymead Ranch Home Owners Association.

The antennas will be screened from view by a radome or sheath and the equipment will be placed underground. The applicant has been conditioned to replace all landscape and irrigation that is disturbed through the installation of the facility.

The project as designed and conditioned meets and exceeds the development standards of the R1 district and section 9.09.040 of the Municipal Code.

REVIEW PROCESS

Pursuant to Municipal Code Section 9.09.040, communications facilities, which are located within a residential district, require a conditional use permit to be approved by the Planning Commission. This section of the Municipal Code also encourages the installation of communications facilities on existing structures. The proposed design of this project meets and exceeds the requirements of the Municipal Code.

This project was reviewed by City staff with recommendations to re-design the appearance of above ground meters and provide screening. The applicant was able to coordinate with Southern California Edison and re-design the project to eliminate all above ground meters. The only visible equipment within the parkway/right-of-way are two vents and the hatch/entry to the below ground vault.

The design changes to the parkway were also submitted to the Sunnymead Ranch Home Owners Association for review and comment. The only stated concerns from the HOA were related to concerns about maintenance of the parkway if the City required screening plants such as shrubs to be added to the installation. Since the applicant was able to remove above ground meters, there was no need for the screening shrubs and consequently no further concerns from the HOA.

All City required changes were made to the plans by the applicant, and based on the revised plans and the conditions of approval; staff is recommending approval of the project.

Planning Commission Staff Report

Page 4

ENVIRONMENTAL

Planning staff has reviewed this project and determined that this item will not have a significant effect on the environment and is therefore exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 1 Categorical Exemption, as an Existing Facility, per CEQA Guidelines Section 15301.

NOTIFICATION

Public notice was sent to all property owners of record within 300' of the project and the Sunnymead Homeowners Association. The public hearing notice for this project was also posted on the project site and published in the local newspaper.

REVIEW AGENCY COMMENTS

The project application and plans were routed to all pertinent outside agencies but the City did not receive any responses.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

APPROVE Resolution No. 2011-30 and thereby:

1. **RECOGNIZE** that this item is exempt from the provisions of the California Environmental Quality Act (CEQA), as an existing structure, Class 1 Categorical Exemption, CEQA Guidelines, Section 15301; and,
2. **APPROVE** PA11-0008 (Conditional Use Permit), subject to the attached conditions of approval included as Exhibit A.

Prepared by:

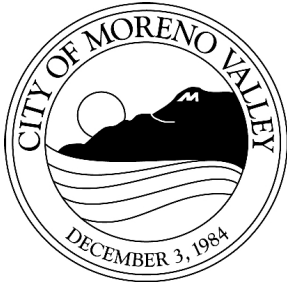
Jeff Bradshaw
Associate Planner

Approved by:

John C. Terell, AICP
Planning Official

ATTACHMENTS:

1. Public Hearing Notice
2. Planning Commission Resolution No. 2011-30
3. Aerial Photograph 1
4. Aerial Photograph 2
5. Project Plans
6. Site Photos
7. Sample Photos
8. Photosimulations
9. Coverage Maps
10. Letter from applicant to HOA
11. Open House Invitation



Notice of PUBLIC HEARING

This may affect your property. Please read.

Notice is hereby given that a Public Hearing will be held by the Planning Commission of the City of Moreno Valley on the following item(s):

CASE: PA11-0008 (Conditional Use Permit)

APPLICANT: T-Mobile West Corporation

OWNER: City of Moreno Valley
Southern California Edison

REPRESENTATIVE: KDC Architects, Engineers, P.C.

LOCATION: West side of Perris Blvd. in public right-of-way and approximately 400 feet south of Manzanita Ave.

PROPOSAL: Conditional Use Permit for a new wireless communications facility to be located within the public right-of-way. The application proposes to replace an existing street light pole with a larger diameter pole and mount panel antennas inside a metal radome or sheath at the top of the pole. Ground mounted equipment is proposed to be placed underground in a vault in the right-of-way in proximity to the pole. The facility also requires the extension of approximately 780 feet of telecommunication lines and power lines from Manzanita south to the proposed pole and vault location.

ENVIRONMENTAL DETERMINATION: Class 1 Categorical Exemption, as an Existing Facility, per CEQA Guidelines Section 15301.

COUNCIL DISTRICT: 2

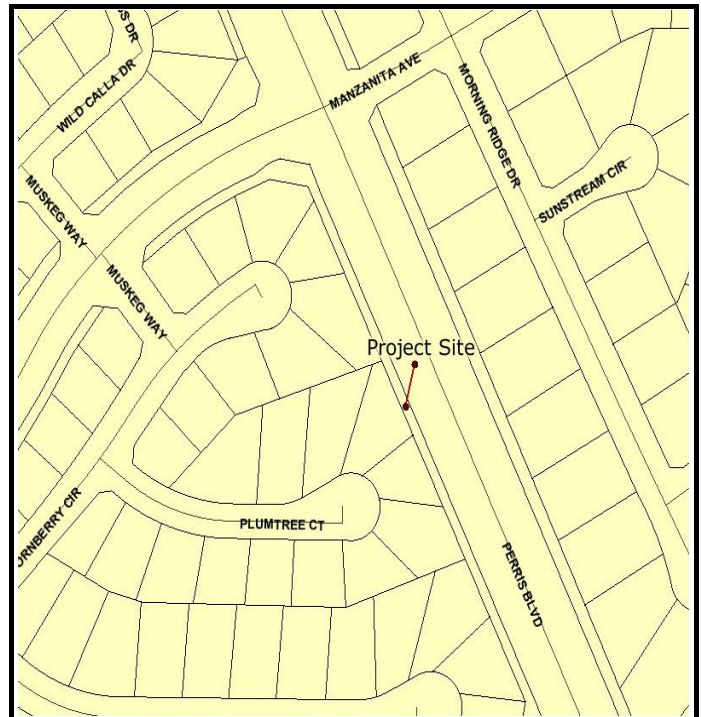
STAFF RECOMMENDATION: Approval

Any person interested in any listed proposal can contact the Community & Economic Development Department, Planning Division, at 14177 Frederick St., Moreno Valley, California, during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday), or may telephone (951) 413-3206 for further information. The associated documents will be available for public inspection at the above address.

In the case of Public Hearing items, any person may also appear and be heard in support of or opposition to the project or recommendation of adoption of the Environmental Determination at the time of the Hearing.

The Planning Commission, at the Hearing or during deliberations, could approve changes or alternatives to the proposal.

If you challenge any of these items in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the Public Hearing.



LOCATION N ↑

PLANNING COMMISSION HEARING

City Council Chamber, City Hall
14177 Frederick Street
Moreno Valley, Calif. 92553

DATE AND TIME: October 13, 2011 at 7 PM

CONTACT PLANNER: Jeff Bradshaw

PHONE: (951) 413-3224

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PLANNING COMMISSION RESOLUTION NO. 2011-30

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING CONDITIONAL USE PERMIT PA11-0008 FOR A WIRELESS COMMUNICATIONS FACILITY TO BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ON THE WEST SIDE OF PERRIS BOULEVARD AND APPROXIMATELY 780 FEET SOUTH OF MANZANITA AVENUE.

WHEREAS, T-Mobile West Corporation, has filed an application for the approval of Conditional Use Permit PA11-0008 for the replacement of an existing street light pole with a larger diameter pole in order to mount panel antennas inside a metal radome or sheath at the top of the pole. Ground mounted equipment is proposed to be placed underground in a vault in the right-of-way in proximity to the pole. The facility also requires the extension of approximately 780 feet of telecommunication lines and power lines from Manzanita south to the proposed pole and vault location, as described in the title of this Resolution.

WHEREAS, on October 13, 2011, the Planning Commission of the City of Moreno Valley held a meeting to consider the application.

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinances;

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.

ATTACHMENT 2

B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on October 13, 2011, including written and oral staff reports, and the record from the public hearing, this Planning Commission hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The proposed telecommunications facility is consistent with General Plan policies allowing communication facilities within the City limits. As designed and conditioned, the proposed telecommunications facility will be compatible with the goals, objectives, policies, and programs established within the General Plan and future developments, which may occur within the immediate area.

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

FACT: As designed and conditioned, the proposed telecommunications facility will comply with the development standards for the R1 residential district in SP 168 and Municipal Code Section 9.09.040 that provides standards for commercial telecommunication facilities and allows for such facilities in residential districts subject to approval of a conditional use permit by the Planning Commission. The facility proposes installation of the antennas on an existing pole and does not require the installation of a structure.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: Planning staff has reviewed this project and determined that this item will not have a significant effect on the environment and is therefore exempt from the provisions of the California Environmental Quality Act (CEQA), as an existing structure, Class 1 Categorical Exemption, CEQA Guidelines, Section 15301.

4. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

FACT: The project as proposed would be located in a portion of the public right-of-way on the west side of Perris Boulevard which is

currently developed as parkway. The site is located within the R1 district of the Sunnymead Ranch Specific Plan. The applicant has proposed to utilize an existing structure and screen the antennas from view by placing them inside a cover. All related ground mounted equipment will be placed underground in a vault.

Adjacent land uses include tract homes, with some open space to the southeast and the Sugar Hill Elementary School to the northwest on Sunnymead Ranch.

Overall, the proposed project is compatible with the current commercial zone and land use designation and the existing uses on-site as well as adjacent and surrounding land uses.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2011-30 recognizing that this item will not have a significant effect on the environment and is therefore exempt from the provisions of the California Environmental Quality Act (CEQA), as an existing structure, Class 1 Categorical Exemption, CEQA Guidelines, Section 15301, and approving Conditional Use Permit PA11-0008, subject to the attached conditions of approval included as Exhibit A.

APPROVED this 13th day of October, 2011.

Ray L. Baker
Chair, Planning Commission

ATTEST:

John C. Terrell, Planning Official
Secretary to the Planning Commission

APPROVED AS TO FORM:

City Attorney

Attached: Conditions of Approval

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**CITY OF MORENO VALLEY
CONDITIONS OF APPROVAL FOR PA11-0008
CONDITIONAL USE PERMIT FOR A WIRELESS COMMUNICATIONS FACILITY
CO-LOCATION ON STREET LIGHT POLE #4002690E
WEST SIDE OF PERRIS BLVD. AND 780 SOUTH OF MANZANITA AVE.**

**APPROVAL DATE:
EXPIRATION DATE:**

- Planning (P), including School District (S), Post Office (PO), Building (B)**
- Fire Prevention Bureau (F)**
- Public Works, Land Development (LD)**
- Public Works, Special Districts (SD)**
- Public Works – Transportation Engineering (TE)**
- Parks & Community Services (PCS)**
- Police (PD)**
- Moreno Valley Utilities**
- Other (Specify or Delete)**

Note: All Special conditions are in bold lettering. All other conditions are standard to all or most development projects.

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT

Planning Division

For questions regarding any Planning condition of approval, please contact the Planning Division at (951) 413-3206.

P1. Conditional Use Permit PA11-0008 is approved for a new wireless communications facility to be located within the public right-of-way. The application proposes to replace an existing street light pole with a larger diameter pole and mount panel antennas inside a metal radome or sheath at the top of the pole. Ground mounted equipment is proposed to be placed underground in a vault in the right-of-way in proximity to the pole. The facility also requires the extension of approximately 780 feet of telecommunication lines and power lines from Manzanita Avenue south to the proposed pole and vault location. A change or modification shall require separate approval. For a Conditional Use Permit, violation may result in revocation in the case of a Conditional Use Permit.

Timing Mechanisms for Conditions (see abbreviation at beginning of affected condition):

R - Map Recordation	GP - Grading Permits	CO - Certificate of Occupancy or building final
WP - Water Improvement Plans	BP - Building Permits	P - Any permit

Governing Document (see abbreviation at the end of the affected condition):

GP - General Plan	MC - Municipal Code	CEQA - California Environmental Quality Act
Ord - Ordinance	DG - Design Guidelines	Ldscp - Landscape Development Guidelines and Specs
Res - Resolution	UFC - Uniform Fire Code	UBC - Uniform Building Code
	SBM - Subdivision Map	

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 2 OF 8**

- P2. All connections (utility, coaxial, etc.) shall be undergrounded.**
- P3. The antennas shall be completely screened by the radome.**
- P4. There shall be no signage or graphics affixed to the equipment or pole except for public safety warnings.**
- P5. This facility shall be designed to allow/accommodate the co-location of additional telecommunications equipment.**
- P6. A generator is not approved with this application and will require a separate application and approval.**
- P7. The new street light shall match the existing street light type, finish, color, mounting height and wattage.**
- P8. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
- P9. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
- P10. This project is located within Specific Plan 168. The provisions of the specific plan, the design manual, their subsequent amendments, and the Conditions of Approval shall prevail unless modified herein. (MC 9.13)
- P11. The site shall be developed in accordance with the approved plans on file in the Community & Economic Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
- P12. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
- P13. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)

CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 3 OF 8

- P14. (GP) All site plans, grading plans, and landscape and irrigation plans, shall be coordinated for consistency with this approval.
- P15. (GP) If potential historic, archaeological, or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area will cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be implemented as deemed appropriate by the Community & Economic Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be contacted within a reasonable timeframe to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).

Encroachment Permit

- P16. Prior to issuance of an encroachment permit, the applicant shall obtain a Land Use Clearance stamp from the Community & Development Department – Planning Division on the final plan check set.
- P17. Prior to issuance of an encroachment permit, the applicant shall provide replacement landscape and irrigation plans.
- P18. Prior to issuance of an encroachment permit, the applicant shall provide documentation from the Sunnymead Ranch Home Owners Association approving the replacement landscape and irrigation plans.
- P19. Upon completion of construction, the applicant shall contact the Planning Division for a final inspection. The facility shall be installed per plan and to the satisfaction of the Community and Economic Development Director.
- P20. Upon completion of construction, all disturbed landscape and irrigation shall be replaced. The applicant shall provide documentation from the Sunnymead Ranch Home Owners Association approving the replacement landscape and irrigation.

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 4 OF 8**

FIRE PREVENTION BUREAU

With respect to the conditions of approval for the above referenced (**PA11-0008**), the following fire protection measures shall be provided in accordance with Moreno Valley City Ordinance's and/or recognized fire protection standards:

- F1. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy and use as specified in the California Building Code (CBC), California Fire Code (CFC), Moreno Valley Municipal Code and related codes which are in force at the time of building plan submittal.
- F2. Prior to construction and issuance of Building Permits, fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less than the thirteen (13) feet six (6) inches. (CFC 503.2 and MVMC 8.36.060)
- F3. Prior to construction, "private" driveways over 150 feet in length shall have a turn-around as determined by the Fire Prevention Bureau capable of accommodating fire apparatus. Driveway grades shall not exceed 12 percent. (CFC 503 and MVMC 8.36.060)
- F4. Prior to issuance of building permit applicant shall provide written verification that the system they will be installing will not interfere with Fire or Police Communication System.
- F5. Anytime after installation, any interruption of Fire, Police or other public emergency Communication System due to the purveyor's system, the purveyor shall cease to operate site until corrections can be made to purveyor's system.
- F6. Prior to the issuance of a Certificate of Occupancy or building final, the developer/applicant shall be responsible for obtaining permits for the storage of combustible liquids, flammable liquids or any other hazardous materials from both the County Health department and Fire Prevention Bureau. (CFC 105.6.20, 105.7.2 and 105.6.16)
- F7. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Chief. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506)

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 5 OF 8**

PUBLIC WORKS DEPARTMENT – LAND DEVELOPMENT DIVISION

The following are the Public Works Department – Land Development Division Conditions of Approval for this project and shall be completed at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Public Works Department – Land Development Division.

- LD1. (G) The developer shall comply with all applicable City ordinances and resolutions including the City’s Municipal Code (MC)

- LD2. (G) If improvements associated with this project are not initiated within two years of the date of approval of the Public Improvement Agreement, the City Engineer may require that the improvement cost estimate associated with the project be modified to reflect current City construction costs in effect at the time of request for an extension of time for the Public Improvement Agreement or issuance of a permit.

- LD3. (G) The developer shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - (b) Observance of working hours as stipulated on permits issued by the Public Works Department.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the grading operations.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 6 OF 8

Prior to Improvement Plan Approval or Construction Permit

- LD4. (IPA) Prior to approval of the improvement plans, the improvement plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch mylar and signed by a registered civil engineer and other registered/licensed professional as required.
- LD5. (IPA) Prior to approval of the improvement plans, the developer shall submit clearances from all applicable agencies, and pay all outstanding plan check fees. (MC 9.14.210)
- LD6. (IPA) All public improvement plans prepared and signed by a registered civil engineer in accordance with City standards, policies and requirements shall be approved by the City Engineer in order for the Public Improvement Agreement and accompanying security to be executed.
- LD7. (IPA) Prior to approval of the improvement plans, securities and a public improvement agreement shall be required to be submitted and executed as a guarantee of the completion of the improvements required as a condition of approval of the project.
- LD8. (IPA) Prior to approval of the improvement plans, the plans shall indicate any restrictions on trench repair pavement cuts to reflect the City's moratorium on disturbing newly-constructed pavement less than three years old and recently slurry sealed streets less than one year old. Pavement cuts for trench repairs may be allowed for emergency repairs or as specifically approved in writing by the City Engineer.
- LD9. (CP) All work performed within the City right-of-way requires a construction permit. As determined by the City Engineer, security may be required for work within the right-of-way. Security shall be in the form of a cash deposit or other approved means. The City Engineer may require the execution of a public improvement agreement as a condition of the issuance of the construction permit. All inspection fees shall be paid prior to issuance of construction permit. (MC 9.14.100)
- LD10. (CP) Prior to issuance of a construction permit, all public improvement plans prepared and signed by a registered civil engineer in accordance with City standards, policies and requirements shall be approved by the City Engineer.
- LD11. (CP) Prior to issuance of construction permits, the developer shall pay all applicable inspection fees.

