



REVISED AGENDA

**CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF
THE CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
BOARD OF LIBRARY TRUSTEES**

May 1, 2018

REGULAR MEETING – 6:00 PM

City Council Study Sessions

Second Tuesday of each month – 6:00 p.m.

City Council Meetings

Special Presentations – 5:00 P.M.

First & Third Tuesday of each month – 6:00 p.m.

City Council Closed Session

Will be scheduled as needed at 4:00 p.m.

City Hall Council Chamber – 14177 Frederick Street

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Dr. Yxstian A. Gutierrez, Mayor

Victoria Baca, Mayor Pro Tem
Ulises Cabrera, Council Member

David Marquez, Council Member
Jeffrey J. Giba, Council Member

AGENDA
CITY COUNCIL OF THE CITY OF MORENO VALLEY
May 1, 2018

CALL TO ORDER - 5:00 PM

SPECIAL PRESENTATIONS

1. Business Spotlight Presentation
2. Proclamation Recognizing May 3, 2018 as the National Day of Prayer
3. Proclamation Recognizing May as Mental Health Month
4. Proclamation Recognizing May 13 – 19 as National Police Week
5. Proclamation Recognizing May 5, 2018 as Cinco de Mayo

REVISED AGENDA
JOINT MEETING OF THE
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF THE
CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
AND THE BOARD OF LIBRARY TRUSTEES

THE CITY COUNCIL RECEIVES A SEPARATE STIPEND FOR CSD MEETINGS

REGULAR MEETING – 6:00 PM
MAY 1, 2018

CALL TO ORDER

Joint Meeting of the City Council, Community Services District, City as Successor Agency for the Community Redevelopment Agency, Housing Authority and the Board of Library Trustees - actions taken at the Joint Meeting are those of the Agency indicated on each Agenda item.

PLEDGE OF ALLEGIANCE

INVOCATION

Pastor Ji Nelson, ClearPoint Church

ROLL CALL

INTRODUCTIONS

PUBLIC COMMENTS ON MATTERS ON THE AGENDA WILL BE TAKEN UP AS THE ITEM IS CALLED FOR BUSINESS, BETWEEN STAFF'S REPORT AND CITY COUNCIL DELIBERATION (SPEAKER SLIPS MAY BE TURNED IN UNTIL THE ITEM IS CALLED FOR BUSINESS.)

PUBLIC COMMENTS ON ANY SUBJECT NOT ON THE AGENDA UNDER THE JURISDICTION OF THE CITY COUNCIL

Those wishing to speak should complete and submit a BLUE speaker slip to the Sergeant-at-Arms. There is a three-minute time limit per person. All remarks and questions shall be addressed to the presiding officer or to the City Council.

JOINT CONSENT CALENDARS (SECTIONS A-D)

All items listed under the Consent Calendars, Sections A, B, C, and D are considered to be routine and non-controversial, and may be enacted by one motion unless a member of the City Council, Community Services District, City as Successor Agency for the Community Redevelopment Agency, Housing Authority or the Board of Library Trustees requests that an item be removed for separate action. The motion to adopt the Consent Calendars is deemed to be a separate motion by each Agency and shall be so recorded by the City Clerk. Items withdrawn for report or discussion will be heard after public hearing items.

A. CONSENT CALENDAR-CITY COUNCIL

- A.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- A.2. MINUTES - CITY COUNCIL - STUDY SESSION - APR 10, 2018 6:00 PM

Recommendation: Approve as submitted.

- A.3. MINUTES - CITY COUNCIL - CLOSED SESSION - APR 17, 2018 4:30 PM

Recommendation: Approve as submitted.

- A.4. CITY COUNCIL SUMMER MEETINGS SCHEDULE (Report of: City Clerk)

Recommendation:

That the City Council:

1. Set the summer meeting schedule that cancels the July 3rd, July 17th and August 7th regular meetings, and the July 10th and August 14th study sessions.

- A.5. LIST OF PERSONNEL CHANGES (Report of: Human Resources)

Recommendation:

1. Ratify the list of personnel changes as described.

- A.6. PAYMENT REGISTER - FEBRUARY 2018 (Report of: Financial & Management Services)

Recommendation:

1. Receive and file the Payment Register.

- A.7. APPROVAL OF RESOLUTION FOR PARTICIPATION IN THE COUNTY OF RIVERSIDE MORTGAGE CREDIT CERTIFICATE (MCC) PROGRAM (Report of: Financial & Management Services)

Recommendation:

1. Adopt Resolution No. 2018-xx. A Resolution of the City Council of the City of Moreno Valley, California, participating with the County of Riverside Mortgage Credit Certificate (MCC) Program.

- A.8. ADOPT A RESOLUTION APPROVING AN APPLICATION FOR AUTHORIZATION TO ACCESS STATE AND FEDERAL LEVEL SUMMARY CRIMINAL HISTORY INFORMATION FOR EMPLOYMENT, VOLUNTEERS, AND CONTRACTORS, LICENSING OR CERTIFICATION PURPOSES (Report of: Financial & Management Services)

Recommendation:

1. Adopt a Resolution, authorizing the City to receive Live Scan Background reports for Commercial Cannabis business owners, employees and operators.

- A.9. SUPPLEMENTAL LAW ENFORCEMENT SERVICES ACCOUNT (SLESA) EXPENDITURE PLAN FOR FY17-18 (Report of: City Manager)

Recommendations:

1. Approve the attached Supplemental Law Enforcement Services Account (SLESA) Expenditure Plan for FY 2017-18.
2. Approve an increase of \$114,516 to the SLESA Grant Fund (Fund 2410) FY 2017-18 revenue budget to reflect the total FY 2017-18 allocation of \$441,003.
3. Approve an increase of \$114,516 to the SLESA Grant Fund FY 2017-18 expenditure budget (Fund 2410) to reflect the FY 2017-18 planned expenditure of \$441,003.

- A.10. APPROVAL OF THREE-YEAR ENTERPRISE LICENSING AGREEMENT OF MICROSOFT LICENSES THROUGH SOFTWAREONE, UTILIZING THE COUNTY OF RIVERSIDE'S MICROSOFT ENTERPRISE MASTER AGREEMENT (Report of: City Manager)

Recommendations:

1. Waive formal bidding per Municipal Code Section 3.12.260 (Cooperative Purchasing).

2. Approve a three-year enterprise licensing agreement of Microsoft licenses through SoftwareOne, Inc., utilizing the County of Riverside's Microsoft Enterprise Licensing Master Agreement in an amount not to exceed \$436,171 (\$396,519 plus a 10% contingency.)
 3. Authorize the City Manager to execute the Microsoft Enterprise Master Agreement and any related documents required to effectuate participation in the Microsoft Enterprise Master Agreement.
 4. Authorize the Purchasing & Facilities Division Manager to issue a purchase order to SoftwareOne, Inc. to maintain the current licensing level at an annual cost not to exceed \$145,390 (\$132,173 plus a 10% contingency.)
- A.11. Majestic Moreno Valley and Festival Specific Plan Second Reading for related Specific Plan Amendment and Ordinances (Report of: Community Development)

Recommendation: That the City Council:

1. CONDUCT second reading by title only and Adopt Ordinance No. 935:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE FESTIVAL SPECIFIC PLAN 205, INCLUDING THE SPECIFIC PLAN TEXT, AND SPECIFIC PLAN LAND USE MAP INCLUDING A MINOR BOUNDARY ADJUSTMENT, FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES, AND GENERALLY LOCATED EASTERLY OF HEACOCK STREET, AND BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY 60
2. CONDUCT second reading by title only and Adopt Ordinance No. 936:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE OFFICIAL ZONING ATLAS, CHANGING THE ZONING CLASSIFICATION FROM RESIDENTIAL AGRICULTURE (RA2) TO OFFICE (O) WITH A MEDICAL USE OVERLAY FOR APPROXIMATELY 18.38 ACRES LOCATED AT THE SOUTHEAST CORNER OF NASON STREET AND BRODIAEA AVENUE ASSESSOR PARCEL NUMBERS 486-290-036 AND 486-290-037
3. CONDUCT second reading by title only and Adopt Ordinance No. 937:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA AMENDING THE OFFICIAL ZONING ATLAS, CHANGING THE ZONING CLASSIFICATION

FROM SP 205 RETAIL COMMERCIAL (RC), SP 205 COMMERCIAL/OFFICE PARK (C/OP) AND COMMUNITY COMMERCIAL (CC) TO SP 205 MIX OF USES (MU), SP 205 RETAIL/MIX OF USES (RMU), AND SP 205 COMMERCIAL/RETAIL (CR) FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES IN THE FESTIVAL SPECIFIC PLAN AREA AND INCLUDING A BOUNDARY MODIFICATION LOCATED EAST OF HEACOCK STREET BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY ROUTE 60

- A.12. Moreno Valley Logistics Center for the Second Reading of Ordinance 934 (Report of: Community Development)

Recommendation: That the City Council:

1. CONDUCT second reading by title only and Adopt Ordinance No. 934:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE MORENO VALLEY INDUSTRIAL AREA SPECIFIC PLAN 208, TO INCREASE THE LANDSCAPE SETBACK AND REDUCE THE BUILDING SETBACK IN THE RESIDENTIAL BUFFER ZONE AREA ALONG INDIAN STREET, SOUTH OF KRAMERIA STREET TO THE PERRIS VALLEY STORM CHANNEL

- A.13. APPROVE FIRST AMENDMENT TO AGREEMENT WITH WILLDAN ENGINEERING FOR BUILDING AND SAFETY PLAN CHECK SERVICES, INSPECTIONS, AND PERMIT TECHNICIAN CONSULTANT SERVICES (Report of: Community Development)

Recommendations:

1. Approve the First Amendment to Agreement with Willdan Engineering for Building and Safety Plan Check Services, Inspections, and Permit Technician Consultant Services.
2. Authorize the City Manager, or his designee, to execute the First Amendment with Willdan Engineering, subject to the approval of the City Attorney.
3. Authorize an increase of \$1,200,000.00 to the not-to-exceed amount of the three-year Agreement with Willdan Engineering to \$1,700,000.00.
4. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-424 to Willdan Engineering for Plan Check Services from \$250,000.00 up to \$350,000.00 for FY17/18, and issue a Purchase Order in the amount of \$350,000 for FY 18/19.

5. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-425 to Willdan Engineering for Inspections from \$110,000 up to \$175,000.00 for FY17/18, and issue a Purchase Order in the amount of \$100,000 for FY 18/19.
 6. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-427 to Willdan Engineering for Permit Technician Consultant Services from \$80,000 up to \$115,000.00 for FY17/18, and issue a Purchase Order in the amount of \$115,000 for FY 18/19.
 7. Authorize the Chief Financial Officer to make any necessary budget adjustment appropriations related to expenditures and revenues as outlined in the Fiscal Impact section of this report.
- A.14. APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE POLICE DEPARTMENT (Report of: Police Department)

Recommendations: That the City Council:

1. Authorize the police department to purchase 20 new Broco Inc., 20 - 26" Ultimate Breacher tools, 20- Broco Inc., 25lb "Baby Ram" and 20- Broco Inc., "Jimmy Tools, at a cost of \$16,660.50 (\$15,320.00 for the Tools, plus \$1340.50 sales tax).
2. Authorize the police department to purchase 20 new Telestep Engineered Climbing, Elliptical Tactical Telescoping ladder at a cost of \$7,347.26 (\$6818.80 for the equipment, all related accessories, plus \$528.46 sales tax).
3. Authorize the police department to purchase 9 new Point-Blank Armor, ASPIS – 20x30 shield with view port and led light at a cost of \$54,391.34 (\$50,479.20 for the equipment, all related accessories, plus \$3,912.14 sales tax).
4. Authorize the police department to purchase 20 new Boydd Products, Compact Defense Shield "rifle Level IIIA" at a cost of \$25,872.93 (\$24,012.00 for the equipment, plus 1,860.93 sales tax).
5. Authorize the police department to purchase 20 new Command Concepts, Compact Command boards at a cost of \$3,069.00 (\$2,900.00 for equipment, plus \$169.00 sales tax).
6. Authorize the police department to purchase 20 new Leatherhead, 30" Ultra Force Bolt Cutters with handles at a cost of \$3,707.67 (\$3,317.40 for the equipment, plus \$390.27 sales tax and shipping).

7. Authorize a budget adjustment of \$111,048.70 to the General Fund (1010) Asset Forfeiture revenue account and the Patrol division expenditure account within the Police Department.

A.15. APPROVAL OF THE FISCAL YEAR 2018/2019 STORM WATER PROTECTION PROGRAM BUDGET FOR COUNTY SERVICE AREA 152 (Report of: Public Works)

Recommendations:

1. Approve the County Service Area (CSA) 152 Budget for Fiscal Year (FY) 2018/2019 in the amount \$674,186.
2. Authorize the levy of County Service Area 152 Assessment at \$8.15 per Benefit Assessment Unit (BAU) for FY 2018/2019.

A.16. PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) - AS AMENDMENT NO. 27 AND 28 (Report of: Public Works)

Recommendation:

1. Acting as the legislative body of Community Facilities District No. 2014-01 (Maintenance Services), adopt Resolution No. 2018-___, a Resolution of the City Council of the City of Moreno Valley, California, ordering the annexation of territory to City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services) and approving the amended maps for said District.

B. CONSENT CALENDAR-COMMUNITY SERVICES DISTRICT

B.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

B.2. MINUTES OF STUDY SESSION OF APR 10, 2018 (See A.2)

Recommendation: Approve as submitted.

B.3. Minutes of Closed Session of Apr 17, 2018 4:30 p.m. (See A-3)

Recommendation: Approve as submitted.

B.4. ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR 2018/19 FOR MORENO VALLEY COMMUNITY SERVICES DISTRICT LIGHTING MAINTENANCE DISTRICT NO. 2014-01 (Report of: Public Works)

Recommendations:

1. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Initiating Proceedings to Levy Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.
2. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Approving an Engineer's Report in Connection with Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.
3. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Declaring its Intention to Levy Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.

B.5. ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR 2018/19 FOR MORENO VALLEY COMMUNITY SERVICES DISTRICT LANDSCAPE MAINTENANCE DISTRICT NO. 2014-02 (Report of: Public Works)

Recommendations:

1. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Initiating Proceedings to Levy the Fiscal Year 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.
2. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Approving an Engineer's Report in Connection with the 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.

3. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Declaring its Intention to Levy the Fiscal Year 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.

- B.6. PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL INTO COMMUNITY FACILITIES DISTRICT NO. 1 (PARK MAINTENANCE) — AS ANNEXATION NO. 2018-45 (Report of: Public Works)

Recommendation:

1. That the Community Services District (CSD) of the City of Moreno Valley acting as the legislative body of Community Facilities District No. 1 (Park Maintenance) approve and adopt Resolution No. CSD 2018-___, a Resolution of the Board of Directors of the Moreno Valley Community Services District of the City of Moreno Valley, California, ordering the annexation of territory for Annexation No. 2018-45 to its Community Facilities District No. 1 and approving the amended map for said District.

C. CONSENT CALENDAR - HOUSING AUTHORITY

- C.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- C.2. MINUTES OF STUDY SESSION OF APR 10, 2018 (See A.2)

Recommendation: Approve as submitted.

- C.3. Minutes of Closed Session of Apr 17, 2018 4:30 p.m. (See A-3)

Recommendation: Approve as submitted.

D. CONSENT CALENDAR - BOARD OF LIBRARY TRUSTEES

- D.1. ORDINANCES - READING BY TITLE ONLY - THE MOTION TO ADOPT AN ORDINANCE LISTED ON THE CONSENT CALENDAR INCLUDES WAIVER OF FULL READING OF THE ORDINANCE.

Recommendation: Waive reading of all Ordinances.

- D.2. MINUTES OF STUDY SESSION OF APR 10, 2018 (See A.2)

Recommendation: Approve as submitted.

D.3. Minutes of Closed Session of Apr 17, 2018 4:30 p.m. (See A-3)

Recommendation: Approve as submitted.

E. PUBLIC HEARINGS

Questions or comments from the public on a Public Hearing matter are limited to five minutes per individual and must pertain to the subject under consideration.

Those wishing to speak should complete and submit a GOLDENROD speaker slip to the Sergeant-at-Arms.

E.1. PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-2022/23 AND THE ANNUAL ACTION PLAN FOR FISCAL YEAR 2018/19 (Report of: Financial & Management Services)

Recommendations: That the City Council:

1. Conduct a Public Hearing for the Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG) Programs to allow the public an opportunity to comment on (1) the FY 2018/19-2022/23 Consolidated Plan and (2) the 2018/19 Annual Action Plan.
2. Approve the Annual Action Plan (2018/19) as an application to the U.S. Department of Housing and Urban Development (HUD) for funding under the federal CDBG, HOME, and ESG programs with Council amendments, if any.
3. Adopt (1) the FY 2018/19-2022/23 Consolidated Plan and (2) the 2018/19 Annual Action Plan.

E.2. PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MAIL BALLOT PROCEEDINGS (Report of: Public Works)

Recommendations: That the City Council:

1. Conduct the Public Hearing and accept public testimony for the mail ballot proceedings for the National Pollutant Discharge Elimination System (NPDES) maximum commercial/industrial regulatory rate to be applied to five property tax bill(s) and the maximum regulatory rate for residential development to be applied to four property tax bill(s).
2. Direct the City Clerk to open and count the returned NPDES ballots.
3. Verify and accept the results of the mail ballot proceedings as maintained by the City Clerk on the Official Tally Sheet.

4. Receive and file the Official Tally Sheet with the City Clerk's office.
5. If approved, set the rate and impose the applicable NPDES rates to the Assessor's Parcel Numbers as mentioned.

F. ITEMS REMOVED FROM CONSENT CALENDARS FOR DISCUSSION OR SEPARATE ACTION

G. GENERAL BUSINESS - NONE

H. REPORTS

CITY COUNCIL REPORTS

(Informational Oral Presentation - not for Council action)

March Joint Powers Commission (JPC)

Riverside County Habitat Conservation Agency (RCHCA)

Riverside County Transportation Commission (RCTC)

Riverside Transit Agency (RTA)

Western Riverside Council of Governments (WRCOG)

Western Riverside County Regional Conservation Authority (RCA)

School District/City Joint Task Force

H.1. EMERGING LEADERS ANNUAL REPORT

(Informational Oral Presentation - not for Council action)

H.2. CITY MANAGER'S REPORT

(Informational Oral Presentation - not for Council action)

H.3. CITY ATTORNEY'S REPORT

(Informational Oral Presentation - not for Council action)

CLOSING COMMENTS AND/OR REPORTS OF THE CITY COUNCIL, COMMUNITY SERVICES DISTRICT, CITY AS SUCCESSOR AGENCY FOR THE COMMUNITY REDEVELOPMENT AGENCY, HOUSING AUTHORITY AND THE BOARD OF LIBRARY TRUSTEES.

ADJOURNMENT

PUBLIC INSPECTION

The contents of the agenda packet are available for public inspection on the City's website at www.moval.org and in the City Clerk's office at 14177 Frederick Street during normal business hours.

Any written information related to an open session agenda item that is known by the City to have been distributed to all or a majority of the City Council less than 72 hours prior to this meeting will be made available for public inspection on the City's website at www.moval.org and in the City Clerk's office at 14177 Frederick Street during normal business hours.

CERTIFICATION

I, Pat Jacquez-Nares, City Clerk of the City of Moreno Valley, California, certify that 72 hours prior to this Regular Meeting, the City Council Agenda was posted on the City's website at: www.moval.org and in the following three public places pursuant to City of Moreno Valley Resolution No. 2007-40:

City Hall, City of Moreno Valley
14177 Frederick Street

Moreno Valley Library
25480 Alessandro Boulevard

Moreno Valley Senior/Community Center
25075 Fir Avenue

Pat Jacquez-Nares, CMC & CERA
City Clerk

Date Posted: April 27, 2018

TO:

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: BUSINESS SPOTLIGHT PRESENTATION

RECOMMENDED ACTION

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

None

APPROVALS

TO:

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: PROCLAMATION RECOGNIZING MAY 3, 2018 AS THE
NATIONAL DAY OF PRAYER

RECOMMENDED ACTION

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

None

APPROVALS

TO:

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: PROCLAMATION RECOGNIZING MAY AS MENTAL
HEALTH MONTH

RECOMMENDED ACTION

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

None

APPROVALS

TO:

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: PROCLAMATION RECOGNIZING MAY 13 – 19 AS
NATIONAL POLICE WEEK

RECOMMENDED ACTION

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

None

APPROVALS

TO:

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: PROCLAMATION RECOGNIZING MAY 5, 2018 AS CINCO DE MAYO

RECOMMENDED ACTION

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

None

APPROVALS

**MINUTES
JOINT MEETING OF THE
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF THE
CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
BOARD OF LIBRARY TRUSTEES**

**STUDY SESSION – 6:00 PM
April 10, 2018**

CALL TO ORDER

The Study Session of the City Council of the City of Moreno Valley, Moreno Valley Community Services District, City as Successor Agency for the Community Redevelopment Agency of the City of Moreno Valley, Moreno Valley Housing Authority and the Board of Library Trustees was called to order at 6:00 p.m. by Mayor Gutierrez in the Council Chamber located at 14177 Frederick Street, Moreno Valley, California.

Mayor Gutierrez announced that the City Council receives a separate stipend for CSD meetings.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Frank Wright.