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
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- LD12. An Encroachment Permit will be required for all work performed within the public right-of-way. Wherever possible, conduit installation shall be installed via boring instead of trenching. Sidewalk panels and any other existing improvements affected by the installation of the telecommunication facility shall be replaced to an equal or better condition.**
- LD13. The applicant may be required to enter into a Public Improvement Agreement, as determined by the Land Development Division Manager, and will be required to post security to ensure performance of all construction related work as well as possible future removal of the telecommunication facility.**
- LD14. The applicant shall enter into a Telecommunication License Agreement with the City for the installation of the telecommunication facility within the public right-of-way. An Encroachment Permit cannot be issued until this Agreement has been executed.**
- LD15. All landscaping shall be replaced with like in kind or as otherwise required by the Planning or Special Districts Divisions and the Sunnymead Ranch HOA. All other public improvements that are damaged as a result of construction shall be replaced per City standards.**

PUBLIC WORKS DEPARTMENT – SPECIAL DISTRICTS DIVISION

Acknowledgement of Conditions

The following items are Special Districts' Conditions of Approval for project **PA11-0008**; this project shall be completed at no cost to any Government Agency. All questions regarding Special Districts' Conditions including but not limited to, intent, requests for change/modification, variance and/or request for extension of time shall be sought from the Special Districts Division of the Public Works Department 951.413.3480. The applicant is fully responsible for communicating with each designated Special Districts staff member regarding their conditions.

- SD1. Any damage due to project construction shall be repaired/replaced by the developer, or developer's successors in interest, at no cost to the City of Moreno Valley.**
- SD2. The proposed pole must be compliant with City Standards or have approval from the City Engineer or their designee for any deviation from City Standards.**
- SD3. A separate electric meter shall be installed for the electric consumption for the new wireless communication facility.**

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 8 OF 8**

- SD4. T-Mobile West Corporation or their successor shall install a new streetlight pole, per current City Standards, at their expense in the event that the wireless communication facility is no longer utilized.
- SD5. Any fees assessed by Southern California Edison for the removal of the streetlight pole, presently or in the future, shall be charged to T-Mobile West Corporation or their successor's for the wireless communication facility and not the City of Moreno Valley or the Moreno Valley Community Services Districts account.

PUBLIC WORKS DEPARTMENT – TRANSPORTATION ENGINEERING DIVISION

Based on the information contained in our standard review process we recommend the following conditions of approval be placed on this project:

- TE1. Conditions of approval may be modified if project is altered from any approved plans.
- TE2. Proposed street light shall match existing in terms of mounting height, lighting type, and luminaire wattage.
- TE3. All existing traffic signal equipment at Perris Boulevard and Manzanita shall be protected in place and continuous traffic signal actuation during construction shall be provided. Any damaged loop detectors shall be replaced.

POLICE DEPARTMENT

- P1. Prior to the start of any construction, temporary security fencing shall be erected. The fencing shall be a minimum of six (6) feet high with locking, gated access and shall remain through the duration of construction. Security fencing is required if there is: construction, unsecured structures, unenclosed storage of materials and/or equipment, and/or the condition of the site constitutes a public hazard as determined by the Public Works Department. If security fencing is required, it shall remain in place until the project is completed or the above conditions no longer exist.
- P2. A temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the following:
- The name (if applicable) and address of the development.

**CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT PA11-0008
PAGE 9 OF 8**

- The developer's name, address, and a 24-hour emergency telephone number.

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PA11-0008



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City of Moreno Valley
14177 Frederick Street
Moreno Valley, CA 92553

DISCLAIMER: The information shown on this map was compiled from the Riverside County GIS and the City of Moreno Valley GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses, or damages resulting from the use of this map.



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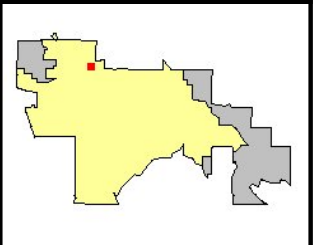
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PA11-0008



Legend

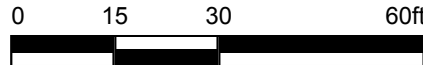
- Highways
- Parcels
- Roads
- March Installation Area
- Waterbodies
- Sphere of Influence
- Ortho Photography
- City Boundaries
 - Calimesa
 - Moreno Valley
 - Perris
 - Riverside



-187-

City of Moreno Valley
14177 Frederick Street
Moreno Valley, CA 92553

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T-Mobile®

IE24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

PLANS PREPARED FOR:
T-Mobile
 Stick Together®
 3257 E. GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

PROJECT INFORMATION:
 IE24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

CURRENT ISSUE DATE:
 08/16/2011

ISSUED FOR:
 REV. ZONING SUBMITTAL

REV.	DATE	DESCRIPTION	BY
2	09/13/2010	ISSUED FOR REVISED ZONING SUBMITTAL	JPM
3	09/23/2010	ISSUED FOR REVISED ZONING SUBMITTAL	MGS
4	01/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	BAH
5	04/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	JEG
6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE
 CHK.: TPP
 APV.: EJC

PLANS PREPARED BY:

KDC
 ARCHITECTS ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
 PHONE: 425.670.8651
 FAX: 425.712.0846

LICENSURE:

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER: T-1
 REVISION: 7
 209049

PROJECT INFORMATION

CALIFORNIA STATE CODE COMPLIANCE:
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2010 BUILDING STANDARDS ADMINISTRATIVE CODE.
- 2010 CALIFORNIA BUILDING CODE (CBC).
- 2010 CALIFORNIA ELECTRICAL CODE (CEC).
- 2010 CALIFORNIA ENERGY CODE.
- 2010 CALIFORNIA MECHANICAL CODE (CMC).
- 2010 CALIFORNIA PLUMBING CODE (CPC).
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- LOCAL BUILDING CODE.
- CITY/COUNTY ORDINANCES.

SITE ADDRESS:
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557

PROPERTY OWNER:
 WITHIN RIGHT-OF-WAY
 IN THE CITY OR MORENO VALLEY

SCE POLE BEING REMOVED: #4002690E

REPLACEMENT POLE: #040-01244

OCCUPANCY CLASSIFICATION: U-UNMANNED

TYPE OF CONSTRUCTION: VN

ZONING: R-1

TOTAL PROJECT AREA: 35± SQ. FT.

ASSESSORS PARCEL NUMBER: N/A

LATITUDE: 33° 57' 46.11" N
 LONGITUDE: 117° 13' 46.89" W
 ELEVATION: 1788'

JURISDICTION: CITY OF MORENO VALLEY

POWER:
 PHONE: (800) 990-7788

TELCO:
 PHONE: (800) 483-5000

PROJECT DESCRIPTION:
 THIS PROPOSAL IS FOR THE INSTALLATION OF (1) PROPOSED UNDERGROUND 7'-0" x 5'-0" EQUIPMENT VAULT. ALSO THE ADDITION OF (3) PROPOSED ANTENNAS (1 PER SECTOR) MOUNTED WITHIN A RF-TRANSPARENT CANISTER ATOP OF A PROPOSED 29'-6" HIGH LIGHT POLE (OVERALL HEIGHT OF POLE W/ RF-CANISTER APPROX. 35'-0"±).

SHEET INDEX

ARCHITECTURAL	TITLE SHEET
T-1	TITLE SHEET
LS-1	TOPOGRAPHIC SURVEY
A-1	OVERALL SITE PLAN
A-2	EXISTING EQUIPMENT PLAN/DEMO PLAN
A-2.1	EQUIPMENT PLAN
A-3	NORTHWEST AND NORTHEAST ELEVATIONS

PROJECT DIRECTORY

APPLICANT:
 T-MOBILE WEST (ONTARIO OFFICE)
 3257 GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

REPRESENTATIVE: NAME: LINDA PAUL PHONE: (909) 292-5095
ZONING MANAGER: DENIS DEMARCO (714) 351-3057
CONSTRUCTION MANAGER: JENNIFER CARNEY (909) 975-3667
DEVELOPMENT MANAGER: JAYSON MOJICA (909) 684-3873
RF MANAGER: KEVIN CADILE (951) 496-2128

APPLICANT AGENT:
 JAMES ROGERS CONSULTING
 31097 VIA SONORA
 SAN JUAN CAPISTRANO, CA 92675
 CONTACT: JAMES ROGERS
 PHONE: (949) 295-9031

ARCHITECT/ELECTRICAL ENGINEER:
 KDC ARCHITECTS ENGINEERS, P.C.
 4720 200TH STREET SW., SUITE 200
 LYNNWOOD, WA 98036
 CONTACT: ERIC CAMP
 PHONE: (425) 670-8651
 FAX: (425) 712-0846

APPROVALS BLOCK

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

CITY	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
ZONING REP.	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
DEVELOP. MGR	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
CONST. MGR	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
ZONING MGR.	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
RF ENGINEER	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
OPERATIONS	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____
SAC REP.	DATE
PRINTED NAME: _____	_____
SIGNATURE: _____	_____

SYMBOLS LIST

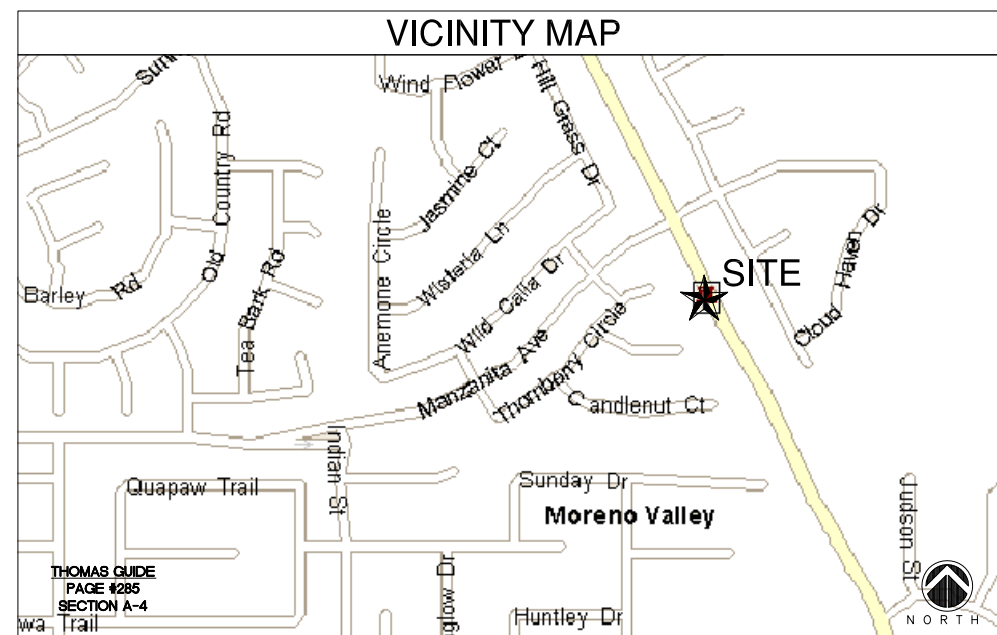
	ELEVATION NUMBER SHEET NUMBER		ELECTRIC METER
	DETAIL NUMBER SHEET NUMBER		ELECTRICAL WIRING (TURNING UP)
	SECTION NUMBER SHEET NUMBER		ELECTRICAL WIRING (TURNING DOWN)
	PROPERTY LINE		BACKBOARD
	ELECTRICAL SERVICE		RECEPTACLE
	TELCO SERVICE		SPECIAL RECEPTACLE
	GROUNDING		QUADRUPLEX RECEPTACLE
[N]	NEW		MASTER GROUND BAR
[E]	EXISTING		GROUND ATTACHMENT

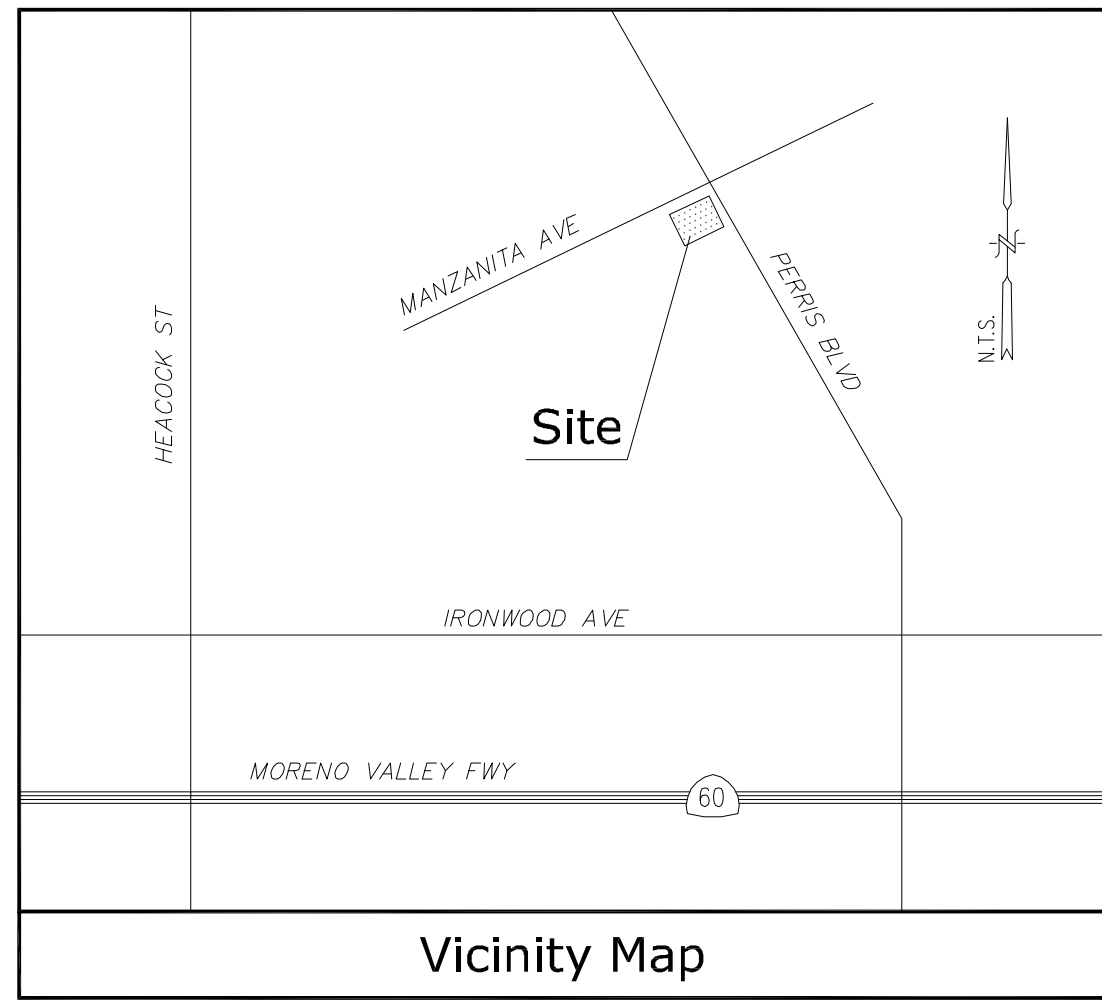
CONFIDENTIAL AND PROPRIETARY

Not for disclosure outside T-MOBILE without permission.

DRIVING DIRECTIONS

DRIVING DIRECTIONS FROM T-MOBILE ONTARIO, CA OFFICE:
 DEPART ON E GUASTI RD (NORTH-WEST); TURN LEFT TO STAY ON E GUASTI RD; TURN LEFT (NORTH) ONTO N HAVEN AVE; TAKE RAMP (RIGHT) ONTO I-10 [SAN BERNARDINO FWY]; TAKE RAMP (RIGHT) ONTO I-15 [ONTARIO FWY]; TURN OFF ONTO RAMP TAKE RAMP (LEFT) ONTO SR-60 [POMONA FWY]; ROAD NAME CHANGES TO I-215 [SR-60]; KEEP LEFT ONTO SR-60 [MORENO VALLEY FWY]; AT EXIT 62, TURN RIGHT ONTO RAMP; TURN LEFT (EAST) ONTO SUNNYMEAD BLVD; TURN LEFT (NORTH) ONTO PERRIS BLVD; TURN RIGHT (EAST) ONTO HEMLOCK AVE, THEN IMMEDIATELY TURN LEFT (NORTH) ONTO PERRIS BLVD
 ARRIVE 33.96280°N 117.22969°W





Title Report
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Legal Description
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Assessor's Parcel No.
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Easements
NOT AVAILABLE

Project Area
AS SHOWN (EQUIPMENT VAULT)

Utility Route
AS SHOWN

Geographic Coordinates at Proposed Street Light

1983 DATUM: LATITUDE 33°57'46.04"N LONGITUDE 117°13'46.82"W
ELEVATION = 1951.2 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION:
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

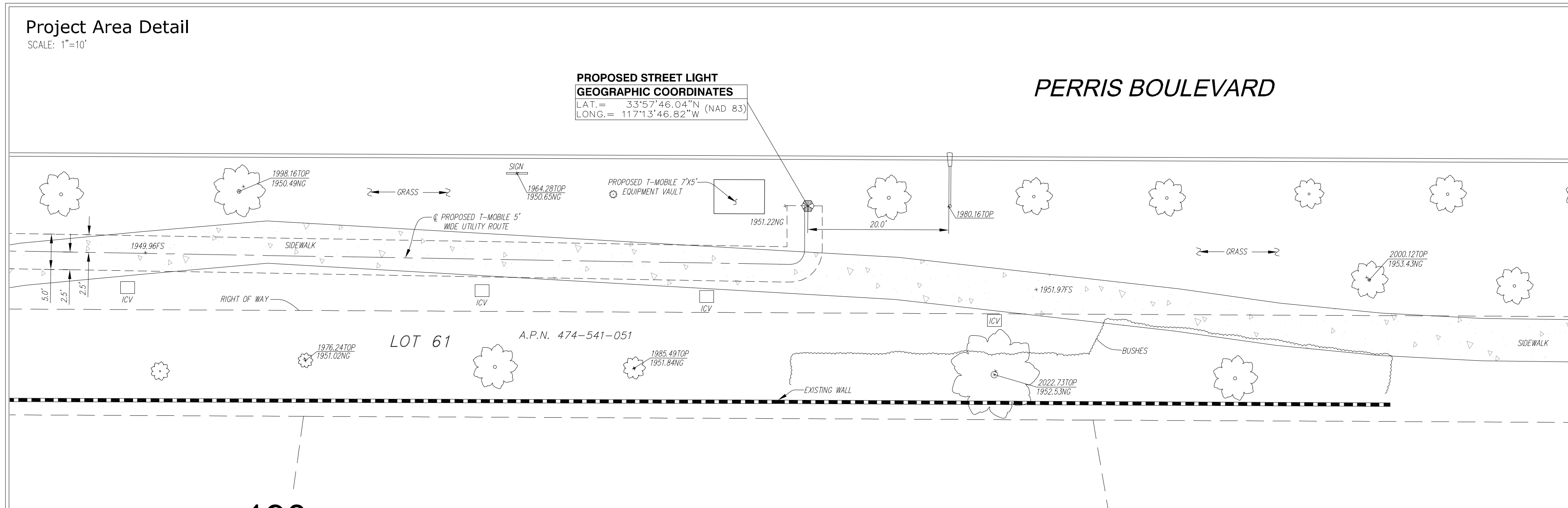
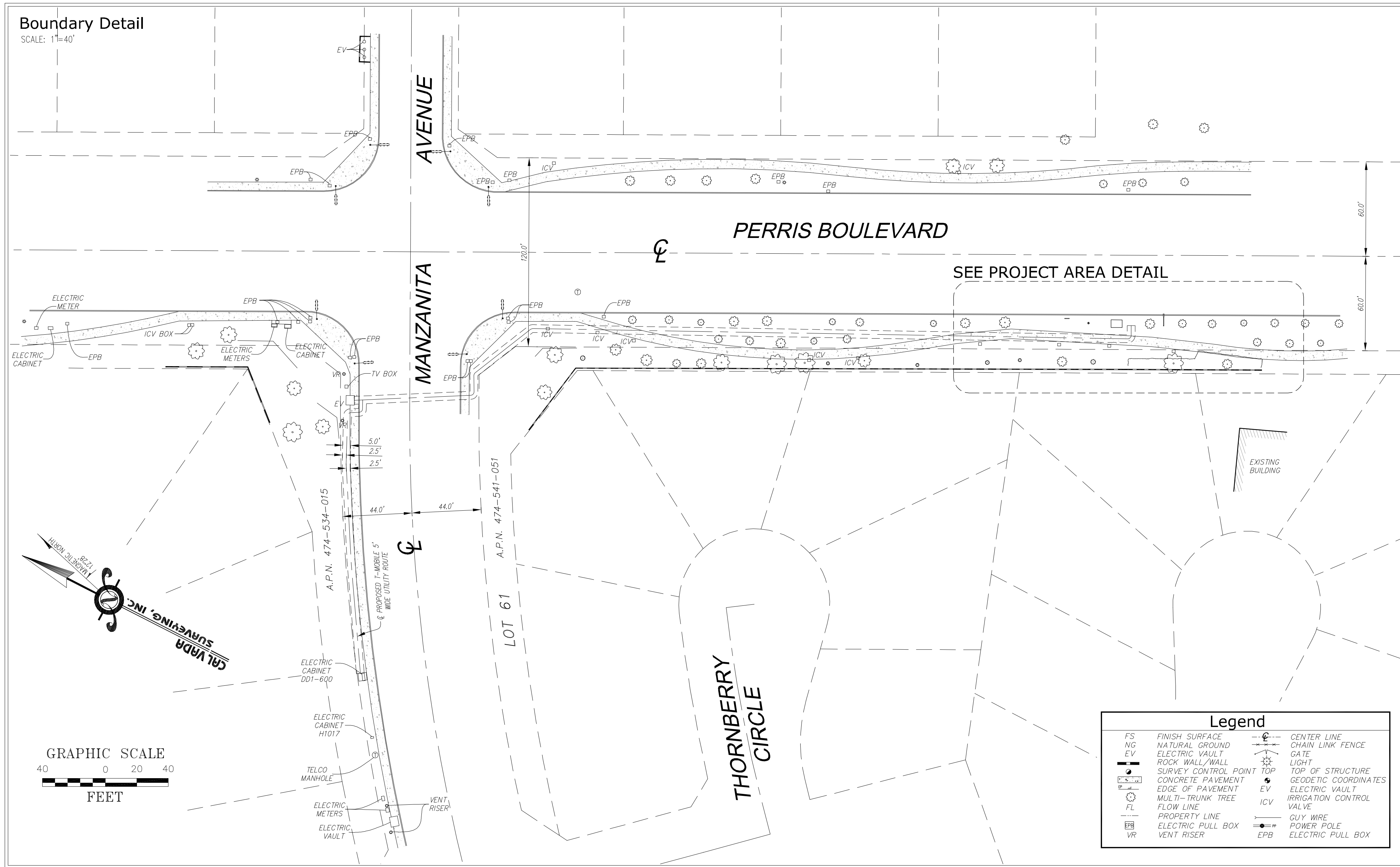
THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 6.

Bench Mark

THE CALIFORNIA SPATIAL REFERENCE CENTER C.O.R.S "MLFP",
ELEVATION = 1554.12 FEET (NAVD 88).

Date of Survey

JULY 29, 2010



T-Mobile
Stick Together®

3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

A&E DEVELOPMENT:

KDC
ARCHITECTS - ENGINEERS, P.C.
4720 200TH STREET SW, SUITE 200
LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

CONSULTANT:

CALVADA
SURVEYING, INC.
411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9960 Fax: 951-280-9746
Toll Free: 800-CALVADA www.calvada.com
JOB NO. 10561

LICENSURE:

REVISION:

REVISION:	DATE / BY:	DESCRIPTION:
	08/03/2010	SUBMITTAL
	GBM	
1	09/01/10	FINAL
	AL	

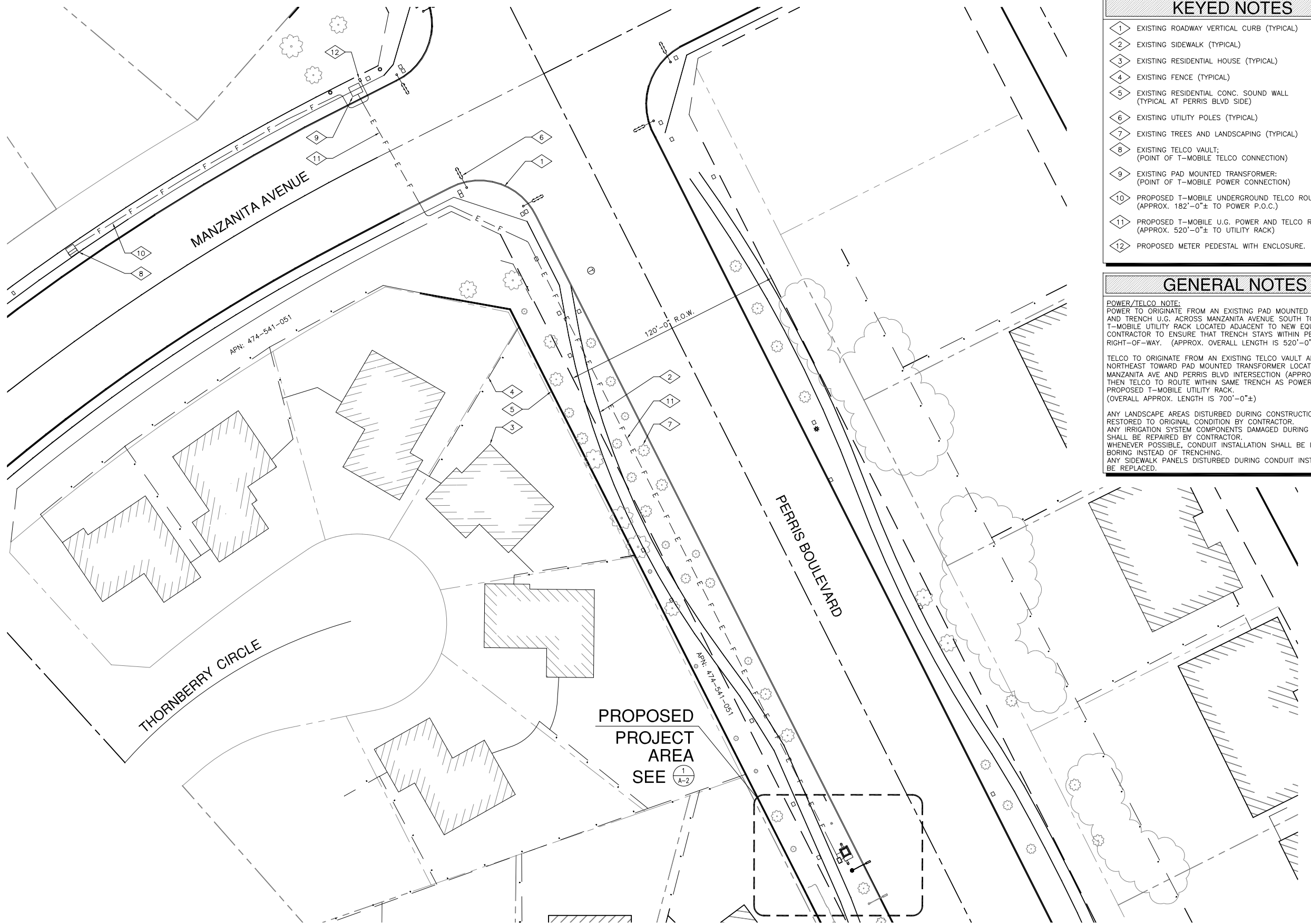
SITE INFORMATION:

IE24210A
PERRIS BLVD
R.O.W.

WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
LS-1
SHEET 1 OF 1



- ### KEYED NOTES
- 1 EXISTING ROADWAY VERTICAL CURB (TYPICAL)
 - 2 EXISTING SIDEWALK (TYPICAL)
 - 3 EXISTING RESIDENTIAL HOUSE (TYPICAL)
 - 4 EXISTING FENCE (TYPICAL)
 - 5 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
 - 6 EXISTING UTILITY POLES (TYPICAL)
 - 7 EXISTING TREES AND LANDSCAPING (TYPICAL)
 - 8 EXISTING TELCO VAULT; (POINT OF T-MOBILE TELCO CONNECTION)
 - 9 EXISTING PAD MOUNTED TRANSFORMER; (POINT OF T-MOBILE POWER CONNECTION)
 - 10 PROPOSED T-MOBILE UNDERGROUND TELCO ROUTE; (APPROX. 182'-0"± TO POWER P.O.C.)
 - 11 PROPOSED T-MOBILE U.G. POWER AND TELCO ROUTE; (APPROX. 520'-0"± TO UTILITY RACK)
 - 12 PROPOSED METER PEDESTAL WITH ENCLOSURE.

GENERAL NOTES

POWER/TELCO NOTE:
 POWER TO ORIGINATE FROM AN EXISTING PAD MOUNTED TRANSFORMER AND TRENCH U.G. ACROSS MANZANITA AVENUE SOUTH TOWER PROPOSED T-MOBILE UTILITY RACK LOCATED ADJACENT TO NEW EQUIPMENT VAULT; CONTRACTOR TO ENSURE THAT TRENCH STAYS WITHIN PERRIS BOULEVARD RIGHT-OF-WAY. (APPROX. OVERALL LENGTH IS 520'-0"±)

TELCO TO ORIGINATE FROM AN EXISTING TELCO VAULT AND TRENCH U.G. NORTHEAST TOWARD PAD MOUNTED TRANSFORMER LOCATED AND MANZANITA AVE AND PERRIS BLVD INTERSECTION (APPROX. 180'-0"±); THEN TELCO TO ROUTE WITHIN SAME TRENCH AS POWER TOWARD PROPOSED T-MOBILE UTILITY RACK. (OVERALL APPROX. LENGTH IS 700'-0"±)

ANY LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR.
 ANY IRRIGATION SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR.
 WHENEVER POSSIBLE, CONDUIT INSTALLATION SHALL BE INSTALLED VIA BORING INSTEAD OF TRENCHING.
 ANY SIDEWALK PANELS DISTURBED DURING CONDUIT INSTALLATION SHALL BE REPLACED.

PLANS PREPARED FOR:

T-Mobile

Stick Together[®]

3257 E. GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

PROJECT INFORMATION:

E24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

CURRENT ISSUE DATE:

08/16/2011

ISSUED FOR:

REV. ZONING SUBMITTAL

REV.:	DATE:	DESCRIPTION:	BY:
2	09/13/2010	ISSUED FOR REVISED ZONING SUBMITTAL	JPM
3	09/23/2010	ISSUED FOR REVISED ZONING SUBMITTAL	MGS
4	01/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	BAH
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6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE CHK.: TPP APV.: EJC

PLANS PREPARED BY:

KDC
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 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
 PHONE: 425.670.8651
 FAX: 425.712.0846

LICENSURE:

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER: **A-1** REVISION: **7**

209049

ANTENNA / COAX SCHEDULE							
SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNAS	ANTENNA MODEL NUMBER	NUMBER OF COAX RUNS	COAX SIZE	COAX LENGTH
"1"	0°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±
"2"	120°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±
"3"	240°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±

KEYED NOTES

- 1 EXISTING ROADWAY CONC. VERTICAL CURB (TYPICAL)
- 2 EXISTING CONC. SIDEWALK (TYPICAL)
- 3 EXISTING TREES AND LANDSCAPING (TYPICAL)
- 4 EXISTING IRRIGATION CONTROL BOX (TYPICAL)
- 5 EXISTING SCE STREET LIGHT POLE #4002690E (TO BE REMOVED)
- 6 EXISTING SIGN
- 7 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
- 8 PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
- 9 PROPOSED SCE 29'-6" HIGH LIGHT POLE, #040-01244 (OVERALL HEIGHT WITH RF-CANISTER = 35'-0"±)
- 10 PROPOSED T-MOBILE UNDERGROUND COAX ROUTE (APPROX. 6'-0"±)
- 11 PROPOSED SCE LIGHT STANDARD AT NEW POLE (TYPE AND HEIGHT TO MATCH EXISTING)
- 12 PROPOSED T-MOBILE 2'-0" RF-TRANSPARENT CANISTER AT TOP OF NEW LIGHT POLE
- 13 PROPOSED T-MOBILE PANEL ANTENNAS (1/5 A-5) (3 TOTAL, 1 PER SECTOR)
- 14 PROPOSED T-MOBILE U.G. POWER AND TELCO ROUTE; REFER TO SHEET A-1 FOR CONTINUATION (4 E-5)
- 15 EXISTING GRASS AREA (TYPICAL)
- 16 PROPOSED T-MOBILE 7'-0" x 5'-0" PROJECT AREA (35± SQ. FT.)
- 17 PROPOSED T-MOBILE 10" VENT (TYP. OF 2)
- 18 PROPOSED T-MOBILE 24" x 36" x 18" DEEP IN GROUND HANDHOLE FOR DISCONNECT

GENERAL NOTES

POWER/TELCO NOTE:
POWER TO ORIGINATE FROM AN EXISTING PAD MOUNTED TRANSFORMER AND TRENCH U.G. ACROSS MANZANITA AVENUE SOUTH TOWER PROPOSED T-MOBILE UTILITY RACK LOCATED ADJACENT TO NEW EQUIPMENT VAULT; CONTRACTOR TO ENSURE THAT TRENCH STAYS WITHIN PERRIS BOULEVARD RIGHT-OF-WAY. (APPROX. OVERALL LENGTH IS 520'-0"±)

TELCO TO ORIGINATE FROM AN EXISTING TELCO VAULT AND TRENCH U.G. NORTHEAST TOWARD PAD MOUNTED TRANSFORMER LOCATED AND MANZANITA AVE AND PERRIS BLVD INTERSECTION (APPROX. 180'-0"±); THEN TELCO TO ROUTE WITHIN SAME TRENCH AS POWER TOWARD PROPOSED T-MOBILE UTILITY RACK. (OVERALL APPROX. LENGTH IS 700'-0"±)

LIGHT POLE NOTE:
PROPOSED SCE LIGHT POLE AND RF-TRANSPARENT CANISTER TO BE PAINTED TO MATCH EXISTING LIGHT POLES ALONG PERRIS BLVD. CONTRACTOR TO VERIFY LIGHT STANDARD TYPE AND HEIGHT OF EXISTING LIGHT STANDARDS ALONG PERRIS BLVD PRIOR TO CONSTRUCTION.