ROLL CALL

Council:	Dr. Yxstian A. Gutierrez	Mayor
	Victoria Baca	Mayor Pro Tem
	David Marquez	Council Member
	Ulises Cabrera	Council Member

Absent:	Jeffrey J. Giba	Council Member
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INTRODUCTIONS

Staff:	Pat Jacquez-Nares	City Clerk
	Marshall Eyerman	Chief Financial Officer/City Treasurer
	Paul Early	Assistant City Attorney
	Tom DeSantis	City Manager
	Allen Brock	Assistant City Manager
	Mike Lee	Economic Development Director

Minutes Acceptance: Minutes of Apr 10, 2018 6:00 PM (CONSENT CALENDAR-CITY COUNCIL)

Richard Sandzimier
Michael Wolfe

Acting Community Development Director
Public Works Director/City Engineer

PUBLIC COMMENTS ON MATTERS ON THE AGENDA ONLY

Mayor Gutierrez opened the public comments portion of the meeting for items listed on the agenda only, which were received from Rafael Brugueras (Supports Item Nos. A.1 and A.2) and Ken Iglesias (Supports Item No. A.1).

There being no further public comments in opposition or support, Mayor Gutierrez closed the public comments.

A. BUSINESS

- A.1. 3066: Eastern Municipal Water District (EMWD) Update: Infrastructure to Support Development in the City's East End (Report of: Public Works)

Joe Mouawad, Assistant General Manager of Eastern Municipal Water District (EMWD), provided a presentation on their Capital Improvement Plan and Developer Driven Projects located on the East end of the city.

Mayor Gutierrez asked if developers have two different options for funding water infrastructure.

Mr. Mouawad, Assistant General Manager of EMWD responded in the affirmative.

Mayor Gutierrez inquired as to the approximate cost to a developer for the water related infrastructure construction on the East end of the city.

Mr. Mouawad, Assistant General Manager of EMWD stated that a recent study revealed the total cost for phase one is \$16.4 million.

Council Member Cabrera queried as to an approximate completion date for phase one, the magnitude of the construction impacts on residents, and desalination plants.

Mr. Mouawad, Assistant General Manager of EMWD provided the anticipated completion dates, the influence on residents, and desalination plant information.

Council Member Marquez inquired as to the water availability on Heacock and Cactus, the benefits realized from the new station, currently in construction, on Perris and Elder, and the supply of recycled water.

Mr. Mouawad, Assistant General Manager of EMWD discussed the resources available on the East end of the city, the advantages of the new station, and the source of the city's recycled water.

Mayor Pro Tem Baca communicated her satisfaction with EMWD's plan to facilitate the needs of developers with increasing infrastructure improvements.

A.2. Discussion on Commercial Cannabis (Report of: Financial & Management Services)

Chief Financial Officer/City Treasurer Eyerman provided the report on local funding initiatives.

Mayor Gutierrez queried what the approval rate from the survey provided to residents regarding cannabis taxation.

Chief Financial Officer/City Treasurer Eyerman stated that the initial results are currently at 64%.

Mayor Gutierrez expressed his desire for the tax rate to start out at 5% and then gradually increase to 8%.

Mayor Pro Tem Baca asked for confirmation that the cultivation across the multiple land use codes is dissimilar.

Chief Financial Officer/City Treasurer Eyerman replied in the affirmative.

Mayor Pro Tem Baca questioned the different tax options available to the city and when the ballot language would be available for the City Council to review.

Chief Financial Officer/City Treasurer Eyerman responded with the tax alternatives at their disposal and explained that the wording would be available by June.

Mayor Pro Tem Baca inquired as to the additional social outreach being employed by the city.

Chief Financial Officer/City Treasurer Eyerman communicated that mediums utilized would include social media, Chambers of Commerce and other business organizations, and mailings.

Council Member Cabrera asked what tax rate the cities of Perris and San Jacinto are currently imposing.

Chief Financial Officer/City Treasurer Eyerman answered that the tax rate for Perris is near 10% and San Jacinto is not known.

Council Member Cabrera asked what the process entailed for subsequently increasing the tax rate after its establishment.

City Manager DeSantis explained that an increase would be accomplished with a Resolution.

Mayor Pro Tem Baca clarified that only those who transact business at these establishments will be levied this proposed tax.

Mayor Gutierrez, with consensus from the City Council, directed staff to move forward with drafting the ballot language with the understanding that the City Council will vote in July to determine whether or not it will be placed on the ballot, with a maximum tax rate of 8% and an initial tax rate of 5%.

A.3. CITY COUNCIL REQUESTS AND COMMUNICATIONS

Council Member Marquez asked how the varying tax rate would be worded on the ballot statement.

City Manager DeSantis assured the City Council that staff, in collaboration with the consultant, would prepare language that not only meets the legal requirement, but also presents the information in an accessible manner.

Council Member Cabrera requested an announcement of future Study Session topics.

City Manager DeSantis declared that upcoming Study Sessions include discussions on shopping carts, the Promise Initiative Program, and the Homeless to Work Program.

ADJOURNMENT

There being no further business to come before the City Council, Mayor Gutierrez adjourned the meeting at 7:01 p.m.

Submitted by:

Pat Jacquez-Nares, CMC & CERA, City Clerk
Secretary, Moreno Valley Community Services District
Secretary, City as Successor Agency for the Community
Redevelopment Agency of the City of Moreno Valley
Secretary, Moreno Valley Housing Authority

Approved by:

Dr. Yxstian A. Gutierrez, Mayor
President, Moreno Valley Community Services District
Chairperson, City as Successor Agency for the Community
Redevelopment Agency of the City of Moreno Valley
Chairperson, Moreno Valley Housing Authority

**MINUTES
JOINT MEETING OF THE
CITY COUNCIL OF THE CITY OF MORENO VALLEY
MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY AS SUCCESSOR AGENCY FOR THE
COMMUNITY REDEVELOPMENT AGENCY OF THE
CITY OF MORENO VALLEY
MORENO VALLEY HOUSING AUTHORITY
BOARD OF LIBRARY TRUSTEES**

**CLOSED SESSION – 4:30 PM
April 17, 2018**

CALL TO ORDER

The Closed Session of the City Council of the City of Moreno Valley, Moreno Valley Community Services District, City as Successor Agency for the Community Redevelopment Agency of the City of Moreno Valley, and Housing Authority was called to order at 4:32 p.m. by Mayor Gutierrez in the Council Chamber located at 14177 Frederick Street, Moreno Valley, California.

Mayor Gutierrez announced that the City Council receives a separate stipend for CSD meetings.

ROLL CALL

Council:	Dr. Yxstian A. Gutierrez	Mayor
	Victoria Baca	Mayor Pro Tem
	David Marquez	Council Member
	Ulises Cabrera	Council Member
	Jeffrey J. Giba	Council Member

PUBLIC COMMENTS ON MATTERS ON THE AGENDA ONLY

Mayor Gutierrez opened the public comments portion of the meeting for items listed on the agenda only. There being no members of the public to come forward to speak, he closed the public comments.

CLOSED SESSION

City Attorney Koczanowicz announced that the City Council would recess to Closed Session to discuss the item as listed on the agenda and that staff did not anticipate any reportable action.

Minutes Acceptance: Minutes of Apr 17, 2018 4:30 PM (CONSENT CALENDAR-CITY COUNCIL)

The Closed Session will be held pursuant to Government Code:

1 SECTION 54957 - THREAT TO PUBLIC SERVICES OR FACILITIES

Consultation with: Police Department

Mayor Gutierrez recessed the City Council in the Council Chamber for their Closed Session Threat Training by Officer Kevin Brooks at 4:33 p.m.

Mayor Gutierrez reconvened the City Council meeting at 5:28 p.m.

REPORT OF ACTION FROM CLOSED SESSION, IF ANY, BY CITY ATTORNEY

City Attorney Koczanowicz announced there was no reportable action taken in Closed Session.

ADJOURNMENT

There being no further business to come before the City Council, the Closed Session was adjourned at 5:42 p.m.

Submitted by:

Pat Jacquez-Nares, CMC & CERA, City Clerk,
Secretary, Moreno Valley Community Services District
Secretary, City as Successor Agency for the Community
Redevelopment Agency of the City of Moreno Valley
Secretary, Moreno Valley Housing Authority
Secretary, Board of Library Trustees

Approved by:

Dr. Yxstian A. Gutierrez, Mayor
President, Moreno Valley Community Services District
Chairperson, City as Successor Agency for the Community
Redevelopment Agency of the City of Moreno Valley
Chairperson, Moreno Valley Housing Authority
Chairperson, Board of Library Trustees



Report to City Council

TO: Mayor and City Council

FROM: Pat Jacquez-Nares, City Clerk

AGENDA DATE: May 1, 2018

TITLE: CITY COUNCIL SUMMER MEETINGS SCHEDULE

RECOMMENDED ACTION

Recommendation:

That the City Council:

1. Set the summer meeting schedule that cancels the July 3rd, July 17th and August 7th regular meetings, and the July 10th and August 14th study sessions.

SUMMARY

During the summer months, the City Council has gone dark from July through mid-August, and the meetings during this period have been cancelled. If Council were to begin its summer schedule following the June 19th regular meeting and return for the August 21st regular meeting, three regular meetings (July 3rd, July 17th and August 7th) and two study sessions (July 10th and August 14th) would be cancelled.

A calendar of meetings currently scheduled in June, July and August is attached for your reference.

ALTERNATIVES

1. Cancel three regular meetings and two study sessions between June 20, 2018 and August 15, 2018. *Staff recommends this option*
2. Do not set summer meeting schedule and hold all scheduled meetings.

FISCAL IMPACT

N/A

PREPARATION OF STAFF REPORT

Prepared By:
Pat Jacquez-Nares
City Clerk

Department Head Approval:
Pat Jacquez-Nares
City Clerk

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. 2018 June, July and August City Council Meeting Calendars

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	
City Attorney Approval	<u>✓ Approved</u>	4/23/18 7:55 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 1:34 PM

2018

City of Moreno Valley

June						
S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

July						
S	M	T	W	T	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

August						
S	M	T	W	T	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

 Council Meeting

 Study Session

 Holiday

 Election Day



Report to City Council

TO: Mayor and City Council

FROM: Kathleen Sanchez, Human Resources Director

AGENDA DATE: May 1, 2018

TITLE: LIST OF PERSONNEL CHANGES

RECOMMENDED ACTION

Recommendation:

1. Ratify the list of personnel changes as described.

DISCUSSION

The attached list of personnel changes scheduled since the last City Council meeting is presented for City Council ratification.

Staffing of City positions ensures assignment of highly qualified and trained personnel to achieve Momentum MoVal priorities, objectives and initiatives.

FISCAL IMPACT

All position changes are consistent with appropriations previously approved by the City Council.