NEW STREET LIGHT TO MATCH EXISTING STREET LIGHT TYPE, MOUNTING HEIGHT AND WATTAGE.

LANDSCAPE NOTE:
ALL DISTURBED LANDSCAPING SHALL BE REPLACED IN KIND.

PLANS PREPARED FOR:

T-Mobile
Stick Together[®]

3257 E. GUASTI ROAD, SUITE 200
ONTARIO, CA 91761

PROJECT INFORMATION:

E24210A
PERRIS BLVD R.O.W.
WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

CURRENT ISSUE DATE:

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6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY:	CHK.:	APV.:
AJE	TPP	EJC

PLANS PREPARED BY:

KDC
ARCHITECTS, ENGINEERS, P.C.
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LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

LICENSURE:

SHEET TITLE:

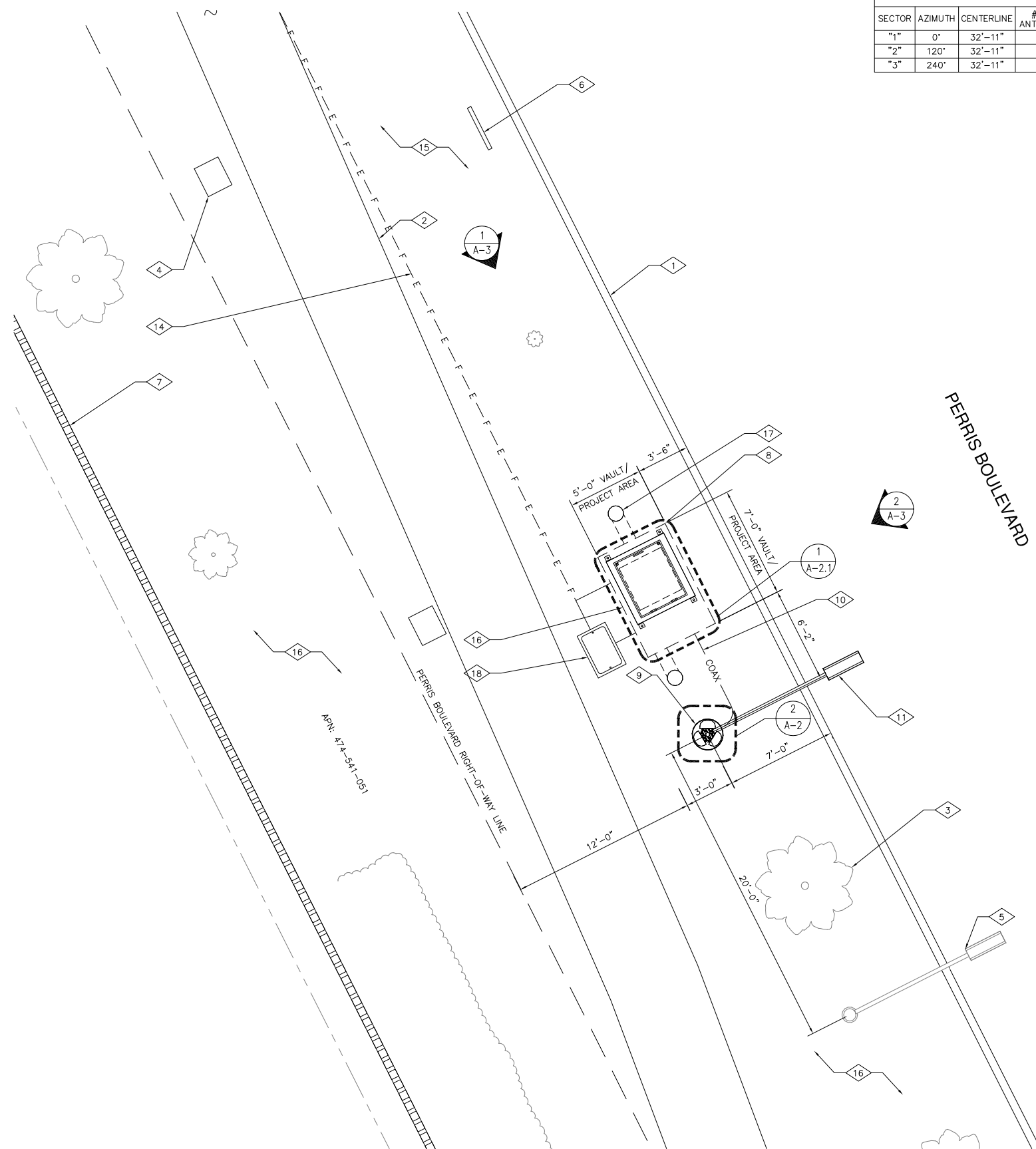
EQUIPMENT PLAN

SHEET NUMBER: REVISION:

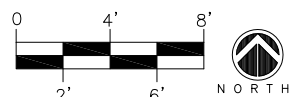
A-2

7

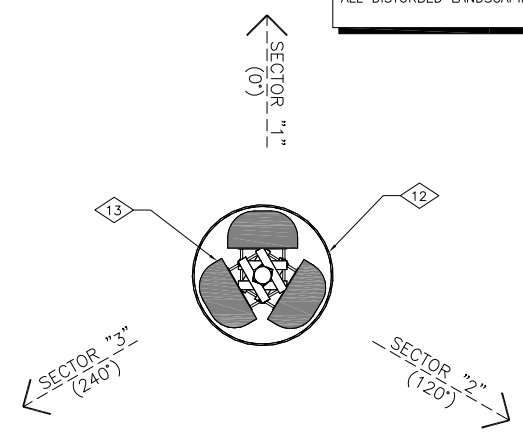
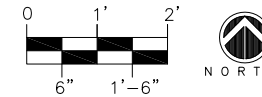
209049



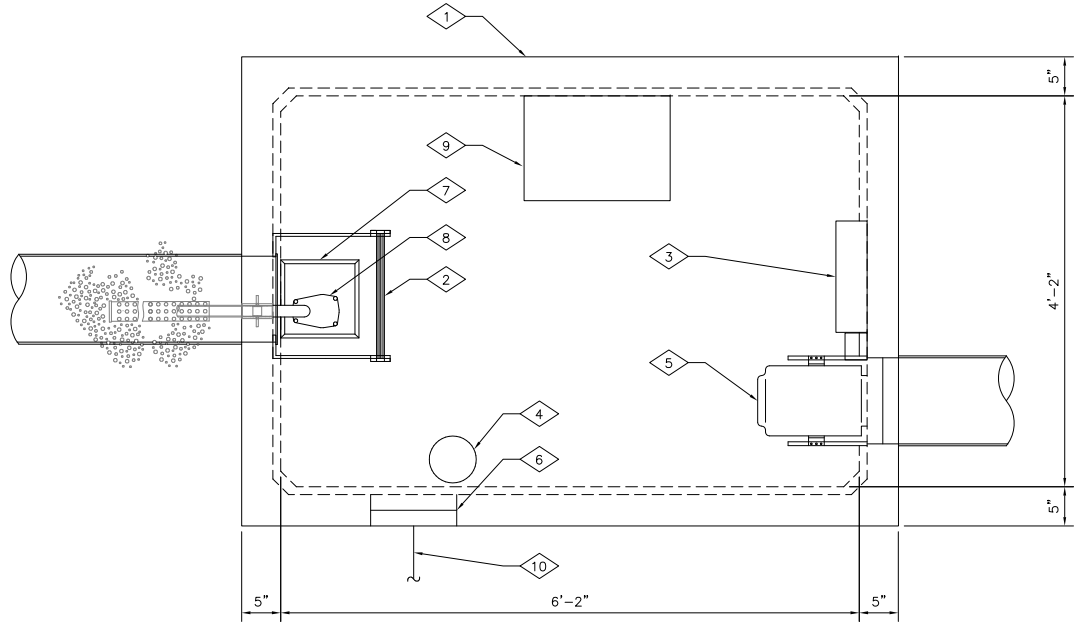
1
A-2
EQUIPMENT PLAN
SCALE FOR 24x36: 1/4" = 1'-0" SCALE FOR 11x17: 1/8" = 1'-0"



2
A-2
ANTENNA LAYOUT
SCALE FOR 24x36: 3/4" = 1'-0" SCALE FOR 11x17: 3/8" = 1'-0"



KEYED NOTES	
1	PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
2	PROPOSED T-MOBILE LADDER
3	PROPOSED T-MOBILE ELECTRICAL PANEL
4	PROPOSED T-MOBILE FIRE EXTINGUISHER
5	PROPOSED T-MOBILE EXHAUST FAN
6	PROPOSED T-MOBILE CABLE ENTRY PORTS
7	PROPOSED T-MOBILE SUMP PIT
8	PROPOSED T-MOBILE SUMP PUMP
9	PROPOSED T-MOBILE RBS CABINET
10	PROPOSED T-MOBILE TELCO ROUTE



1
A-2.1
EQUIPMENT PLAN
SCALE FOR 24x36: 1" = 1'-0" SCALE FOR 11x17: 1/2" = 1'-0"
0 1' 2'
0.5' 1.5' NORTH

PLANS PREPARED FOR:
T-Mobile
Stick Together[®]
3257 E. GUAJTI ROAD, SUITE 200
ONTARIO, CA 91761

PROJECT INFORMATION:
E24210A
PERRIS BLVD R.O.W.
WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

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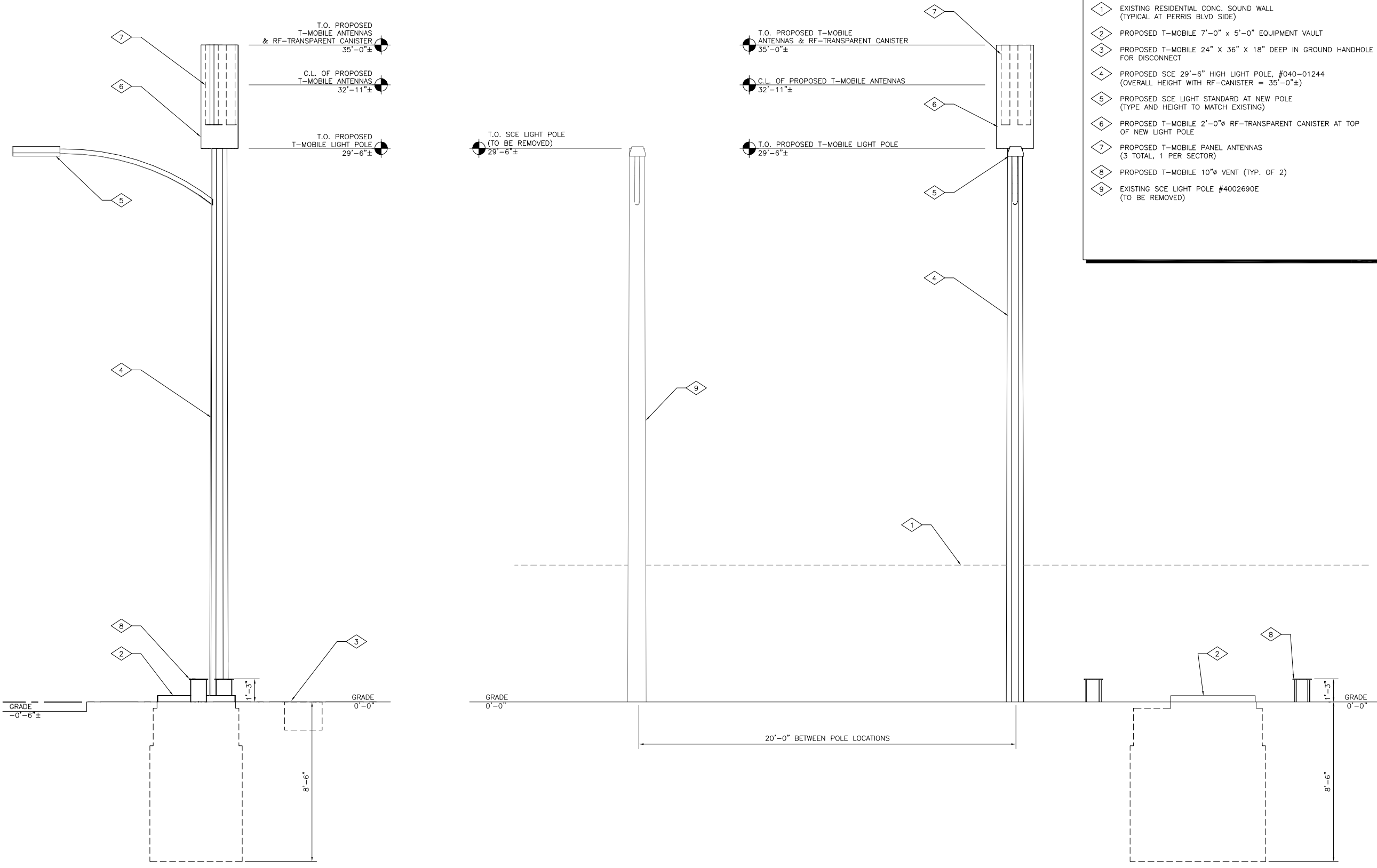
DRAWN BY: AJE
CHK.: TPP
APV.: EJC

PLANS PREPARED BY:
KDC
ARCHITECTS, ENGINEERS, P.C.
2000 STREET SW SUITE 200
LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

LICENSURE:

SHEET TITLE:
EQUIPMENT PLAN

SHEET NUMBER: **A-2.1**
REVISION: **7**
209049



- ### KEYED NOTES
- 1 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
 - 2 PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
 - 3 PROPOSED T-MOBILE 24" x 36" x 18" DEEP IN GROUND HANDHOLE FOR DISCONNECT
 - 4 PROPOSED SCE 29'-6" HIGH LIGHT POLE, #040-01244 (OVERALL HEIGHT WITH RF-CANISTER = 35'-0"±)
 - 5 PROPOSED SCE LIGHT STANDARD AT NEW POLE (TYPE AND HEIGHT TO MATCH EXISTING)
 - 6 PROPOSED T-MOBILE 2'-0" RF-TRANSPARENT CANISTER AT TOP OF NEW LIGHT POLE
 - 7 PROPOSED T-MOBILE PANEL ANTENNAS (3 TOTAL, 1 PER SECTOR)
 - 8 PROPOSED T-MOBILE 10" VENT (TYP. OF 2)
 - 9 EXISTING SCE LIGHT POLE #4002690E (TO BE REMOVED)

PLANS PREPARED FOR:

T-Mobile

Stick Together™

3257 E. GUASTI ROAD, SUITE 200
ONTARIO, CA 91761

PROJECT INFORMATION:

E24210A
PERRIS BLVD R.O.W.
WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

CURRENT ISSUE DATE:

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7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE CHK.: TPP APV.: EJC

PLANS PREPARED BY:

KDC
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4720 200TH STREET SW SUITE 200
LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

LICENSURE:

SHEET TITLE:

NORTHWEST AND
NORTHEAST ELEVATIONS

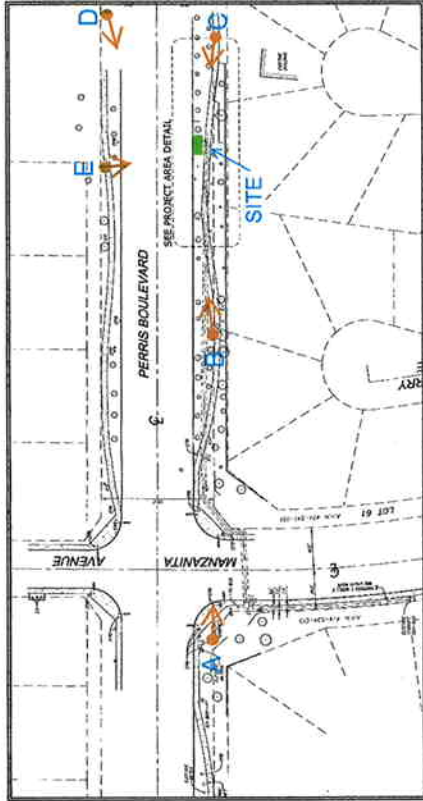
SHEET NUMBER: A-3 REVISION: 7

209049

1 NORTHWEST ELEVATION
SCALE FOR 24x36: 3/8" = 1'-0" SCALE FOR 11x17: 3/16" = 1'-0"

2 NORTHEAST ELEVATION
SCALE FOR 24x36: 3/8" = 1'-0" SCALE FOR 11x17: 3/16" = 1'-0"

IE24210A – PERRIS BLVD ROW
 Manzanita Avenue/Perris Boulevard



Key Map



A – View South toward Site from Manzanita



B – View South to Site Along Parkway

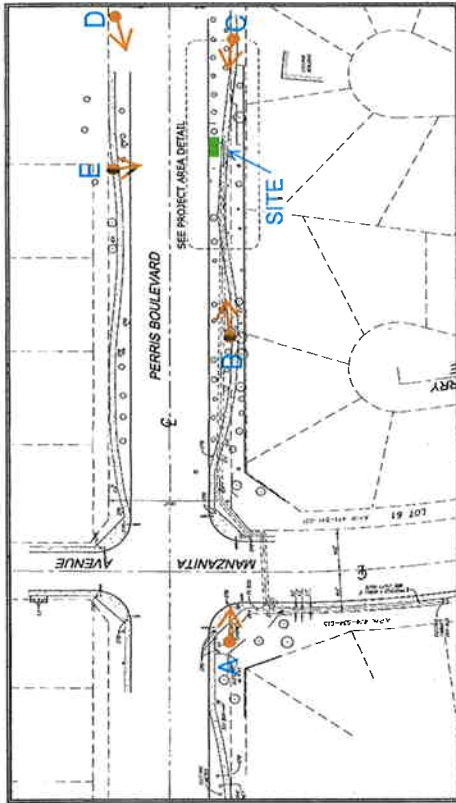
Site Photographs
 City of Moreno Valley



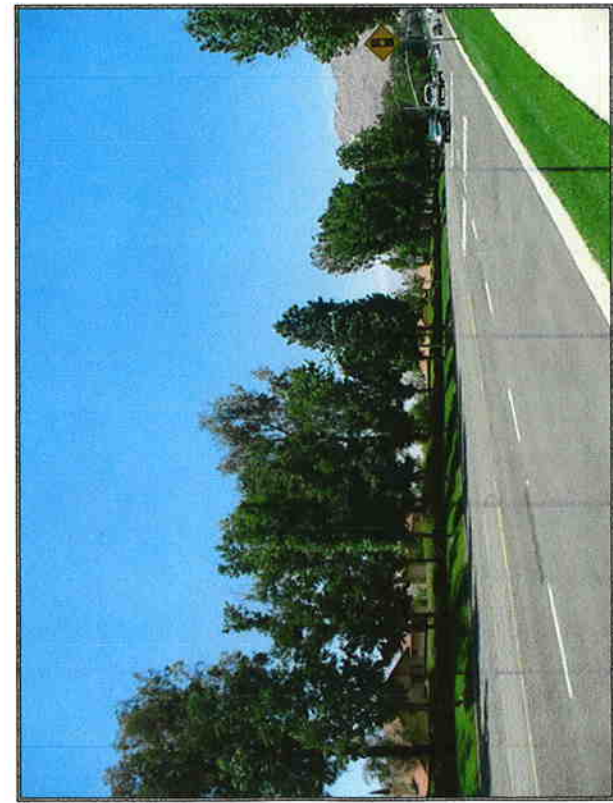
C – View North to Site Along Parkway

T-Mobile West Corporation
 KDC Architects, Engineers

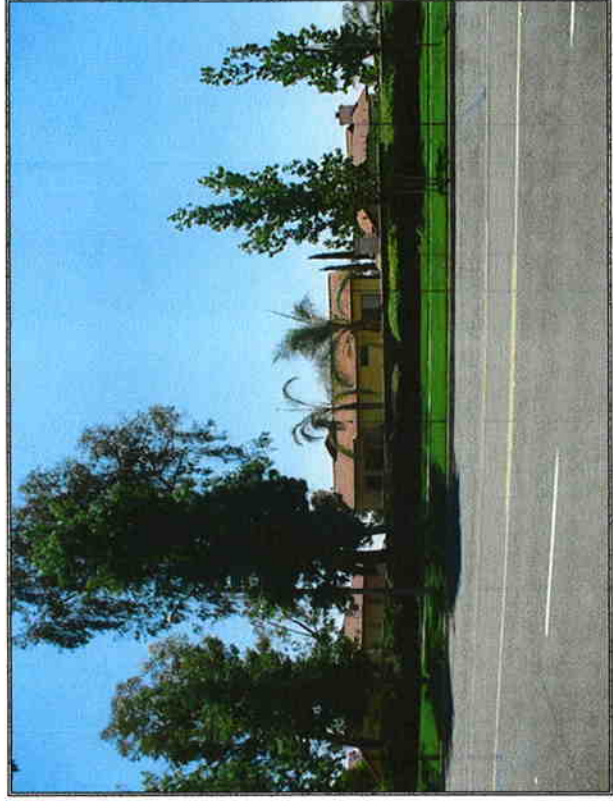
IE24210A – PERRIS BLVD ROW
Manzanita Avenue/Perris Boulevard



Key Map



D – View North to Site from Perris Blvd



E – View West to Site Across Perris Blvd.

Site Photographs
City of Moreno Valley

T-Mobile West Corporation
KDC Architects, Engineers

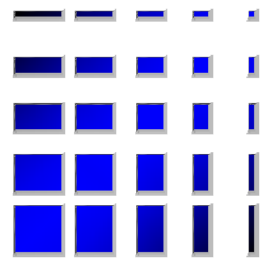
IE24210A Perris Blvd. ROW
Perris Blvd./Manzanita Ave.

T-Mobile West Corporation
KDC Architects, Engineers



Example T-Mobile/Southern California Edison Street Light Pole

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KDC
 ARCHITECTS.ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
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IE24210A - PERRIS BLVD R.O.W.

WEST SIDE OF PERRIS BLVD,
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

**VIEW 1
 VIEW FROM SOUTHEAST LOOKING NORTHWEST**

VIEW 1



KEY LOCATION MAP

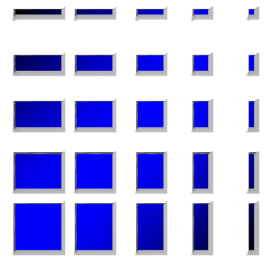


PROPOSED VIEW



EXISTING VIEW





KDC
 ARCHITECTS. ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
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 FAX: 425.712.0846

IE24210A - PERRIS BLVD R.O.W.

WEST SIDE OF PERRIS BLVD,
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

VIEW 2

VIEW FROM EAST LOOKING WEST



KEY LOCATION MAP

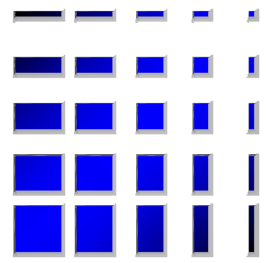


PROPOSED VIEW



EXISTING VIEW





KDC
 ARCHITECTS.ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
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IE24210A - PERRIS BLVD R.O.W.

WEST SIDE OF PERRIS BLVD,
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

**VIEW 3
 VIEW FROM NORTHWEST LOOKING SOUTHEAST**

VIEW 3



KEY LOCATION MAP



PROPOSED VIEW



EXISTING VIEW



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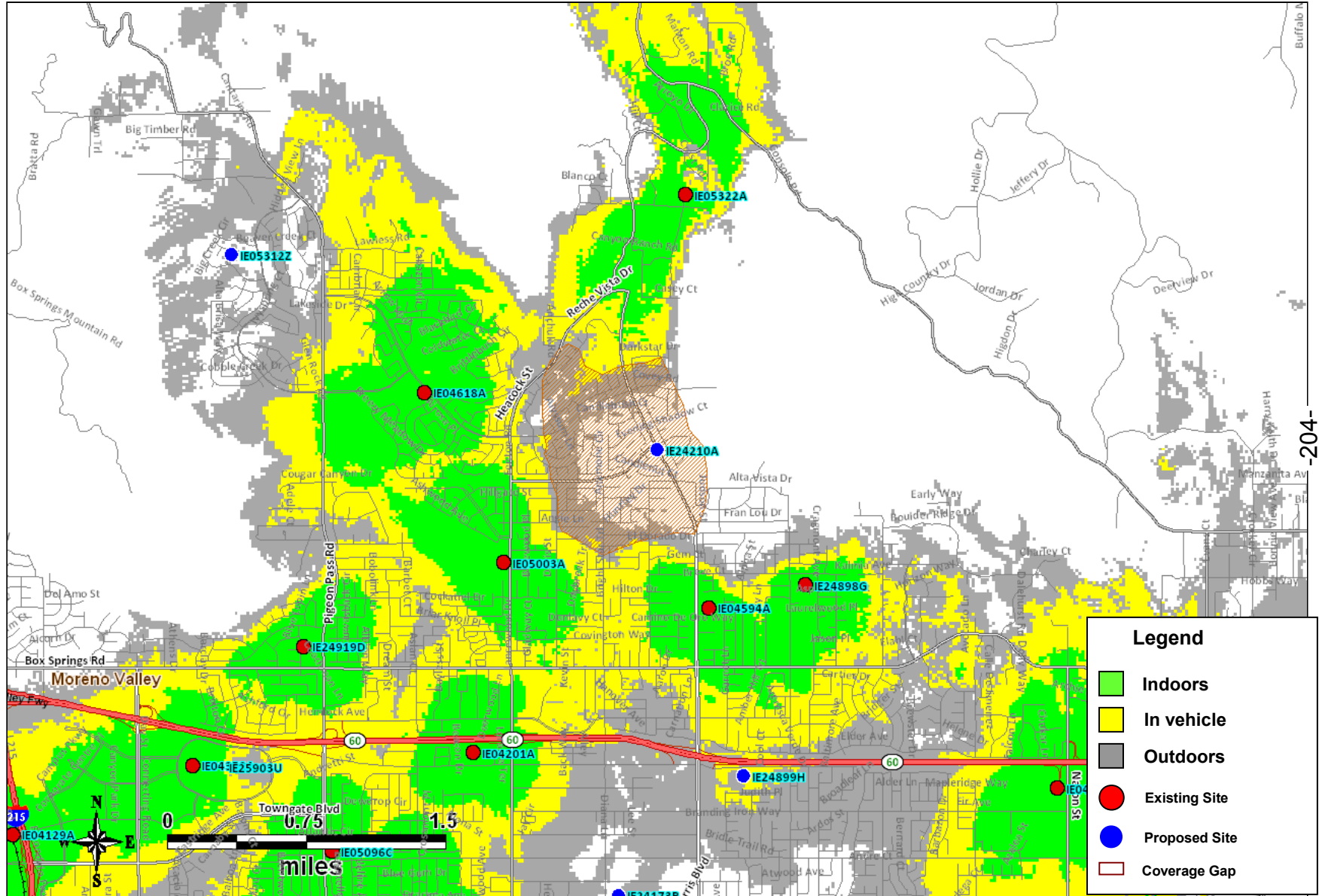
Zoning RF Map Summary
IE24210A

-203-

ATTACHMENT 9

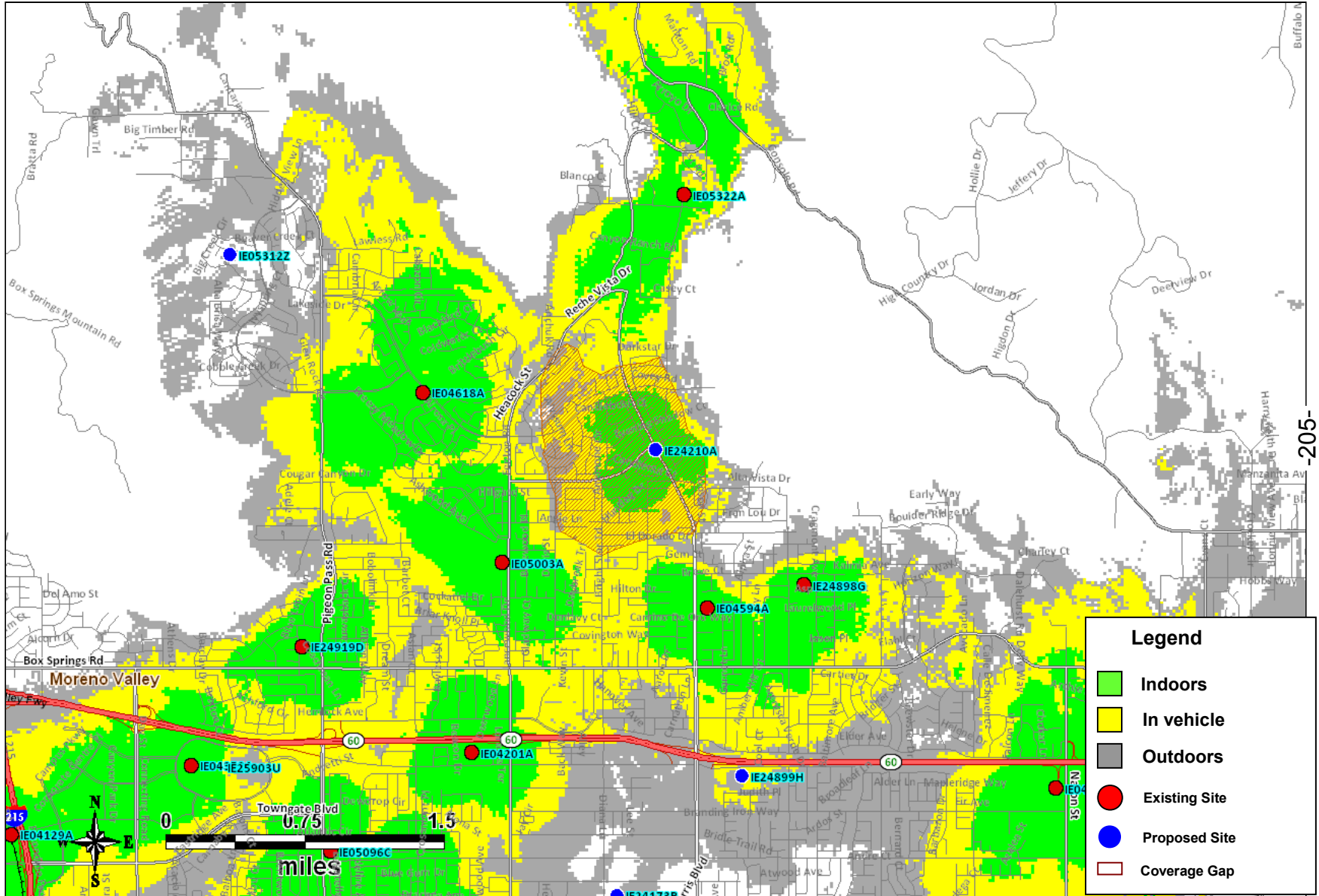
Predicted Coverage w/o the Proposed Site

T-Mobile Site IE24210A



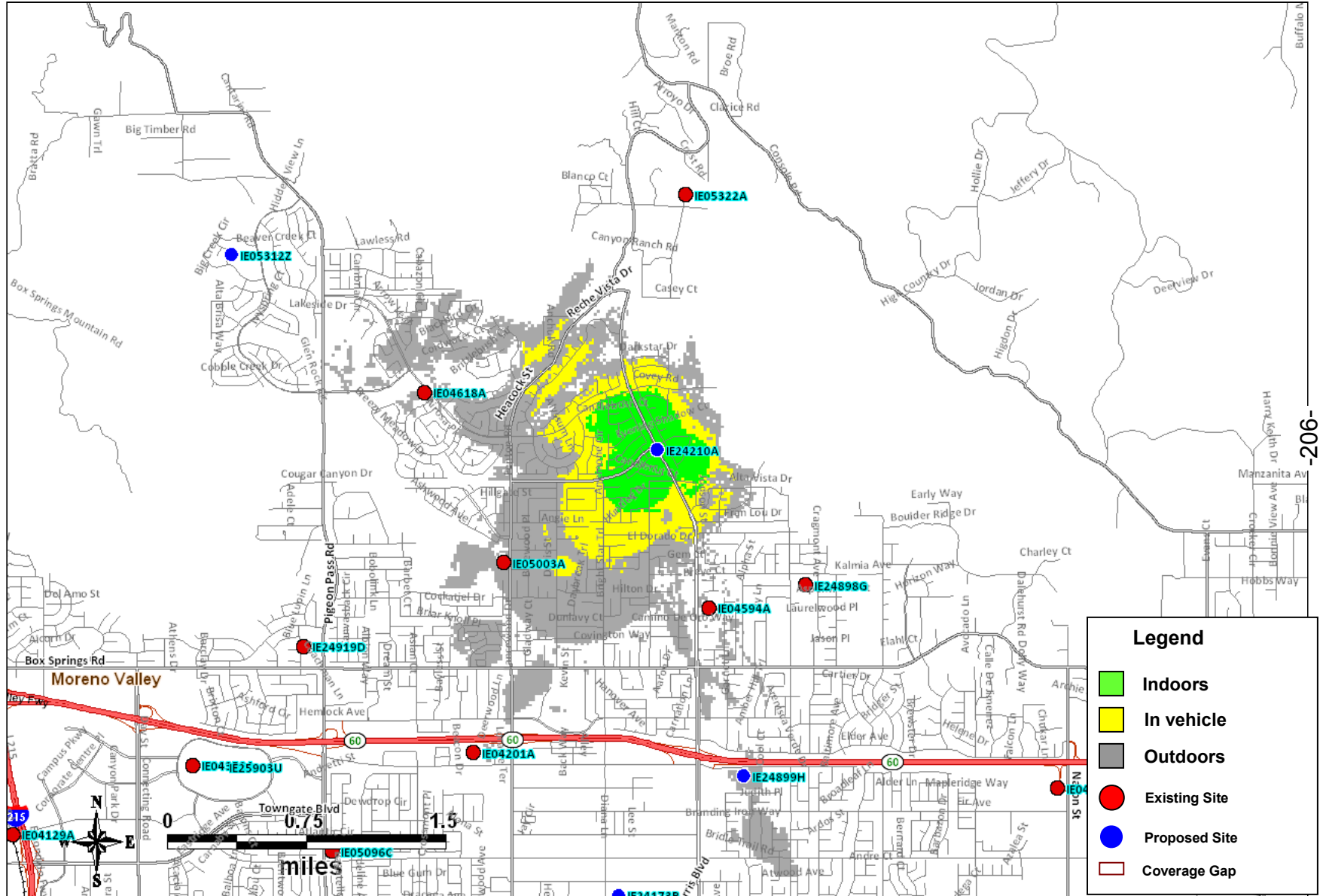
Predicted Coverage with the Proposed Site

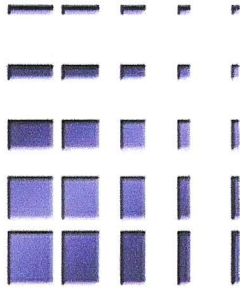
T-Mobile Site IE24210A



Predicted Coverage with the Proposed Site Only

T-Mobile Site IE24210A





KDC

ARCHITECTS. ENGINEERS, P.C.