PREPARATION OF STAFF REPORT

Prepared By:
Denise Hansen
Executive Assistant

Department Head Approval:
Kathleen M. Sanchez
Human Resources Director

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. Personnel Changes 5.1.18

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/19/18 11:51 AM
City Attorney Approval	<u>✓ Approved</u>	4/20/18 8:52 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 1:34 PM

**City of Moreno Valley
Personnel Changes
May 1, 2018**

New Hires

None

Promotions

Rudy Casados

From: Senior Parks Maintenance Technician, Parks & Community Services Department

To: Parks Maintenance Supervisor, Parks & Community Services Department

Transfers

None

Separations

Jerry Magaña, GIS Specialist

City Manager's Office/Technology Services Division

Mel Alonzo, Parks & Community Services Director

Parks & Community Services Department



Report to City Council

TO: Mayor and City Council

FROM: Marshall Eyerman, Chief Financial Officer

AGENDA DATE: May 1, 2018

TITLE: PAYMENT REGISTER - FEBRUARY 2018

RECOMMENDED ACTION

Recommendation:

1. Receive and file the Payment Register.

SUMMARY

The Payment Register is an important report providing transparency of financial transactions and payments for City activity for review by the City Council and the residents and businesses in Moreno Valley. The report is posted to the City's website as soon as it is available. The report is included in the City Council agenda as an additional means of distributing the report.

The payment register lists in alphabetical order all checks and wires in the amount of \$25,000 or greater, followed by a listing in alphabetical order of all checks and wires less than \$25,000. The payment register also includes the fiscal year-to-date (FYTD) amount paid to each vendor.

PREPARATION OF STAFF REPORT

Prepared By:
Dena Heald
Financial Operations Division Manager

Department Head Approval:
Marshall Eyerman
Chief Financial Officer/City Treasurer

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. February 2018 Payment Register

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/12/18 7:58 AM
City Attorney Approval	<u>✓ Approved</u>	4/20/18 9:29 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:32 PM



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount
ALLIANT INSURANCE SERVICES	233281	02/20/2018	783482	ANNUAL INSURANCE RENEWAL PREMIUMS-MV UTILITY SUBSTATIONS	\$57,296.72
Remit to: NEWPORT BEACH, CA					FYTD: \$77,277.72
BEAZER HOMES HOLDING CORPORATION	233223	02/05/2018	P15-066/TR32835	REFUND GRADING SECURITY DEPOSIT-WORK COMPLETED	\$114,289.50
Remit to: IRVINE, CA					FYTD: \$114,289.50
BRIGHTVIEW LANDSCAPE DBA MARINA LANDSCAPE, INC	21722	02/05/2018	5511820-1	LANDSCAPE MAINT-ZONES D, M & S-OCT 2017	\$51,288.84
		02/05/2018	5511832-1	LANDSCAPE MAINT-ZONES D, M & S-NOV 2017	
		02/05/2018	5526469	IRRIGATION REPAIRS-ZONE D & M	
		02/05/2018	5542350-1	LANDSCAPE MAINT-ZONES D, M & S-DEC 2017	
		02/05/2018	5544371	IRRIGATION REPAIRS-ZONE D	
		02/05/2018	5544372	IRRIGATION REPAIRS-ZONE D	
		02/05/2018	nt322100156	LANDSCAPE MAINT-ZONE M	
Remit to: RIVERSIDE, CA					FYTD: \$114,552.15
COUNTY OF RIVERSIDE SHERIFF	21833	02/20/2018	SH0000032258	CONTRACT LAW ENFORCEMENT BILLING #6 (11/9-12/6/17)	\$2,731,965.01
Remit to: RIVERSIDE, CA					FYTD: \$26,977,853.32
COWBOY CHRYSLER DODGE JEEP RAM	21888	02/26/2018	G124995	PURCHASE 2018 DODGE RAM 3500 (VIN#3C7WR9CJXJG124995)	\$157,288.10
		02/26/2018	G124996	PURCHASE 2018 DODGE RAM 3500 (VIN#3C7WR9CJIJG124996)	
		02/26/2018	G124950	PURCHASE 2018 DODGE RAM 3500 (VIN#3C7WRS AJ7JG124950)	
		02/26/2018	G124997	PURCHASE 2018 DODGE RAM 3500 (VIN#3C7WR9CJ3JG124997)	
Remit to: SILSBEE, TX					FYTD: \$813,474.04

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
EASTERN MUNICIPAL WATER DISTRICT	233201	02/05/2018	JAN-18 2/5/18	WATER CHARGES	\$40,693.97
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$1,461,186.81

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
ENCO UTILITY SERVICES MORENO VALLEY LLC	21839	02/20/2018	0405-1-230	DISTRIBUTION CHARGES 12/20/17-1/22/18	\$335,000.81

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
 For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
ENCO UTILITY SERVICES MORENO VALLEY LLC	21891	02/26/2018	40-366B-06	WA# 40-366B RSI COMMUNITIES-CM INSP SVCS	\$122,916.30
		02/26/2018	40-383B-01	WA# 40-383B BEAZER HOMES-PH 1	
		02/26/2018	40-388B-01	WA# 40-388B BEAZER HOMES-PH 2	
		02/26/2018	40-381A-01	WA# 40-381A EXCLUSIVE TOWING	
		02/26/2018	40-371-05	WA# 40-371 ABB SWITCH REPAIR & REPLACEMENT	
		02/26/2018	40-364A-08	WA# 40-364A CROSSTOWN TIE-ALESSANDRO BLVD	
		02/26/2018	40-359B-07	WA# 40-359B RSI COMMUNITIES TRACTS 22180-2 & 22180-3 WA# 40-357	
		02/26/2018	40-357-13	KITCHING SUBSTATION CONSTRUCTION & INSPECTION	
		02/26/2018	40-352B-02	WA# 40-352B HEACOCK FACILITIES RELOCATION	
		02/26/2018	40-349B-06	WA# 40-349B IRIS 12KV CIRCUIT RECONFIGURATION	
		02/26/2018	40-392B-01	WA# 40-392B BEAZER HOMES PHASE 3	
		02/26/2018	40-382A-01	WA #40-382A RESOURCE WAY PARKING LOT	
		02/26/2018	40-322B-13	WA# 40-322B CENTERPOINTE LOGISTICS CTR	
		02/26/2018	40-347B-02	WA# 40-347B MODULAR LOGISTICS CTR	
		02/26/2018	40-391A-03	WA# 40-391A MV INDUSTRIAL PH 2-DECKERS	
		02/26/2018	40-342B-07	WA# 40-342B MARCH 12KV CIRCUIT #8	
		02/26/2018	40-389-01	WA# 40-389 DISTRIBUTION SUBSTATION PLANNING UPDATE	
		02/26/2018	40-387A-02	WA# 40-387A FIRST NANDINA LOGISTICS CTR	
		02/26/2018	40-378A-02	WA# 40-378A VERIZON MONOPALM CELL TOWER	
		02/26/2018	40-331B-08	WA# 40-331B CIRCUIT #2 EDWIN RD	
		02/26/2018	0406-Temp MF-133	METER FEES-TEMPORARY 1/9/18	
		02/26/2018	0405-MTS1-SP146	METER FEES-REGULAR-1/4-1/24/18	
		02/26/2018	0402-MF-02083 Co	SOLAR SYSTEM INSPECTION	
		02/26/2018	0402-MF-02078	SOLAR SYSTEM INSPECTION	
		02/26/2018	0402-MF-02076	SOLAR SYSTEM INSPECTION	
		02/26/2018	40-341B-07	WA# 40-341B SAN MICHELLE CIRCUIT #4-INDIAN 12KV RECONFIGURATION	
		02/26/2018	40-335B-08	WA# 40-335B CIRCUIT #3 MODULAR WAY	



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
Remit to: ANAHEIM, CA					FYTD: \$4,455,740.96
ENGIE SERVICES U.S. INC.	21803	02/12/2018	2913	CITY HALL SOLAR CARPORT PROJECT-DESIGN/ CONSTRUCTION SERVICES DEC17	\$369,733.82
	21909	02/26/2018	10199	CITY HALL SOLAR CARPORT PROJECT- DESIGN/ CONSTRUCTION SERVICES JAN18	\$125,727.90
Remit to: PASADENA, CA					FYTD: \$671,211.72
EXELON GENERATION COMPANY, LLC	21795	02/12/2018	MVEU-00057A	POWER PURCHASE 1/1-1/31/18	\$607,760.64
Remit to: BALTIMORE, MD					FYTD: \$6,021,416.17
KASA CONSTRUCTION INC.	233242	02/12/2018	JFK RENO-1	JOHN F KENNEDY PARK - RESTROOM IMPROVEMENT PROJECT	\$33,713.12
Remit to: CHINO, CA					FYTD: \$33,713.12
KOA CORPORATION	233295	02/20/2018	JB74069X1	ALESSANDRO BLVD-GRANT ST TRAFFIC SIGNAL IMPROVEMENTS	\$65,521.45
		02/20/2018	JB44056x6	AQUEDUCT MULTI-USE TRAIL SYSTEMS - DESIGN SERVICES	
Remit to: MONTEREY PARK, CA					FYTD: \$150,352.87

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount
LANDCARE USA, LLC	21744	02/05/2018	119729	LANDSCAPE MOWING-ZONE A-JAN 2018	\$65,631.69
		02/05/2018	106073	LANDSCAPE MOWING-CFD #1-NOV 2017	
		02/05/2018	106051	LANDSCAPE MOWING-ZONE A-NOV 2017	
		02/05/2018	116424	IRRIGATION REPAIRS-ZONE 01 & 08	
		02/05/2018	116157	PLANT MATERIAL INSTALLATION-ZONE 08	
		02/05/2018	112298	LANDSCAPE MAINT-ZONES 01, 01A, 07 & 08-DEC 2017	
		02/05/2018	116156	PLANT MATERIAL REMOVAL-ZONE 08	
		02/05/2018	119746	LANDSCAPE MOWING-CFD #1-JAN 2018	
		02/05/2018	111415	PLANT MATERIAL REMOVAL-ZONE 08	
Remit to: RIVERSIDE, CA					FYTD: \$232,850.99
LEAGUE OF CALIFORNIA CITIES-RIVERSIDE COUNTY DIV.	233206	02/05/2018	179263	MEMBERSHIP DUES FOR CALENDAR YEAR 2018	\$35,253.00
Remit to: SACRAMENTO, CA					FYTD: \$35,253.00
LIBRARY SYSTEMS & SERVICES, LLC	21902	02/26/2018	SI-003060	LIBRARY CONTRACTUAL SERVICES & MATERIALS-FEB18	\$146,486.01
		02/26/2018	SI-003061	LIBRARY I.T. SERVICES-FEB18	
		02/26/2018	SI-003073	LIBRARY CONTRACTUAL SERVICES-MV MALL BRANCH-FEB18	
Remit to: ROCKVILLE, MD					FYTD: \$1,422,940.23
MIRACLE RECREATION EQUIPMENT	21854	02/20/2018	796332	PLAYGROUND EQUIPMENT PARTS	\$77,036.79
		02/20/2018	796599	PLAYGROUND EQUIPMENT PARTS	
		02/20/2018	796498	PLAYGROUND EQUIPMENT FOR WESTBLUFF PARK	
Remit to: DALLAS, TX					FYTD: \$77,036.79