Seattle Office

4720 200th St. SW,
Suite 200
Lynnwood, WA
98036
425-670-8651
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7442 S. Tucson Way,
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Englewood, Colorado
80112
303-750-6999
Fax 303-750-0236

Corona Office

411 Jenks Circle
Suite 101
Corona, CA 92880
951-273-9237
Fax 951-273-1816

Santa Rosa Office

1220 N Dutton Ave
Suite 107
Santa Rosa, CA 95401
707-541-2344
Fax 707-541-2301

KDC Asia Ltd.

472 Expand Building Level 5
Rajchadapisek Road, Samsen
Noak,
Huaykwang,
Bangkok 10320
+66 (0) 2938 9083
Fax +66 (0) 2938 9087

August 19, 2011

Sunnymead Ranch Homeowners Association

23600 Sunnymead Ranch Parkway
Moreno Valley, CA 92557

RE: Response to HOA Staff & Board Comments
Site Walk (July 13, 2011) Perris Blvd Right-of-Way
T-Mobile West Corporation

Attn: Betty Roth, General Manager

Dear Ms. Roth:

Pursuant to our recent conversation, this letter is intended to represent our understanding of the Sunnymead HOA comments stated during our project site walk of July 13, 2011. The purpose of the site walk was for myself and Richard Laird, Project Manager, to explain the design and installation of the proposed T-Mobile wireless street light pole facility within the Perris Blvd. Right-of-way, south of Manzanita Ave. At the site walk, we met with yourself, 2 members of the Board, a member of the landscape committee, and 2 member of your landscape maintenance crew.

Based on the meeting and discussion, it was our understanding that the Sunnymead HOA was opposed to any above ground equipment cabinet and screening shrubs since this would be the only location along Perris Blvd with this type of landscaping, and thus would not be aesthetically consistent with the rest of the Perris Blvd. Parkway. Additionally the HOA had concerns about new landscape maintenance created by the proposed landscaping. Solutions discussed at that time include re-location of the proposed T-Mobile street light facility to the south end of Perris Blvd. near the HOA boundary, or the under grounding of the SCE disconnect equipment and removal of the proposed landscaping to create a facility design similar to the provided example photo. It was subsequently indicated that if T-Mobile could match the furnished example photo, the Sunnymead HOA Board would not be opposed to the proposed T-Mobile wireless facility on Perris Blvd.

Following further discussion between our construction managers, Southern California Edison accepted an alternative underground disconnect cabinet, which allowed the removal of the previously proposed landscaping. A copy of the revised site plan and elevation drawings, and the example photo are attached for your review.

Based on our previous conversations, and the draft conditions of approval required by the City of Moreno Valley, T-Mobile will replace any landscaping in the Perris Blvd. right-of-way disturbed by the installation of the proposed wireless street light facility with landscaping in kind, as approved by the Sunnymead HOA. Additionally, any Sunnymead HOA irrigation connections/relocations required due the proposed T-Mobile project will be coordinated with the HOAs' landscape requirements and completed at T-Mobile's expense.

Please let me know if you believe also that the above information are accurate statements; should you disagree or have questions regarding any parts of the above statements, please contact me at 949-295-9031.

Thank you very much for the time and consideration you and the Sunnymead HOA Board have given to T-Mobile's proposed wireless project.

Respectfully,



James A. Rogers
On behalf of KDC Architects, Engineers PC
Authorized Agent for T-Mobile West Corporation

T-Mobile®

IE24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

PLANS PREPARED FOR:
T-Mobile
 Stick Together®
 3257 E. GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

PROJECT INFORMATION:
 IE24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

CURRENT ISSUE DATE:
 08/16/2011

ISSUED FOR:
 REV. ZONING SUBMITTAL

REV.	DATE	DESCRIPTION	BY
2	09/13/2010	ISSUED FOR REVISED ZONING SUBMITTAL	JPM
3	09/23/2010	ISSUED FOR REVISED ZONING SUBMITTAL	MGS
4	01/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	BAH
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6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE CHK.: TPP APV.: EJC

PLANS PREPARED BY:

KDC
 ARCHITECTS ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
 PHONE: 425.670.8651
 FAX: 425.712.0846

LICENSURE:

SHEET TITLE:
 TITLE SHEET

SHEET NUMBER: **T-1** REVISION: **7**
 209049

PROJECT INFORMATION

CALIFORNIA STATE CODE COMPLIANCE:
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2010 BUILDING STANDARDS ADMINISTRATIVE CODE.
- 2010 CALIFORNIA BUILDING CODE (CBC).
- 2010 CALIFORNIA ELECTRICAL CODE (CEC).
- 2010 CALIFORNIA ENERGY CODE.
- 2010 CALIFORNIA MECHANICAL CODE (CMC).
- 2010 CALIFORNIA PLUMBING CODE (CPC).
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- LOCAL BUILDING CODE.
- CITY/COUNTY ORDINANCES.

SITE ADDRESS:

WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557

PROPERTY OWNER:

WITHIN RIGHT-OF-WAY
 IN THE CITY OR MORENO VALLEY

SCE POLE BEING REMOVED: #4002690E

REPLACEMENT POLE: #040-01244

OCCUPANCY CLASSIFICATION: U-UNMANNED

TYPE OF CONSTRUCTION: VN

ZONING: R-1

TOTAL PROJECT AREA: 35± SQ. FT.

ASSESSORS PARCEL NUMBER: N/A

LATITUDE: 33° 57' 46.11" N
 LONGITUDE: 117° 13' 46.89" W
 ELEVATION: 1788'

JURISDICTION: CITY OF MORENO VALLEY

POWER:
 PHONE: (800) 990-7788

TELCO:
 PHONE: (800) 483-5000

PROJECT DESCRIPTION:

THIS PROPOSAL IS FOR THE INSTALLATION OF (1) PROPOSED UNDERGROUND 7'-0" x 5'-0" EQUIPMENT VAULT. ALSO THE ADDITION OF (3) PROPOSED ANTENNAS (1 PER SECTOR) MOUNTED WITHIN A RF-TRANSPARENT CANISTER ATOP OF A PROPOSED 29'-6" HIGH LIGHT POLE (OVERALL HEIGHT OF POLE W/ RF-CANISTER APPROX. 35'-0"±).

SHEET INDEX

ARCHITECTURAL	TITLE SHEET
T-1	TITLE SHEET
LS-1	TOPOGRAPHIC SURVEY
A-1	OVERALL SITE PLAN
A-2	EXISTING EQUIPMENT PLAN/DEMO PLAN
A-2.1	EQUIPMENT PLAN
A-3	NORTHWEST AND NORTHEAST ELEVATIONS

PROJECT DIRECTORY

APPLICANT:
 T-MOBILE WEST (ONTARIO OFFICE)
 3257 GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

REPRESENTATIVE:	NAME:	PHONE:
ZONING MANAGER:	LINDA PAUL	(909) 292-5095
CONSTRUCTION MANAGER:	DENIS DEMARCO	(714) 351-3057
DEVELOPMENT MANAGER:	JENNIFER CARNEY	(909) 975-3667
RF MANAGER:	JAYSON MOJICA	(909) 684-3873
CONST. SUPERVISOR:	KEVIN CADILE	(951) 496-2128

APPLICANT AGENT:
 JAMES ROGERS CONSULTING
 31097 VIA SONORA
 SAN JUAN CAPISTRANO, CA 92675
 CONTACT: JAMES ROGERS
 PHONE: (949) 295-9031

ARCHITECT/ELECTRICAL ENGINEER:
 KDC ARCHITECTS ENGINEERS, P.C.
 4720 200TH STREET SW., SUITE 200
 LYNNWOOD, WA 98036
 CONTACT: ERIC CAMP
 PHONE: (425) 670-8651
 FAX: (425) 712-0846

APPROVALS BLOCK

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

DATE

CITY
 PRINTED NAME: _____

SIGNATURE: _____

ZONING REP.
 PRINTED NAME: _____

SIGNATURE: _____

DEVELOP. MGR
 PRINTED NAME: _____

SIGNATURE: _____

CONST. MGR
 PRINTED NAME: _____

SIGNATURE: _____

ZONING MGR.
 PRINTED NAME: _____

SIGNATURE: _____

RF ENGINEER
 PRINTED NAME: _____

SIGNATURE: _____

OPERATIONS
 PRINTED NAME: _____

SIGNATURE: _____

SAC REP.
 PRINTED NAME: _____

SIGNATURE: _____

SYMBOLS LIST

	ELEVATION NUMBER SHEET NUMBER		ELECTRIC METER
	DETAIL NUMBER SHEET NUMBER		ELECTRICAL WIRING (TURNING UP)
	SECTION NUMBER SHEET NUMBER		ELECTRICAL WIRING (TURNING DOWN)
	PROPERTY LINE		BACKBOARD
	ELECTRICAL SERVICE		RECEPTACLE
	TELCO SERVICE		SPECIAL RECEPTACLE
	GROUNDING		QUADRUPLEX RECEPTACLE
[N]	NEW		MASTER GROUND BAR
[E]	EXISTING		GROUND ATTACHMENT

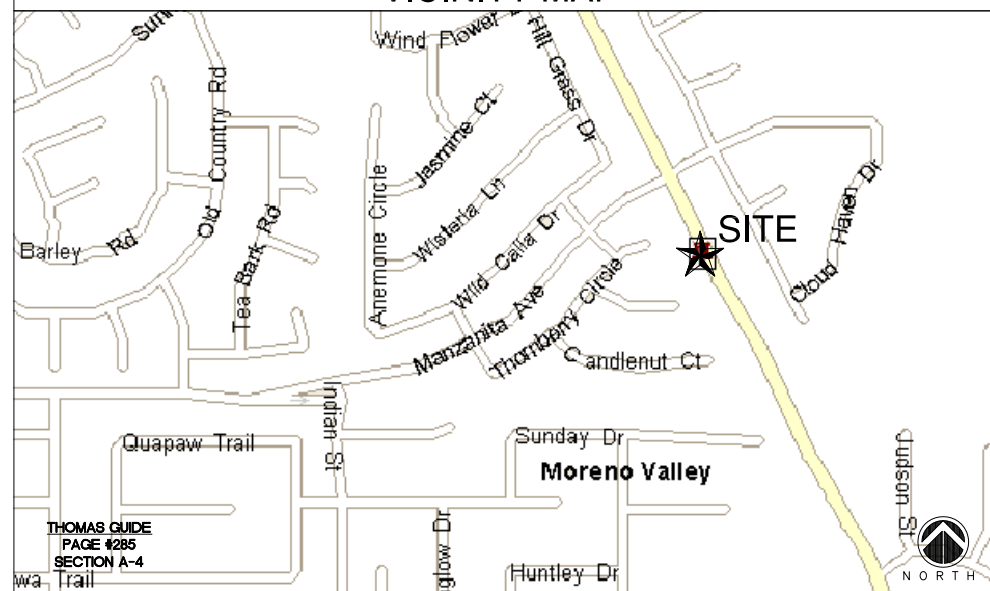
CONFIDENTIAL AND PROPRIETARY

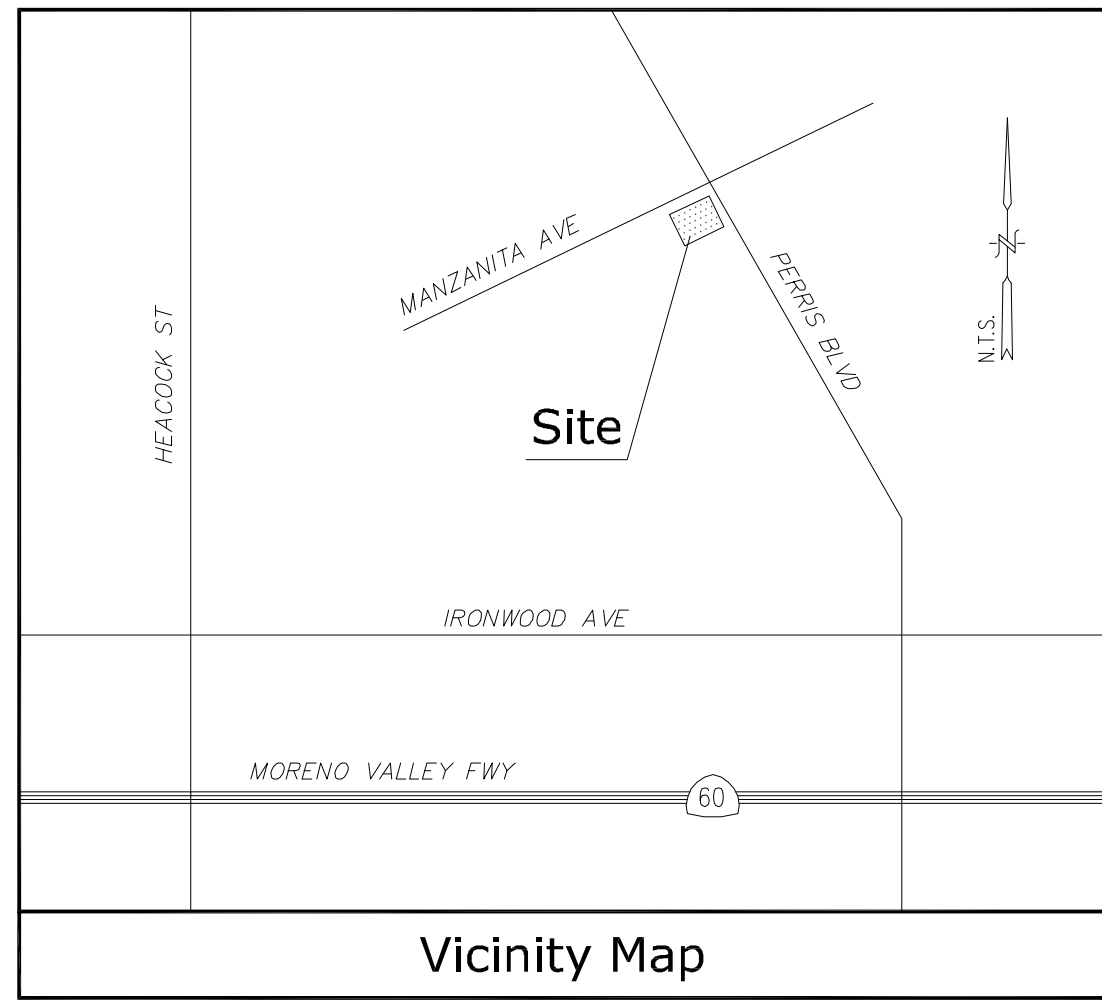
Not for disclosure outside T-MOBILE without permission.

DRIVING DIRECTIONS

DRIVING DIRECTIONS FROM T-MOBILE ONTARIO, CA OFFICE:
 DEPART ON E GUASTI RD (NORTH-WEST); TURN LEFT TO STAY ON E GUASTI RD; TURN LEFT (NORTH) ONTO N HAVEN AVE; TAKE RAMP (RIGHT) ONTO I-10 [SAN BERNARDINO FWY]; TAKE RAMP (RIGHT) ONTO I-15 [ONTARIO FWY]; TURN OFF ONTO RAMP TAKE RAMP (LEFT) ONTO SR-60 [POMONA FWY]; ROAD NAME CHANGES TO I-215 [SR-60]; KEEP LEFT ONTO SR-60 [MORENO VALLEY FWY]; AT EXIT 62, TURN RIGHT ONTO RAMP; TURN LEFT (EAST) ONTO SUNNYMEAD BLVD; TURN LEFT (NORTH) ONTO PERRIS BLVD; TURN RIGHT (EAST) ONTO HEMLOCK AVE, THEN IMMEDIATELY TURN LEFT (NORTH) ONTO PERRIS BLVD
 ARRIVE 33.96280°N 117.22969°W

VICINITY MAP





Title Report
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Legal Description
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Assessor's Parcel No.
NOT APPLICABLE. (RIGHT OF WAY SURVEY)

Easements
NOT AVAILABLE

Project Area
AS SHOWN (EQUIPMENT VAULT)

Utility Route
AS SHOWN

Geographic Coordinates at Proposed Street Light

1983 DATUM: LATITUDE 33°57'46.04"N LONGITUDE 117°13'46.82"W
ELEVATION = 1951.2 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION:
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

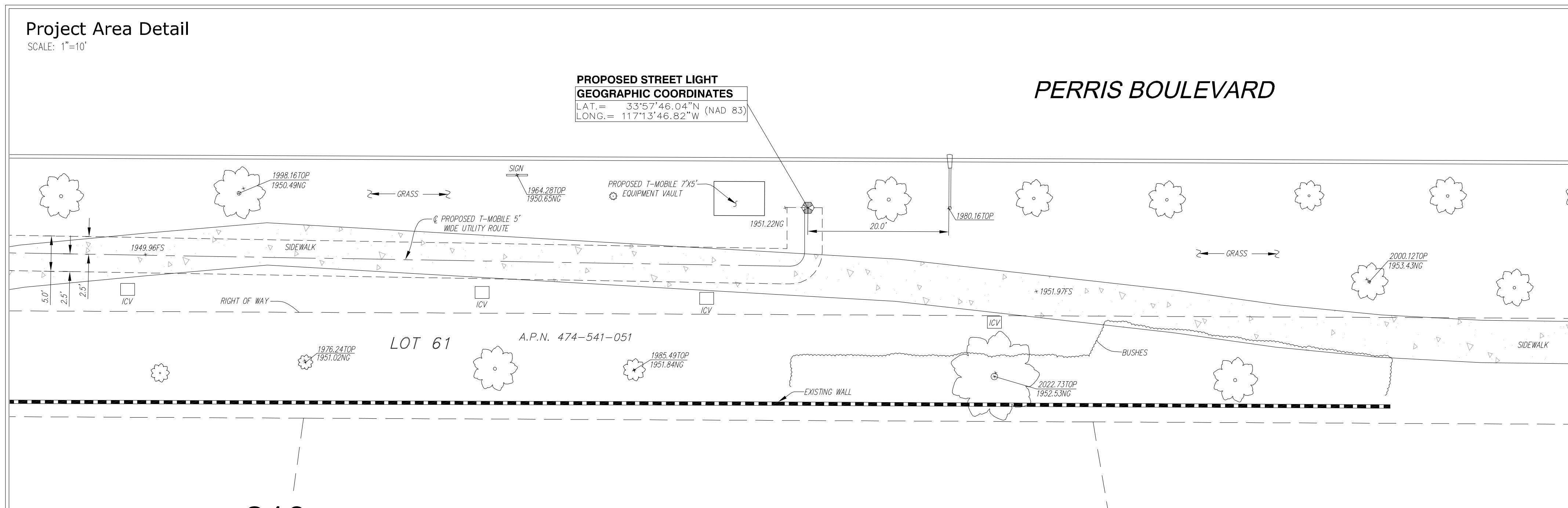
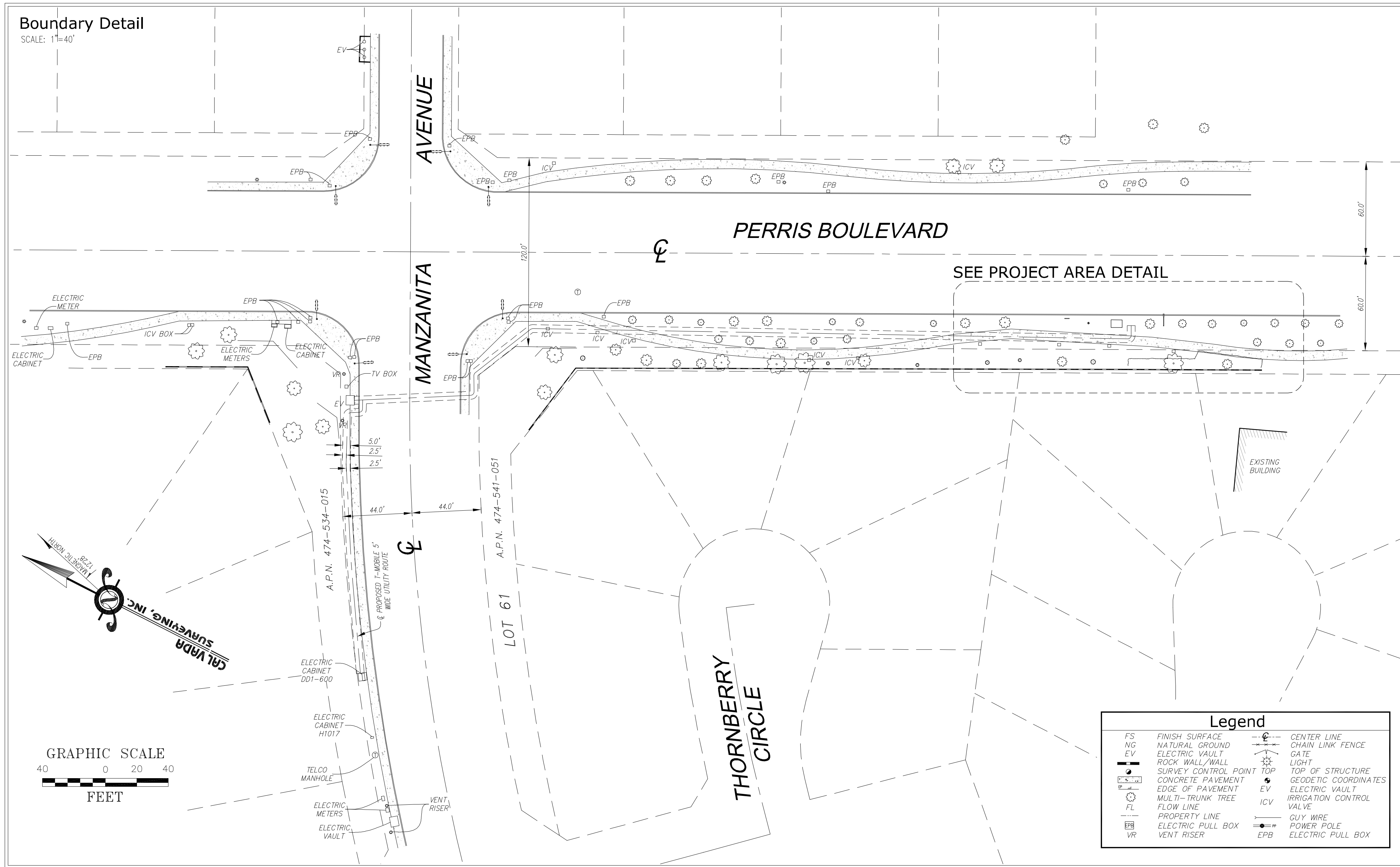
THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 6.

Bench Mark

THE CALIFORNIA SPATIAL REFERENCE CENTER C.O.R.S "MLFP",
ELEVATION = 1554.12 FEET (NAVD 88).

Date of Survey

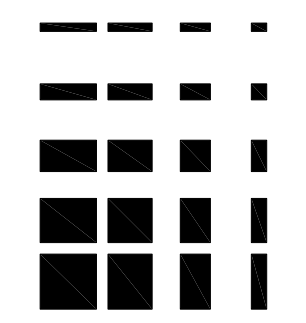
JULY 29, 2010



T-Mobile
Stick Together®

3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

A&E DEVELOPMENT:



KDC
ARCHITECTS - ENGINEERS, P.C.
4720 200TH STREET SW, SUITE 200
LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

CONSULTANT:

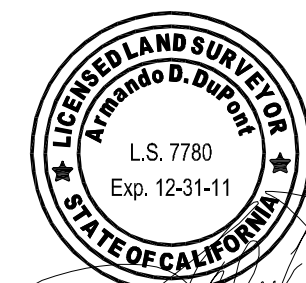
CALVADA

SURVEYING, INC.

411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9960 Fax: 951-280-9746
Toll Free: 800-CALVADA www.calvada.com

JOB NO. 10561

LICENSURE:



REVISION:

REVISION:	DATE / BY:	DESCRIPTION:
	08/03/2010	SUBMITTAL
	GBM	
1	09/01/10	FINAL
	AL	

SITE INFORMATION:

IE24210A
PERRIS BLVD
R.O.W.

WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

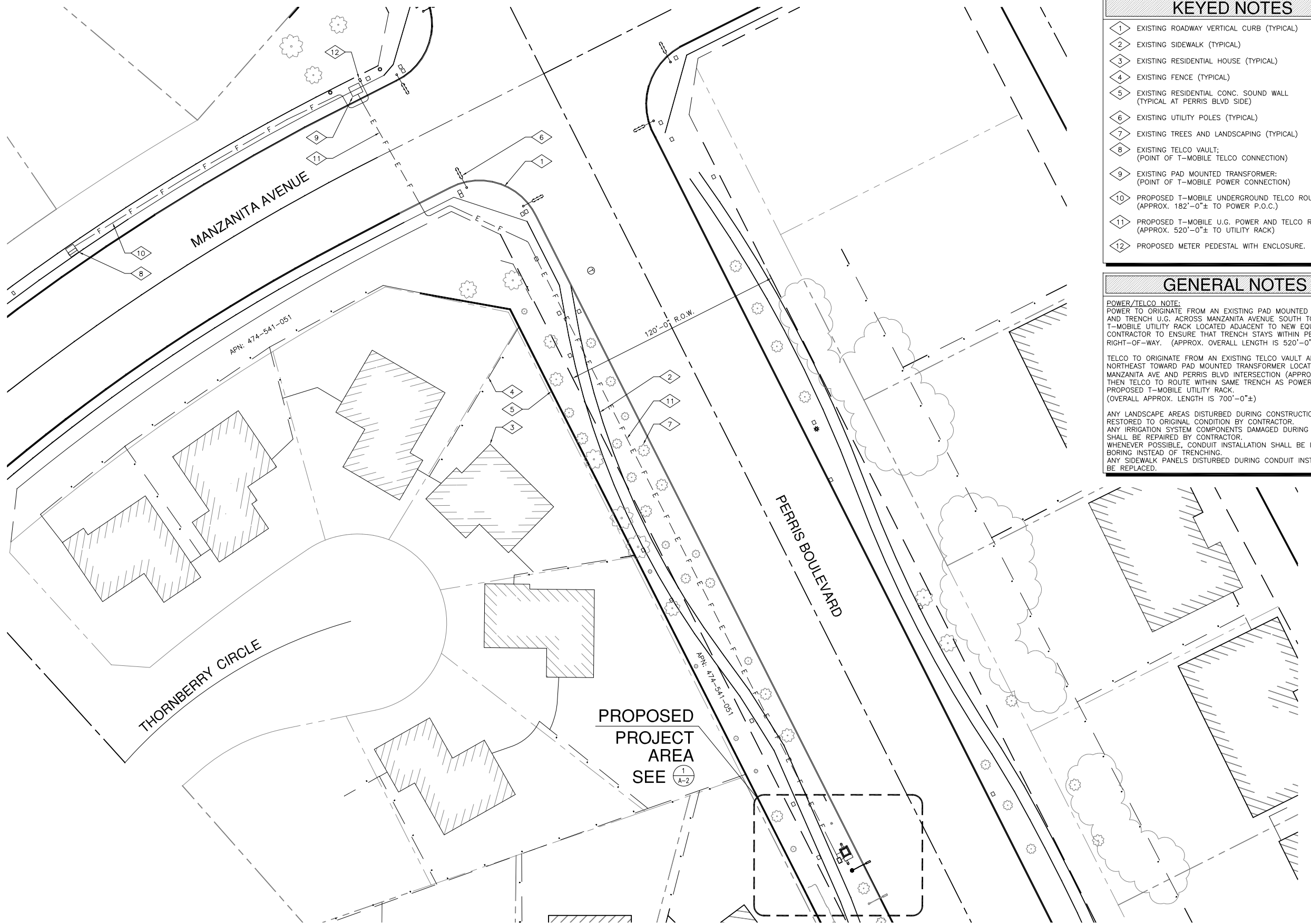
SHEET TITLE:

TOPOGRAPHIC
SURVEY

SHEET NUMBER:

LS-1

SHEET 1 OF 1



- ### KEYED NOTES
- 1 EXISTING ROADWAY VERTICAL CURB (TYPICAL)
 - 2 EXISTING SIDEWALK (TYPICAL)
 - 3 EXISTING RESIDENTIAL HOUSE (TYPICAL)
 - 4 EXISTING FENCE (TYPICAL)
 - 5 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
 - 6 EXISTING UTILITY POLES (TYPICAL)
 - 7 EXISTING TREES AND LANDSCAPING (TYPICAL)
 - 8 EXISTING TELCO VAULT; (POINT OF T-MOBILE TELCO CONNECTION)
 - 9 EXISTING PAD MOUNTED TRANSFORMER; (POINT OF T-MOBILE POWER CONNECTION)
 - 10 PROPOSED T-MOBILE UNDERGROUND TELCO ROUTE; (APPROX. 182'-0"± TO POWER P.O.C.)
 - 11 PROPOSED T-MOBILE U.G. POWER AND TELCO ROUTE; (APPROX. 520'-0"± TO UTILITY RACK)
 - 12 PROPOSED METER PEDESTAL WITH ENCLOSURE.

GENERAL NOTES

POWER/TELCO NOTE:
 POWER TO ORIGINATE FROM AN EXISTING PAD MOUNTED TRANSFORMER AND TRENCH U.G. ACROSS MANZANITA AVENUE SOUTH TOWER PROPOSED T-MOBILE UTILITY RACK LOCATED ADJACENT TO NEW EQUIPMENT VAULT; CONTRACTOR TO ENSURE THAT TRENCH STAYS WITHIN PERRIS BOULEVARD RIGHT-OF-WAY. (APPROX. OVERALL LENGTH IS 520'-0"±)

TELCO TO ORIGINATE FROM AN EXISTING TELCO VAULT AND TRENCH U.G. NORTHEAST TOWARD PAD MOUNTED TRANSFORMER LOCATED AND MANZANITA AVE AND PERRIS BLVD INTERSECTION (APPROX. 180'-0"±); THEN TELCO TO ROUTE WITHIN SAME TRENCH AS POWER TOWARD PROPOSED T-MOBILE UTILITY RACK. (OVERALL APPROX. LENGTH IS 700'-0"±)

ANY LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR.
 ANY IRRIGATION SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR.
 WHENEVER POSSIBLE, CONDUIT INSTALLATION SHALL BE INSTALLED VIA BORING INSTEAD OF TRENCHING.
 ANY SIDEWALK PANELS DISTURBED DURING CONDUIT INSTALLATION SHALL BE REPLACED.

PLANS PREPARED FOR:

T-Mobile

Stick Together[®]

3257 E. GUAISTI ROAD, SUITE 200
 ONTARIO, CA 91761

PROJECT INFORMATION:

E24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

CURRENT ISSUE DATE:

08/16/2011

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REV. ZONING SUBMITTAL

REV.:	DATE:	DESCRIPTION:	BY:
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6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE CHK.: TPP APV.: EJC

PLANS PREPARED BY:

KDC
 ARCHITECTS, ENGINEERS, P.C.
 4720 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
 PHONE: 425.670.8651
 FAX: 425.712.0846

LICENSURE:

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER: **A-1** REVISION: **7**

209049

ANTENNA / COAX SCHEDULE							
SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNAS	ANTENNA MODEL NUMBER	NUMBER OF COAX RUNS	COAX SIZE	COAX LENGTH
"1"	0°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±
"2"	120°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±
"3"	240°	32'-11"	1	TMBXX-6516-R2M	4 NEW	1/2"	50'-0"±

KEYED NOTES

- 1 EXISTING ROADWAY CONC. VERTICAL CURB (TYPICAL)
- 2 EXISTING CONC. SIDEWALK (TYPICAL)
- 3 EXISTING TREES AND LANDSCAPING (TYPICAL)
- 4 EXISTING IRRIGATION CONTROL BOX (TYPICAL)
- 5 EXISTING SCE STREET LIGHT POLE #4002690E (TO BE REMOVED)
- 6 EXISTING SIGN
- 7 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
- 8 PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
- 9 PROPOSED SCE 29'-6" HIGH LIGHT POLE, #040-01244 (OVERALL HEIGHT WITH RF-CANISTER = 35'-0"±)
- 10 PROPOSED T-MOBILE UNDERGROUND COAX ROUTE (APPROX. 6'-0"±)
- 11 PROPOSED SCE LIGHT STANDARD AT NEW POLE (TYPE AND HEIGHT TO MATCH EXISTING)
- 12 PROPOSED T-MOBILE 2'-0" RF-TRANSPARENT CANISTER AT TOP OF NEW LIGHT POLE
- 13 PROPOSED T-MOBILE PANEL ANTENNAS (1/5 A-5) (3 TOTAL, 1 PER SECTOR)
- 14 PROPOSED T-MOBILE U.G. POWER AND TELCO ROUTE; REFER TO SHEET A-1 FOR CONTINUATION (4 E-5)
- 15 EXISTING GRASS AREA (TYPICAL)
- 16 PROPOSED T-MOBILE 7'-0" x 5'-0" PROJECT AREA (35± SQ. FT.)
- 17 PROPOSED T-MOBILE 10" VENT (TYP. OF 2)
- 18 PROPOSED T-MOBILE 24" x 36" x 18" DEEP IN GROUND HANDHOLE FOR DISCONNECT

GENERAL NOTES

POWER/TELCO NOTE:
POWER TO ORIGINATE FROM AN EXISTING PAD MOUNTED TRANSFORMER AND TRENCH U.G. ACROSS MANZANITA AVENUE SOUTH TOWER PROPOSED T-MOBILE UTILITY RACK LOCATED ADJACENT TO NEW EQUIPMENT VAULT; CONTRACTOR TO ENSURE THAT TRENCH STAYS WITHIN PERRIS BOULEVARD RIGHT-OF-WAY. (APPROX. OVERALL LENGTH IS 520'-0"±)

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LIGHT POLE NOTE:
PROPOSED SCE LIGHT POLE AND RF-TRANSPARENT CANISTER TO BE PAINTED TO MATCH EXISTING LIGHT POLES ALONG PERRIS BLVD. CONTRACTOR TO VERIFY LIGHT STANDARD TYPE AND HEIGHT OF EXISTING LIGHT STANDARDS ALONG PERRIS BLVD PRIOR TO CONSTRUCTION.

NEW STREET LIGHT TO MATCH EXISTING STREET LIGHT TYPE, MOUNTING HEIGHT AND WATTAGE.

LANDSCAPE NOTE:
ALL DISTURBED LANDSCAPING SHALL BE REPLACED IN KIND.