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



**City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018**

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
MORENO VALLEY UTILITY	233246	02/12/2018	FEB-18 2/12/18	ELECTRICITY CHARGES	\$65,730.19
Remit to: HEMET, CA					FYTD: \$685,227.50
NICHOLS CONSULTING ENGINEERS, CHTD (NCE)	21754	02/05/2018	318023002	PAVEMENT MANAGEMENT SYSTEM UPDATE	\$39,571.78
		02/05/2018	318023003	PAVEMENT MANAGEMENT SYSTEM UPDATE	
		02/05/2018	318023001	PAVEMENT MANAGEMENT SYSTEM UPDATE	
Remit to: RENO, NV					FYTD: \$39,571.78
O'DUFFY BROS, INC.	21755	02/05/2018	3	ELSWORTH ST AND ALESSANDRO BLVD CONSTRUCTION SERVICES	\$141,459.75
Remit to: ROMOLAND, CA					FYTD: \$1,501,728.35
ONESOURCE DISTRIBUTORS, INC.	21908	02/26/2018	S5613836.011	EMERGENCY STOCK TRANSFORMERS-MV UTILITY	\$32,777.56
		02/26/2018	S5613836.007	EMERGENCY STOCK TRANSFORMERS-MV UTILITY	
Remit to: OCEANSIDE, CA					FYTD: \$511,371.38
SOUTHERN CALIFORNIA EDISON 1	233301	02/20/2018	JAN-18 2/20/18	ELECTRICITY CHARGES	\$144,858.24
Remit to: ROSEMEAD, CA					FYTD: \$2,188,778.09
SOUTHERN CALIFORNIA EDISON 3	233302	02/20/2018	7500879910	SCE FACILITY UPGRADES/ITCC-WDT1249 KITCHING ST. SUBSTATION PROJECT	\$186,723.28
Remit to: ROSEMEAD, CA					FYTD: \$2,050,724.64
TENASKA ENERGY, INC	21921	02/26/2018	MOREN0020180221	ELECTRICITY POWER PURCHASE-MV UTILITY	\$225,716.92
Remit to: ARLINGTON, TX					FYTD: \$3,575,508.77

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount
THE ADVANTAGE GROUP/ FLEX ADVANTAGE	21812	02/12/2018	201802	RETIREE MEDICAL BENEFIT BILLING - FEB18	\$46,675.48
Remit to: TEMECULA, CA					FYTD: \$364,746.42
THINK TOGETHER, INC	21764	02/05/2018	111-17/18-7	ASES PROGRAM MANAGEMENT SERVICES-INSTALLMENT #7	\$541,225.08
Remit to: SANTA ANA, CA					FYTD: \$3,795,435.40
TYLER TECHNOLOGIES, INC.	21874	02/20/2018	045-200388	TYLER CASHIERING SOFTWARE, SUPPORT & UPDATE LICENSING	\$39,134.80
Remit to: PLANO, TX					FYTD: \$54,422.30
U.S. BANK/CALCARDS	21769	02/05/2018	01-29-18	CALCARD ACTIVITY - JAN18	\$223,642.80
Remit to: ST. LOUIS, MO					FYTD: \$1,883,338.63
WASTE MANAGEMENT	233354	02/26/2018	020118	SOLID WASTE DELINQUENCIES PASS THRU, LESS FRANCHISE FEES	\$1,066,955.90
Remit to: CORONA, CA					FYTD: \$1,164,036.03
WEST COAST ARBORISTS, INC.	21818	02/12/2018	132580	TREE TRIMMING/REMOVAL SERVICES - ZONE 02-HS	\$34,807.00
		02/12/2018	132584	TREE TRIMMING SERVICES - ZONE S	
		02/12/2018	132583	TREE TRIMMING/REMOVAL SERVICES - ZONE D	
		02/12/2018	132581	TREE TRIMMING/REMOVAL SERVICES - ZONE E-7	
		02/12/2018	132582	TREE TRIMMING SERVICES - ZONE 08-SM	
Remit to: ANAHEIM, CA					FYTD: \$66,672.00
WILLDAN ENGINEERING	21776	02/05/2018	002-18762	PLAN CHECK & INSPECTION SERVICES FOR BLDG. & SAFETY-DEC17	\$54,541.50
Remit to: ANAHEIM, CA					FYTD: \$457,591.61

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018

CHECKS IN THE AMOUNT OF \$25,000 OR GREATER

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
WRCOG - WESTERN RIVERSIDE COUNCIL OF GOVERNMENTS	21777	02/05/2018	7291	ANNUAL MEMBERSHIP DUES FY 2017/2018	\$25,779.51
	21819	02/12/2018	JAN-2018 TUMF	TUMF FEES COLLECTED FOR 1/1-1/31/18-RESIDENTIAL & COMMERCIAL	\$584,167.00
Remit to: RIVERSIDE, CA					FYTD: \$3,869,020.09
WRCRA	233250	02/12/2018	JAN-2018 MSHCP	MSHCP FEE COLLECTED FOR JAN. 2018-COMMERCIAL/INDUSTRIAL & RESIDENTIAL	\$186,630.76
Remit to: RIVERSIDE, CA					FYTD: \$1,331,432.80
TOTAL AMOUNTS OF \$25,000 OR GREATER					\$8,778,001.21

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
ABILITY COUNTS, INC	21883	02/26/2018	ACI113720	LANDSCAPE MAINT-CFD #1-JAN 2018	\$2,065.00
Remit to: CORONA, CA					FYTD: \$16,520.00
ACTIVE NETWORK, LLC	21716	02/05/2018	1012537	ACTIVE NET-INSIGHTS TRAINING & SERVICE COSTS	\$9,048.71
		02/05/2018	1012538	ACTIVE NET-GIS IMPORT	
		02/05/2018	1012616	ACTIVE NET-INSIGHTS TRAINING 2/6-3/6/18	
	21783	02/12/2018	11093953	ACTIVE NET-IPP320 DEBIT PIN PAD	\$3,469.55
Remit to: DALLAS, TX					FYTD: \$38,453.04
ADLERHORST INTERNATIONAL LLC	21717	02/05/2018	98650	MISC SUPPLIES FOR K-9 ARKAN	\$369.40
		02/05/2018	98858	MONTHLY K-9 TRAINING (MADDOX/ARKAN)-JAN 2018	
	21821	02/20/2018	98933	MISC SUPPLIES FOR K-9 LUCKE	\$465.48
Remit to: RIVERSIDE, CA					FYTD: \$28,590.76
ADMINSURE	233193	02/05/2018	10848	WORKERS' COMP CLAIMS ADMINISTRATION-FEB 2018	\$2,175.00
Remit to: ONTARIO, CA					FYTD: \$17,400.00
ADVANCE REFRIGERATION & ICE SYSTEMS, INC	21822	02/20/2018	44043	ICE MACHINE REPAIR-FIRE STATION #2	\$359.20
		02/20/2018	44011	ICE MACHINE REPAIR-FIRE STATION #2	
	21884	02/26/2018	44060	ICE MACHINE REPAIR-FIRE STATION #2	\$963.41
Remit to: RIVERSIDE, CA					FYTD: \$7,701.26
AEI-CASC ENGINEERING	21718	02/05/2018	38539	PLAN CHECK SVCS-PWQMP	\$2,500.25
Remit to: COLTON, CA					FYTD: \$22,992.25
AERO-GRAPHICS, INC.	21885	02/26/2018	20456	DIGITAL ORTHOPHOTOGRAPHY LANDBASE	\$6,585.00
Remit to: SOUTH SALT LAKE, UT					FYTD: \$6,585.00

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ALDI, INC.	233255	02/12/2018	MVU 7014047-01	SOLAR PBI INCENTIVE REBATE	\$11,923.38
Remit to: MORENO VALLEY, CA					FYTD: \$91,891.59
ALLIANT INSURANCE SERVICES	233334	02/26/2018	4TH QTR-CY2017	SPECIAL EVENT INSURANCE-CY2017 PREMIUMS	\$5,046.00
Remit to: NEWPORT BEACH, CA					FYTD: \$77,277.72
ALONZO, ANTHONY	233356	02/26/2018	R18-118877	ANIMAL SERVICES REFUND-ADOPTION FEE	\$82.00
Remit to: MORENO VALLEY, CA					FYTD: \$82.00
AMERICAN CANCER SOCIETY	233357	02/26/2018	2000108.047	CONFERENCE & RECREATION CENTER RENTAL REFUND	\$1,000.00
Remit to: RIVERSIDE, CA					FYTD: \$1,000.00
AMERICAN FENCE COMPANY, INC.	21823	02/20/2018	2045209	FABRICATE/INSTALL ROLL GATE-PEDRORENA PARK PARKING LOT	\$6,698.00
Remit to: PERRIS, CA					FYTD: \$6,698.00
AMERICAN FORENSIC NURSES	21719	02/05/2018	70329	PHLEBOTOMY SERVICES FOR PD	\$880.00
		02/05/2018	70347	PHLEBOTOMY SERVICES FOR PD	
	21824	02/20/2018	70391	PHLEBOTOMY SERVICES FOR PD	\$540.00
		02/20/2018	70410	PHLEBOTOMY SERVICES FOR PD	
Remit to: LA QUINTA, CA					FYTD: \$12,550.00
AMTECH ELEVATOR SERVICES	21825	02/20/2018	DVB05046218	ELEVATOR ROUTINE MAINT-EMERGENCY OPERATIONS CENTER-FEB 2018	\$295.00
		02/20/2018	DVB05044218	ELEVATOR ROUTINE MAINT-CITY HALL-FEB 2018	
Remit to: PASADENA, CA					FYTD: \$5,410.00