PLANS PREPARED FOR:

T-Mobile
Stick Together[®]

3257 E. GUASTI ROAD, SUITE 200
ONTARIO, CA 91761

PROJECT INFORMATION:

E24210A
PERRIS BLVD R.O.W.
WEST SIDE OF PERRIS BLVD
SOUTH OF MANZANITA
MORENO VALLEY, CA 92557
RIVERSIDE COUNTY

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DRAWN BY:	CHK.:	APV.:
AJE	TPP	EJC

PLANS PREPARED BY:

KDC
ARCHITECTS, ENGINEERS, P.C.
4720 200TH STREET SW SUITE 200
LYNNWOOD, WA 98036
PHONE: 425.670.8651
FAX: 425.712.0846

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SHEET TITLE:

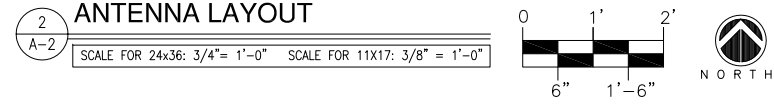
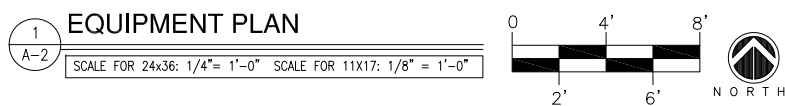
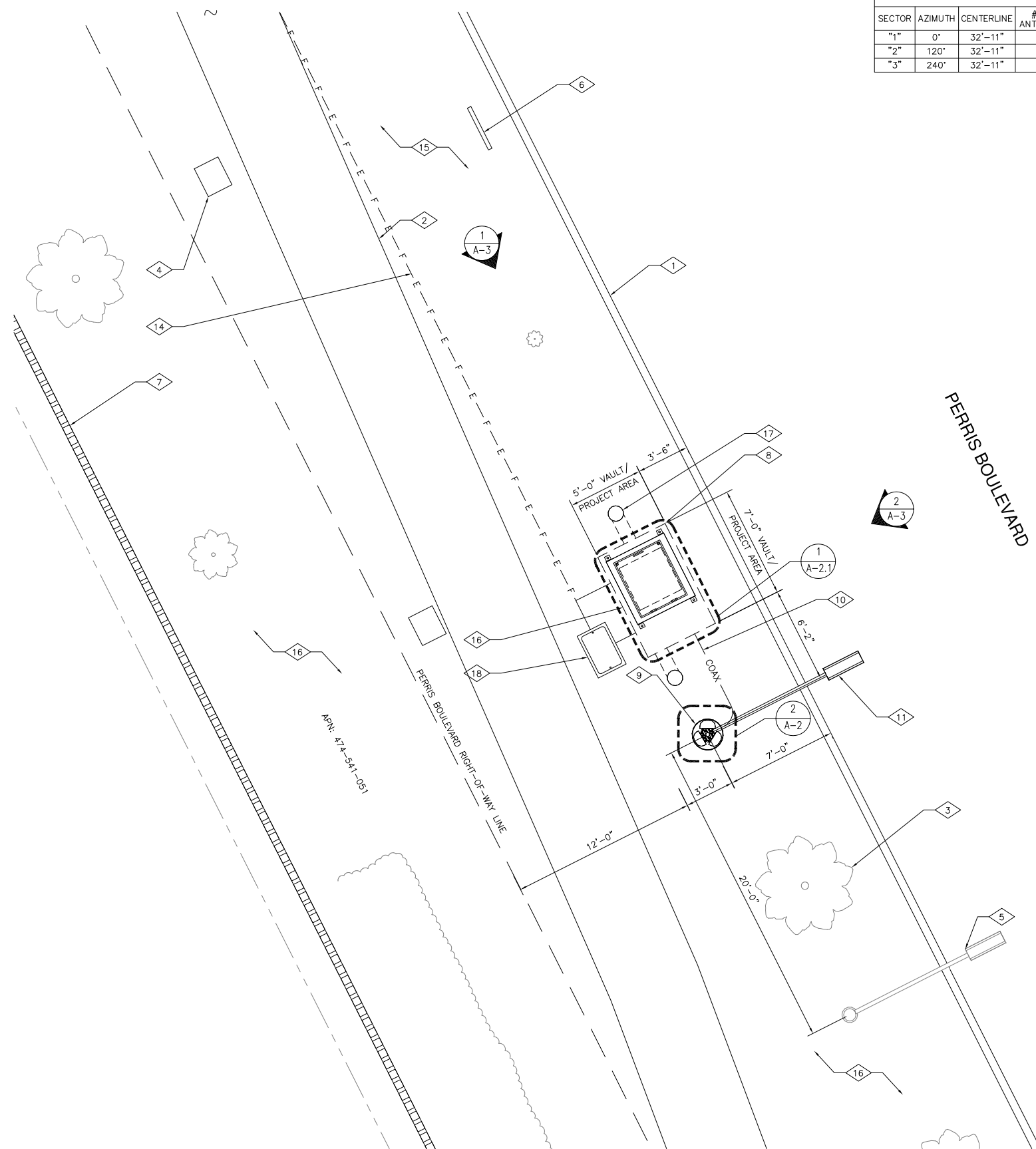
EQUIPMENT PLAN

SHEET NUMBER: REVISION:

A-2

7

209049



KEYED NOTES	
1	PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
2	PROPOSED T-MOBILE LADDER
3	PROPOSED T-MOBILE ELECTRICAL PANEL
4	PROPOSED T-MOBILE FIRE EXTINGUISHER
5	PROPOSED T-MOBILE EXHAUST FAN
6	PROPOSED T-MOBILE CABLE ENTRY PORTS
7	PROPOSED T-MOBILE SUMP PIT
8	PROPOSED T-MOBILE SUMP PUMP
9	PROPOSED T-MOBILE RBS CABINET
10	PROPOSED T-MOBILE TELCO ROUTE

PLANS PREPARED FOR:
T-Mobile
 Stick Together[®]
 3257 E. GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

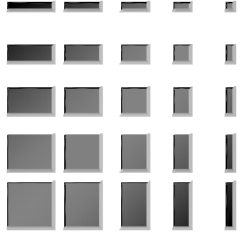
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7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

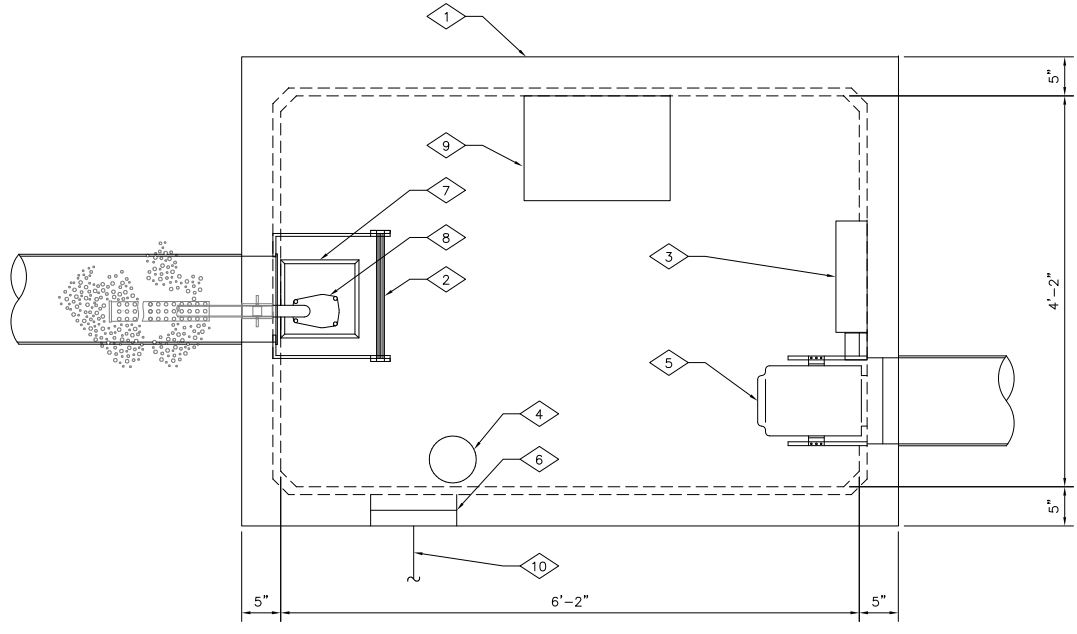
DRAWN BY: AJE CHK.: TPP APV.: EJC

PLANS PREPARED BY:

KDC
 ARCHITECTS, ENGINEERS, P.C.
 2000 200TH STREET SW SUITE 200
 LYNNWOOD, WA 98036
 PHONE: 425.670.8651
 FAX: 425.712.0846

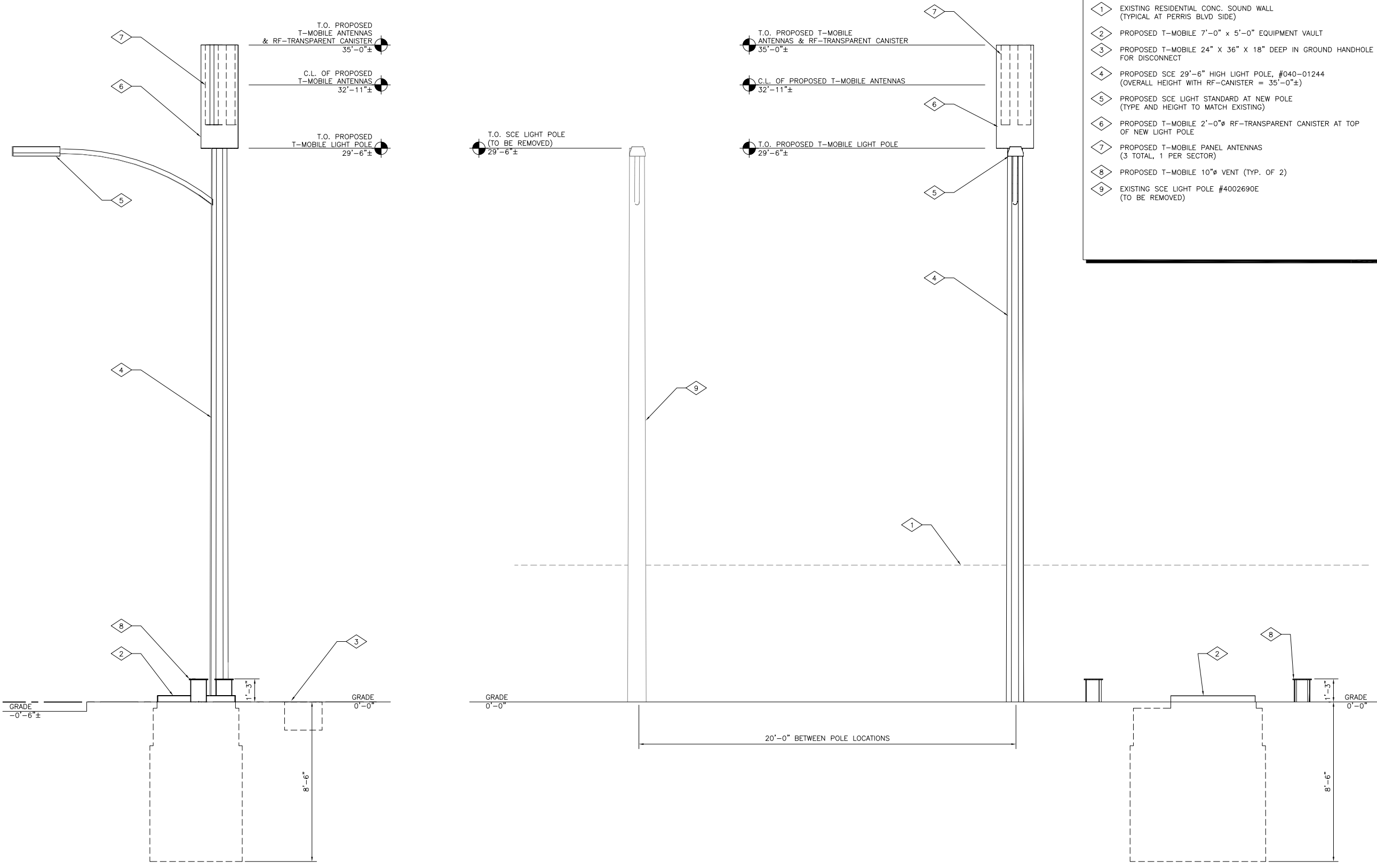
LICENSURE:

SHEET TITLE:
 EQUIPMENT PLAN

SHEET NUMBER: **A-2.1** REVISION: **7**
 209049



1
A-2.1
EQUIPMENT PLAN
 SCALE FOR 24x36: 1" = 1'-0" SCALE FOR 11x17: 1/2" = 1'-0"
 0 1' 2'
 0.5' 1.5' NORTH



- ### KEYED NOTES
- 1 EXISTING RESIDENTIAL CONC. SOUND WALL (TYPICAL AT PERRIS BLVD SIDE)
 - 2 PROPOSED T-MOBILE 7'-0" x 5'-0" EQUIPMENT VAULT
 - 3 PROPOSED T-MOBILE 24" x 36" x 18" DEEP IN GROUND HANDHOLE FOR DISCONNECT
 - 4 PROPOSED SCE 29'-6" HIGH LIGHT POLE, #040-01244 (OVERALL HEIGHT WITH RF-CANISTER = 35'-0"±)
 - 5 PROPOSED SCE LIGHT STANDARD AT NEW POLE (TYPE AND HEIGHT TO MATCH EXISTING)
 - 6 PROPOSED T-MOBILE 2'-0" RF-TRANSPARENT CANISTER AT TOP OF NEW LIGHT POLE
 - 7 PROPOSED T-MOBILE PANEL ANTENNAS (3 TOTAL, 1 PER SECTOR)
 - 8 PROPOSED T-MOBILE 10" VENT (TYP. OF 2)
 - 9 EXISTING SCE LIGHT POLE #4002690E (TO BE REMOVED)

PLANS PREPARED FOR:
T-Mobile
 Stick Together[®]
 3257 E. GUASTI ROAD, SUITE 200
 ONTARIO, CA 91761

PROJECT INFORMATION:
 E24210A
 PERRIS BLVD R.O.W.
 WEST SIDE OF PERRIS BLVD
 SOUTH OF MANZANITA
 MORENO VALLEY, CA 92557
 RIVERSIDE COUNTY

CURRENT ISSUE DATE:
 08/16/2011

ISSUED FOR:
 REV. ZONING SUBMITTAL

REV.	DATE	DESCRIPTION	BY
2	09/13/2010	ISSUED FOR REVISED ZONING SUBMITTAL	JPM
3	09/23/2010	ISSUED FOR REVISED ZONING SUBMITTAL	MGS
4	01/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	BAH
5	04/05/2011	ISSUED FOR REVISED ZONING SUBMITTAL	JEG
6	06/08/2011	ISSUED FOR REVISED ZONING SUBMITTAL	AJE
7	08/16/2011	ISSUED FOR REVISED ZONING SUBMITTAL	RGL

DRAWN BY: AJE CHK.: TPP APV.: EJC

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LICENSURE:

SHEET TITLE:
 NORTHWEST AND
 NORTHEAST ELEVATIONS

SHEET NUMBER: **A-3** REVISION: **7**
 209049

1 NORTHWEST ELEVATION
 SCALE FOR 24x36: 3/8" = 1'-0" SCALE FOR 11x17: 3/16" = 1'-0"

2 NORTHEAST ELEVATION
 SCALE FOR 24x36: 3/8" = 1'-0" SCALE FOR 11x17: 3/16" = 1'-0"

IE24210A Perris Blvd. ROW
Perris Blvd./Manzanita Ave.

T-Mobile West Corporation
KDC Architects, Engineers



Example T-Mobile/Southern California Edison Street Light Pole

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T-Mobile West Corporation
 3257 E. Guasti Rd. #200
 Ontario, CA 91761



NEIGHBORHOOD OPEN-HOUSE

Dear Neighbors - You are Invited to an Open-House Meeting:

T-Mobile is bringing improved wireless coverage to residents in your neighborhood to help accommodate the growing number of wireless calls and data transmissions made on the T-Mobile network. Our customers have told us that they expect solid coverage where they live, work and play, and this level of coverage is in increasing demand in residential areas like yours.

We welcome the opportunity to discuss the proposed T-Mobile wireless communication facility with you in more detail.

Date: October 11, 2011 (Tuesday)
Time: 5:00pm – 7:00pm
Location: Sunnymead Ranch Clubhouse
 23600 Sunnymead Ranch Parkway
 Moreno Valley, CA 92557

The Proposed Wireless Facility

We are proposing to install an antenna cone on a street light pole located on the west side of the Perris Blvd. right-of-way, south of Manzanita Ave. Three (3) antennas will be concealed within the cone on top of the light pole. The necessary radio equipment will be placed in an underground vault within the public right-of-way. The wireless facility's appearance will be similar to the photograph to the right.



Example Street Light Pole

Benefits of the New Facility

- The needed capacity provided by the new facility will help ensure that 9-1-1 calls are placed from wireless phones in the area will reach and stay connected with emergency services personnel.
- The facility is designed to blend into the surrounding area while ensuring coverage and call quality will not be diminished.
- T-Mobile customers will have expanded coverage throughout their homes as well as areas throughout the neighborhood.

If you have questions but are unable to attend the Open-House Meeting, please feel free to contact Jim Rogers (949-295-9031) on behalf of T-Mobile West.

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