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APPLE ONE EMPLOYMENT SERVICES	21720	02/05/2018	01-4754539	TEMPORARY CLERICAL SUPPORT 1/16-1/19/18 (S. RAMIREZ)	\$650.88
	21826	02/20/2018	01-4761029	TEMPORARY CLERICAL SUPPORT 1/22-1/26/18 (S. RAMIREZ)	\$813.60
	21886	02/26/2018	01-4775482	TEMPORARY CLERICAL SUPPORT 2/5-2/9/18 (S. RAMIREZ)	\$1,627.20
		02/26/2018	01-4769218	TEMPORARY CLERICAL SUPPORT 1/29-2/2/18 (S. RAMIREZ)	
Remit to: GLENDALE, CA					FYTD: \$38,395.13
ARCE, RUBEN	233311	02/20/2018	R17-115839	ANIMAL SHELTER REFUND-RABIES DEPOSIT	\$20.00
Remit to: BEAUMONT, CA					FYTD: \$20.00
ARCHITECTURAL SIGN IDENTITY INC.	21784	02/12/2018	557-DEPOSIT	DEDICATION PLAQUE-MV LIBRARY MALL (50% DEPOSIT)	\$1,427.17
Remit to: SAN JACINTO, CA					FYTD: \$4,281.50
ARMSTRONG, CHRISTINA	233256	02/12/2018	2000007.067	SENER CENTER RENTAL REFUND	\$300.00
Remit to: MORENO VALLEY, CA					FYTD: \$300.00
AUDIO DYNAMIX, INC	233282	02/20/2018	16880	MICROPHONES FOR SOUND MACHINE-COTTONWOOD GOLF COURSE	\$419.30
Remit to: SANTA ANA, CA					FYTD: \$419.30
AUTOMATIC STOREFRONT SERVICE/E-Z AUTOMATED SYSTEMS	233283	02/20/2018	0030087	SLIDING GLASS DOORS REPAIR-PUBLIC SAFETY BLDG	\$864.65
Remit to: CHINO, CA					FYTD: \$11,425.51
AVANT GARDE	21785	02/12/2018	4674	HOME FUNDING COMPLIANCE SVCS-DEC 2017	\$365.00
	21827	02/20/2018	4672	HUD GRANTS - PREPARATION OF THE CONSOLIDATED PLAN-DEC 2017	\$8,648.00
		02/20/2018	4723	HUD GRANTS - PREPARATION OF THE CONSOLIDATED PLAN-JAN 2018	
Remit to: POMONA, CA					FYTD: \$57,350.50

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AXIS CIVIL SURVEY MAPPING, INC	233257	02/12/2018	BL#32896-YR2018	REFUND OF OVERPAYMENT FOR BL#32896	\$5.85
Remit to: TEMECULA, CA					<u>FYTD:</u> \$5.85
BARNUM & CELILLO ELECTRIC, INC	233258	02/12/2018	BL#33252-YR2018	REFUND OF OVERPAYMENT FOR BL#33252	\$25.19
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$25.19
BARTHA, BRIGITTA	233251	02/12/2018	REIMB. 2/2/18	REIMBURSE LODGING COST FOR APPA WINTER INSTITUTE 1/29-2/2/18	\$1,078.29
Remit to: SUN CITY, CA					<u>FYTD:</u> \$1,601.51
BIO-TOX LABORATORIES	233194	02/05/2018	35214	FORENSIC TOXICOLOGY TESTING SERVICES FOR PD	\$11,351.22
		02/05/2018	35081	FORENSIC TOXICOLOGY TESTING SERVICES FOR PD	
		02/05/2018	35080	FORENSIC TOXICOLOGY TESTING SERVICES FOR PD	
		02/05/2018	35213	FORENSIC TOXICOLOGY TESTING SERVICES FOR PD	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$40,235.74
BIRO, JOCELYN	233312	02/20/2018	R17-115395	ANIMAL SHELTER REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: BEAVERTON, OR					<u>FYTD:</u> \$75.00

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BMW MOTORCYCLES OF RIVERSIDE	21721	02/05/2018	6017896	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	\$9,442.77
		02/05/2018	6018168	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	5023868	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6018041	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017892	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017891	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017813	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017665	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017719	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6018058	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6017879	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
		02/05/2018	6018006	MAINT & REPAIRS-TRAFFIC MOTORCYCLE	
	02/05/2018	6017701	MAINT & REPAIRS-TRAFFIC MOTORCYCLE		
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$26,278.59
BOB MURRAY & ASSOCIATES	233259	02/12/2018	BL#31570-YR2018	REFUND OF OVERPAYMENT FOR BL#31570	\$7.90
Remit to: ROSEVILLE, CA					<u>FYTD:</u> \$7.90
BOBO, FELIX	233358	02/26/2018	2000106.047	CONFERENCE & REC. CTR. RENTAL REFUND	\$100.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$100.00
BORREGO, LUCERO	233359	02/26/2018	MVA020009108	REFUND-PARKING CONTROL FEES OVERPAYMENT	\$115.00
Remit to: AZUSA, CA					<u>FYTD:</u> \$115.00
BOSCO LEGAL SERVICE, INC.	21786	02/12/2018	STMT34609	LEGAL COURIER SERVICES 10/25/17-1/23/18	\$4,509.91
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$10,566.21

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BOX SPRINGS MUTUAL WATER COMPANY	233235	02/12/2018	189-13 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	\$272.00
		02/12/2018	1084-1 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	1087-1 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	1086-1 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	1088-1 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	204-9 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	45-4 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	80-4 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
		02/12/2018	1085-1 1/31/18	WATER ASSESSMENT ON VACANT LOTS OWNED BY THE HOUSING AUTHORITY	
	233284	02/20/2018	721-1 1/31/18	WATER USAGE (JAN INV)-SD LMD ZN 01-TOWNGATE	\$60.20
Remit to: MORENO VALLEY, CA					FYTD: \$3,596.85
BRADLEY, CHRISTOPHER	233260	02/12/2018	R17-116140	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSIT	\$95.00
Remit to: PERRIS, CA					FYTD: \$95.00
BRAUN BLAISING SMITH WYNNE, P.C.	233195	02/05/2018	17021	LEGAL SERVICES-MV UTILITY-DEC17	\$2,530.13
		02/05/2018	17038	LEGAL SERVICES-MV UTILITY-DEC17	
Remit to: SACRAMENTO, CA					FYTD: \$33,704.81

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BRIGHTVIEW LANDSCAPE DBA MARINA LANDSCAPE, INC	21828	02/20/2018	5610302	PLANT MATERIAL INSTALLATION-ZONE D	\$5,339.67
		02/20/2018	5546970-1	SPRAY WEEDS-ZONE D	
		02/20/2018	5546971-1	LANDSCAPE MAINT-ZONE D	
		02/20/2018	5596022	PLANT MATERIAL REMOVAL-ZONE M	
		02/20/2018	5596023	ACASIA DESERT CARPET INSTALLATION-ZONE D	
		02/20/2018	5596039	IRRIGATION REPAIRS-ZONES D & M	
		02/20/2018	5610303	PLANT MATERIAL INSTALLATION-ZONE D	
Remit to: RIVERSIDE, CA					FYTD: \$114,552.15
BRIXTON-ALTO SHOPPING CENTER, LLC	233335	02/26/2018	MAR 2018 RENT	RENT (INCLUDING CAM) FOR EMPLOYMENT RESOURCE CENTER - MAR18	\$7,335.83
Remit to: SAN DIEGO, CA					FYTD: \$58,686.64
BROWN, AMIA	233360	02/26/2018	MVA010005197	REFUND-PARKING CONTROL FEES OVERPAYMENT	\$115.00
Remit to: MORENO VALLEY, CA					FYTD: \$115.00
BUREAU OF OFFICE SERVICES, INC	21723	02/05/2018	88246	TRANSCRIPTION SERVICES-DEC 2017	\$572.39
	21829	02/20/2018	88293	TRANSCRIPTION SERVICES-JAN 2018	\$455.32
Remit to: BURR RIDGE, IL					FYTD: \$3,545.10
BURKE, WILLIAMS & SORENSEN, LLP.	21724	02/05/2018	220873	LEGAL SERVICES-NOV 2017	\$70.00
Remit to: LOS ANGELES, CA					FYTD: \$164.50
BURNS & MCDONNELL ENGINEERING COMPANY, INC	21830	02/20/2018	100399-5	ELECTRIC RATES STUDY-DEC 2017	\$315.00
Remit to: KANSAS, MO					FYTD: \$31,500.00

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CA HOMESTARONE, LLC	233261	02/12/2018	BL#31337-YR2018	REFUND OF OVERPAYMENT FOR BL#31337	\$42.50
Remit to: PALO ALTO, CA					<u>FYTD:</u> \$42.50
CADDELL, MELISSA	233313	02/20/2018	R18-118415	ANIMAL SHELTER REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: SAN BERNARDINO, CA					<u>FYTD:</u> \$75.00
CALIFORNIA SHOPPING CART RETRIEVAL CORP.	21787	02/12/2018	168651	SHOPPING CART RETRIEVAL SVCS-NOV17	\$4,050.00
		02/12/2018	169143	SHOPPING CART RETRIEVAL SVCS-DEC17	
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$15,300.00
CALIFORNIA WATERSHED ENGINEERING CORP.	21725	02/05/2018	18002	PLAN CHECK SVCS-PWQMP-DEC17	\$341.00
Remit to: FULLERTON, CA					<u>FYTD:</u> \$14,733.34
CANDLELIGHT SYSTEMS	233262	02/12/2018	BL#32341-YR2018	REFUND OF OVERPAYMENT FOR BL#32341	\$17.43
Remit to: SAN CLEMENTE, CA					<u>FYTD:</u> \$17.43
CARLIN, LIZETH	233314	02/20/2018	R17-114956	ANIMAL SHELTER REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
CARLOS, JUAN	233361	02/26/2018	MVA050004148	REFUND-PARKING CONTROL FEES OVERPAYMENT	\$57.50
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$57.50
CARMAX AUTO SUPER STORE	233192	02/02/2018	STOCK 15199495	PURCHASE OF 2013 FORD TAURUS 4D SEDAN (VIN# 1FAHP2F87DG159866)	\$15,512.18
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$15,512.18

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CEMEX	233236	02/12/2018	9437008449	MIXED CONCRETE MATERIALS	\$859.74
Remit to: PASADENA, CA					<u>FYTD:</u> \$6,828.55
CHANDLER ASSET MANAGEMENT, INC	21831	02/20/2018	1801MORENOVA	INVESTMENT MANAGEMENT SVCS-JAN18	\$4,215.45
Remit to: SAN DIEGO, CA					<u>FYTD:</u> \$33,837.29
CHARLES ABBOTT ASSOCIATES, INC	21726	02/05/2018	57817	CONSULTING SVCS-NPDES/SWMP-DEC17	\$7,179.00
Remit to: MISSION VIEJO, CA					<u>FYTD:</u> \$74,499.00
CJW GENERAL CONTRACTING	233263	02/12/2018	BL#32837-YR2018	REFUND OF OVERPAYMENT FOR BL#32837	\$14.45
Remit to: SAN JACINTO, CA					<u>FYTD:</u> \$14.45
COGENT COMMUNICATIONS, INC	21727	02/05/2018	112018	SECONDARY INTERNET CONNECTION 1/1-1/31/18	\$1,726.00
	21887	02/26/2018	212018	SECONDARY INTERNET CONNECTION 2/1-2/28/18	\$1,726.00
Remit to: BALTIMORE, MD					<u>FYTD:</u> \$13,833.89
COLONIAL SUPPLEMENTAL INSURANCE	233237	02/12/2018	7133069-0201409	EMPLOYEE SUPPLEMENTAL INSURANCE	\$6,391.77
Remit to: COLUMBIA, SC					<u>FYTD:</u> \$48,740.32
COMMONWEALTH LAND TITLE COMPANY	233196	02/05/2018	2885	PRELIMINARY TITLE REPORT-CRYSTAL HILL RD-APN 474-220-070	\$750.00
Remit to: NEWPORT BEACH, CA					<u>FYTD:</u> \$57,492.00
COMMUNITY NOW	21728	02/05/2018	2013-HSIP	SAFE ROUTES TO SCHOOL, COMMUNITY NOW CONSULTANT SVCS	\$22,738.33
	21832	02/20/2018	2014-HSIP	SAFE ROUTES TO SCHOOL, COMMUNITY NOW CONSULTANT SVCS	\$15,658.66
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$97,430.01

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COSTAR REALTY INFORMATION, INC	233336	02/26/2018	106004261-1	COMMERCIAL REAL ESTATE DATABASE SVC-FEB18	\$1,587.09
Remit to: BALTIMORE, MD					FYTD: \$9,106.28
COUNSELING TEAM, THE	233197	02/05/2018	41625	EMPLOYEE ASSISTANCE PROGRAM-DEC17	\$1,250.00
	233337	02/26/2018	40849	CONSULTING SVCS-PARKS REC & COMM CTR	\$7,850.00
		02/26/2018	41372	CONSULTING SVCS-CITY MGR	
		02/26/2018	41850	EMPLOYEE ASSISTANCE PROGRAM-JAN18	
Remit to: SAN BERNARDINO, CA					FYTD: \$26,520.00
COUNTRY SQUIRE ESTATES	233238	02/12/2018	DEC 17 JAN 18	REFUND FOR UUT	\$62.24
		02/12/2018	NOV-DEC 2017	REFUND FOR UUT	
Remit to: ONTARIO, CA					FYTD: \$293.41
COUNTY OF RIVERSIDE	21729	02/05/2018	IT0000001582	APX 7500M DUAL BAND & HPD MODEM MAINT	\$2,945.35
	233285	02/20/2018	18-23576	T & M RECORDATION-AMENDED NOTICE OF SPECIAL TAX LIEN	\$233.00
		02/20/2018	18-19359	T & M MAP RECORDATION-AMENDMENT NO. 13	
Remit to: RIVERSIDE, CA					FYTD: \$62,448.64
COUNTY OF RIVERSIDE 1	233198	02/05/2018	PU0000004265	JANITORIAL SUPPLIES-POLICE STATION-DEC17	\$617.55
Remit to: RIVERSIDE, CA					FYTD: \$5,613.02
CRASH DATA GROUP, INC	233199	02/05/2018	INV6548	VEHICLE ACCIDENT DATE RETRIVAL SOFTWARE SUBSCRIPTION	\$1,050.00
Remit to: TEMECULA, CA					FYTD: \$1,050.00
CRAZY DAISY'S	233264	02/12/2018	BL#32790-YR2018	REFUND OF OVERPAYMENT FOR BL#32760	\$5.00
Remit to: MORENO VALLEY, CA					FYTD: \$5.00

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CREASON AND AARVIG, LLP	233200	02/05/2018	32866-NOV17	LEGAL SERVICES-CLAIM MV1720 (T. WILSON)	\$3,703.49
		02/05/2018	32948-DEC17	LEGAL SERVICES-CLAIM MV1617 (M. CUTHERELL)	
		02/05/2018	32954-DEC17	LEGAL SERVICES-CLAIM MV1720 (T. WILSON)	
Remit to: RIVERSIDE, CA					FYTD: \$33,172.37
CRUZ, ROSA	233362	02/26/2018	R18-118865	ANIMAL SERVICES REFUND-TRAP RENTAL DEPOSIT	\$50.00
Remit to: MORENO VALLEY, CA					FYTD: \$50.00
CUTWATER INVESTOR SERVICES CORP	21834	02/20/2018	22031A	INVESTMENT MANAGEMENT SVCS-DEC17	\$2,763.06
Remit to: DENVER, CO					FYTD: \$22,117.86
D&D SERVICES DBA D&D DISPOSAL, INC.	233338	02/26/2018	86993	DECEASED ANIMAL REMOVAL SVCS-JAN18	\$745.00
Remit to: VALENCIA, CA					FYTD: \$5,960.00
DATA TICKET, INC.	21730	02/05/2018	83423	ADMIN CITATION PROCESSING-PD-OCT17	\$129.19
		02/05/2018	84893	ADMIN CITATION PROCESSING-PD-NOV17	
	21788	02/12/2018	83420TPC	THIRD PARTY COLLECTIONS-ANIMAL SVCS-OCT17	\$938.37
		02/12/2018	84891	ADMIN CITATION PROCESSING-BLDG & SAFETY-NOV17	
		02/12/2018	84890	ADMIN CITATION PROCESSING-ANIMAL SVCS-NOV17	
		02/12/2018	84890TPC	THIRD PARTY COLLECTIONS-ANIMAL SVCS-NOV17	
		02/12/2018	83420	ADMIN CITATION PROCESSING-ANIMAL SVCS-OCT17	
	21835	02/20/2018	81707	PAYMENT PROCESSING-FIRE ANNUAL INSPECTION PILOT PROGRAM-JUL17	\$105.80
		02/20/2018	83531	PAYMENT PROCESSING-FIRE ANNUAL INSPECTION PILOT PROGRAM-OCT17	
Remit to: IRVINE, CA					FYTD: \$174,466.87

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DAVIS, HEATHER	233224	02/05/2018	R18-118189	ANIMAL SERVICES REFUND-RABIES DEPOSIT	\$20.00
Remit to: PAHAUMP, NV					<u>FYTD:</u> \$20.00
DE ROBLES, MERCEDES	233363	02/26/2018	2000118.047	COTTONWOOD GOLF CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
DEBINAIRE COMPANY	21836	02/20/2018	172370	REPLACEMENT OF BOILER HARNESS-CONFERENCE & REC CTR	\$70.04
Remit to: CORONA, CA					<u>FYTD:</u> \$36,401.09
DELTA DENTAL OF CALIFORNIA	21789	02/12/2018	BE002622629	EMPLOYEE DENTAL INSURANCE-PPO	\$11,342.30
Remit to: SAN FRANCISCO, CA					<u>FYTD:</u> \$94,438.11
DELTACARE USA	21790	02/12/2018	BE002623417	EMPLOYEE DENTAL INSURANCE-HMO	\$4,535.48
Remit to: DALLAS, TX					<u>FYTD:</u> \$36,434.19
DEPARTMENT OF ENVIRONMENTAL HEALTH	233239	02/12/2018	IN0311583	ENVIRONMENTAL HEALTH PERMIT FOR CONFERENCE & REC CTR	\$1,064.00
	233286	02/20/2018	IN0310573	GRAND VALLEY BALLROOM ENVIRONMENTAL HEALTH PERMIT-SUNNYMEAD PARK	\$720.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$24,235.02
DEPARTMENT OF MOTOR VEHICLES	233252	02/12/2018	01312018	VEHICLE CODE BOOKS	\$68.77
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$68.77

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DMS FACILITY SERVICES	21791	02/12/2018	RC-L111578	JANITORIAL SERVICES-MV MALL LIBRARY-JAN18	\$1,685.00
		02/12/2018	L44943	SPECIAL CLEANINGS FOR DEC17 EVENT RENTALS-SENIOR CTR	
	21837	02/20/2018	L45133	SPECIAL CLEANINGS FOR JAN18 EVENT RENTALS-COTTONWOOD GOLF CTR	\$690.00
		02/20/2018	L45132	SPECIAL CLEANINGS FOR JAN18 EVENT RENTALS-TOWNGATE COMM CTR	
	21889	02/26/2018	RC-L111171	JANITORIAL SVCS-RAINBOW RIDGE PORTABLE-DEC17	\$2,200.65
		02/26/2018	RC-L111172	JANITORIAL SVCS-RED MAPLE PORTABLE-DEC17	
		02/26/2018	RC-L111726	JANITORIAL SVCS-MV MALL LIBRARY-FEB18	
		02/26/2018	RC-L111174	JANITORIAL SVCS-SUNNYMEAD MIDDLE/THINK-DEC17	
		02/26/2018	RC-L111175	JANITORIAL SVCS-SUNNYMEAD ELEMENTARY-DEC17	
		02/26/2018	L45131	SPECIAL CLEANINGS FOR JAN18 EVENT RENTALS-SENIOR CTR	
Remit to: SOUTH PASADENA, CA					FYTD: \$216,450.72
DRAYTON, TAMI JANOHNE	21838	02/20/2018	FEB-2018	INSTRUCTOR SERVICES-SOUL LINE DANCING CLASSES	\$194.40
Remit to: MORENO VALLEY, CA					FYTD: \$1,238.40
DUVAL, ROBERTA	21890	02/26/2018	FEB-2018	INSTRUCTOR SERVICES-CPR & FIRST AID CLASS	\$324.00
Remit to: SUN CITY, CA					FYTD: \$1,727.80
E.R. BLOCK PLUMBING & HEATING, INC.	21731	02/05/2018	125343	BACKFLOW DEVICE TESTS-ZONES D, M, S, 1, E-7 & NPDES WQB	\$275.00
Remit to: RIVERSIDE, CA					FYTD: \$20,323.97
EAGLE AERIAL IMAGING	21732	02/05/2018	19938	WALL AERIALS FOR CITY FACILITIES	\$7,862.56
Remit to: COSTA MESA, CA					FYTD: \$21,956.56

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EASTERN MUNICIPAL WATER DISTRICT	233240	02/12/2018	JAN-18 2/12/18	WATER CHARGES	\$6,145.74
	233287	02/20/2018	JAN-18 2/20/18	WATER CHARGES	\$23,293.56
	233339	02/26/2018	JAN-18 2/26/18	WATER CHARGES	\$16,131.87
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$1,461,186.81
ECORP CONSULTING, INC.	21792	02/12/2018	82820	MDP LINE H-2 SD (DISCOVERY CHURCH) ENVIRONMENTAL CONSULTING SVCS	\$19,146.86
		02/12/2018	83067	MDP LINE H-2 SD (DISCOVERY CHURCH) ENVIRONMENTAL CONSULTING SVCS	
		02/12/2018	Inv 82815	COTTONWOOD BASIN, ENVIRONMENTAL CONSULTING SVCS	
		02/12/2018	Inv 83041	COTTONWOOD BASIN, ENVIRONMENTAL CONSULTING SVCS	
Remit to: ROCKLIN, CA					<u>FYTD:</u> \$42,304.46
ELDRIDGE, STACI	233265	02/12/2018	R18-118370	ANIMAL SERVICES REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: BISHOP, CA					<u>FYTD:</u> \$75.00
EMPIRE MANAGEMENT GROUP	233266	02/12/2018	BL#26843-YR2018	REFUND OF OVERPAYMENT FOR BL#26843	\$10.80
Remit to: REDLANDS, CA					<u>FYTD:</u> \$10.80
EMPIRE MOWER	233241	02/12/2018	184144	TREE TRIMMING EQUIPMENT PARTS	\$43.06
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,366.11
EMPLOYMENT DEVELOPMENT DEPARTMENT	21820	02/13/2018	4TH QTR 2017	UNEMPLOYMENT INSURANCE CLAIMS 10/1-12/31/17	\$19,708.00
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$34,853.96
ENCARNACION JR., JESSE	233315	02/20/2018	R18-118477	ANIMAL SHELTER REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: WOODLAND HILLS, CA					<u>FYTD:</u> \$75.00

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ENCO UTILITY SERVICES MORENO VALLEY LLC	21733	02/05/2018	0405-MTS1-SP143	METER FEES-REGULAR 10/2-10/26/17	\$24,845.85
		02/05/2018	40-349B-05	WA# 40-349B IRIS 12KV CIRCUIT RECONFIGURATION	
		02/05/2018	0406-Temp MF-130	METER FEES-TEMPORARY 10/6-10/26/17	
		02/05/2018	0405-MTS1-SP145	METER FEES-REGULAR 12/21/17	
	21793	02/12/2018	0402-MF-02074	SOLAR SYSTEM INSPECTION	\$436.00
		02/12/2018	0402-MF-02073	SOLAR SYSTEM INSPECTION	
Remit to: ANAHEIM, CA					<u>FYTD:</u> \$4,455,740.96
ESPINOZA, FRANCISCO	233316	02/20/2018	R17-115694	ANIMAL SHELTER REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$95.00
EVANS ENGRAVING & AWARDS	21794	02/12/2018	12018-9	NAMEPLATE/BADGES FOR SENIOR CITIZEN'S ADVISORY BOARD	\$157.32
	21840	02/20/2018	12318-9	PLAQUES-RECREATION TRAILS BOARD-OUTGOING BOARD MEMBERS	\$301.70
Remit to: BANNING, CA					<u>FYTD:</u> \$1,491.88
EVERETT, JENNIFER	233364	02/26/2018	MVP73269	REFUND-PARKING CITATION DISMISSED	\$432.50
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$432.50
EXCEL LANDSCAPE, INC	21841	02/20/2018	91222	BEE HIVE ELIMINATION-WQB/NPDES	\$250.00
Remit to: CORONA, CA					<u>FYTD:</u> \$42,337.53
EXCLUSIVE TOWING	233202	02/05/2018	8627	EVIDENCE VEHICLE TOWING	\$206.00
	233288	02/20/2018	8656	EVIDENCE VEHICLE TOWING	\$472.00
		02/20/2018	7923	EVIDENCE VEHICLE TOWING	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,817.54

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FEDERAL MOGUL MOTORPARTS	233331	02/20/2018	MVU 7013741-03	COMMERCIAL LIGHTING REBATE	\$5,397.84
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$5,397.84
FIESTA AUTO INSURANCE (TAX PREP)	233267	02/12/2018	BL#29865-YR2018	REFUND OF OVERPAYMENT FOR BL#29865	\$39.72
Remit to: FRESNO, CA					<u>FYTD:</u> \$39.72
FIRST AMERICAN DATA TREE, LLC	233289	02/20/2018	20027760118	ONLINE SOFTWARE SUBSCRIPTION-JAN 2018	\$99.00
Remit to: PASADENA, CA					<u>FYTD:</u> \$792.00
FRANCE PUBLICATIONS, INC.	21734	02/05/2018	WR88236	ADVERTISEMENT-WESTERN REAL ESTATE BUSINESS-10/1/17 ISSUE	\$2,900.00
Remit to: ATLANTA, GA					<u>FYTD:</u> \$12,300.00
FRANCHISE TAX BOARD	233290	02/20/2018	CASE 572086293	REMITTANCE OF FUNDS PER ORDER TO WITHHOLD	\$52.80
Remit to: SACRAMENTO, CA					<u>FYTD:</u> \$52.80
FRANKLIN, L. C.	21842	02/20/2018	JAN-2018	MILEAGE REIMBURSEMENT	\$209.28
Remit to: PERRIS, CA					<u>FYTD:</u> \$1,129.49
FRED'S GLASS & MIRROR, INC.	233291	02/20/2018	11169	WINDOW REPAIR-FIRE STATION 65	\$3,984.43
		02/20/2018	11146	TEMPERED GLASS DESK-CITY HALL	
		02/20/2018	11040	WINDOW BOARD UP/REPLACEMENT-PUBLIC SAFETY BLDG	
		02/26/2018	11171	WINDOW BOARD UP/REPLACEMENT-SENIOR CTR	
233340	02/26/2018	11171	WINDOW BOARD UP/REPLACEMENT-SENIOR CTR	\$2,002.20	
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$9,088.05

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FRONTIER COMMUNICATIONS/FORMERLY VERIZON	21892	02/26/2018	7002Z183-S-18036	BACKBONE COMMUNICATION SVCS 2/5-3/4/18	\$1,990.08
Remit to: ROCHESTER, NY					FYTD: \$15,770.69
FRONTIER COMMUNICATIONS/FORMERLY VERIZON CALIF.	233341	02/26/2018	082109-5/FEB18	PHONE SERVICES FOR EMPLOYMENT RESOURCE CENTER 2/4-3/3/18	\$895.59
		02/26/2018	3101548661/JAN18	FIOS SERVICES FOR FIRE STATION 99 FOREIGN EXCHANGE BUSINESS	
		02/26/2018	081095-5 1/10/18	LISTING-MV UTILITY	
		02/26/2018	3101548661/FEB18	FIOS SVCS FOR FIRE STATION 99	
		02/26/2018	081095-5 2/10/18	FOREIGN EXCHANGE BUSINESS LISTING-MV UTILITY	
Remit to: CINCINNATI, OH					FYTD: \$6,096.85
FUEL PROS, INC	21843	02/20/2018	33743	FUEL DISPENSER REPAIR-FIRE STATION 48	\$531.34
Remit to: CHINO, CA					FYTD: \$4,484.69
G/M BUSINESS INTERIORS, INC.	21893	02/26/2018	0239045-IN	TASK CHAIR (1)-PUBLIC SAFETY BLDG	\$204.74
Remit to: RIVERSIDE, CA					FYTD: \$23,491.74
GAGE, LESIA	21735	02/05/2018	1/29-2/2/18	REIMBURSEMENT FOR MILEAGE, MEALS & PARKING-APPA WINTER INSTITUTE	\$278.48
Remit to: WHITTIER, CA					FYTD: \$278.48
GARCIA, CHANTEL	233292	02/20/2018	JAN-2018	INSTRUCTOR SERVICES-ART CLASS	\$61.20
Remit to: MORENO VALLEY, CA					FYTD: \$61.20
GC BUFFET RESTAURANT LLC	233317	02/20/2018	02132018	REFUND-PLANNING DEPOSITS & FEES	\$9,409.00
Remit to: INDUSTRY, CA					FYTD: \$9,409.00

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GODINEZ, EDUARDO	233293	02/20/2018	MILEAGE 2/5-2/7	MILEAGE REIMBURSEMENT-PICKUP/RETURN KEYS FOR EV UNITS	\$128.08
Remit to: CORONA, CA					FYTD: \$128.08
GONG ENTERPRISES, INC.	21736	02/05/2018	7647	PLAN CHECK SVCS/ROUGH GRADING PLANS-TR31517/PA03-0168/P07-137	\$17,280.00
		02/05/2018	7648	PLAN CHECK SVCS/DRAINAGE REPORT-TR31517/PA03-0168/P07-137	
		02/05/2018	7652	PLAN CHECK SVCS/FINAL TRACT MAP-TR31517	
		02/05/2018	7649	PLAN CHECK SVCS/STORM DRAIN PLANS-TR31517/PA03-0168/P07-137	
		02/05/2018	7650	PLAN CHECK SVCS/STORM DRAIN PLANS-TR31517/PA03-0168/P07-137	
		02/05/2018	7651	PLAN CHECK SVCS/SEWER & WATER PLANS-TR31517/PA03-0168/P07-137	
Remit to: HUNTINGTON BEACH, CA					FYTD: \$30,748.70
GOZDECKI, DAN	21844	02/20/2018	FEB-2018	INSTRUCTOR SERVICES-KUNG FU CLASS/YOUTH	\$259.20
Remit to: MORENO VALLEY, CA					FYTD: \$2,031.90
GRAVES & KING, LLP	21737	02/05/2018	1712-0009954-05	LEGAL SERVICES-CLAIM MV1445 (D. KIEFER)	\$8,161.97
		02/05/2018	1712-0009936-03	LEGAL SERVICES-CLAIM MV1707 (T. HUFF)	
		02/05/2018	1712-0009953-02	LEGAL SERVICES-CLAIM MV1674 (B. CONTRERAS)	
Remit to: RIVERSIDE, CA					FYTD: \$232,313.76
GREENSTONE MATERIALS	233294	02/20/2018	45857	CONCRETE/DIRT DUMP FEES	\$206.00
Remit to: SAN JUAN CAPISTRANO, CA					FYTD: \$3,939.00
GUERRA, YESENIA	233225	02/05/2018	2000088.047	REFUND-ZUMBA KIDS CLASS	\$24.00
Remit to: MORENO VALLEY, CA					FYTD: \$24.00

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GUTIERREZ, YXSTIAN	233253	02/12/2018	REIMB. 1/28/18	REIMBURSE AIRPORT PARKING & TRANSPORTATION COSTS 1/25-1/28/18	\$106.81
Remit to: MORENO VALLEY, CA					FYTD: \$704.81
GUZMAN FARM LABOR	233268	02/12/2018	BL#28197-YR2018	REFUND OF OVERPAYMENT FOR BL#28197	\$36.21
Remit to: ROMOLAND, CA					FYTD: \$36.21
HABITAT RESTORATION SCIENCES, INC	21738	02/05/2018	8955	DETENTION BASIN MAINTENANCE SVC-DEC17	\$1,874.00
Remit to: VISTA, CA					FYTD: \$14,992.00
HDL COREN & CONE	233342	02/26/2018	0024928-IN	CONTRACT SERVICES-PROPERTY TAX SOFTWARE MAINT (JAN-MAR 2018)	\$5,362.50
Remit to: DIAMOND BAR, CA					FYTD: \$16,087.50
HLP, INC.	21739	02/05/2018	13892	WEB LICENSE MONTHLY SERVICE FEE	\$38.85
	21845	02/20/2018	14258	WEB LICENSE MONTHLY SERVICE FEE	\$37.45
	21894	02/26/2018	14369	WEB LICENSE MONTHLY SERVICE FEE	\$61.60
Remit to: LITTLETON, CO					FYTD: \$19,617.05
HORRY, LAUREN	233318	02/20/2018	2000010.067	REFUND FOR DEPOSIT & FOR LATE STAFF 2 HOURS	\$600.00
Remit to: MORENO VALLEY, CA					FYTD: \$600.00
HOUSER, MELANIE JEAN	21846	02/20/2018	1027	TRANSCRIPTION SERVICES-12/21/17 PLANNING COMMISSION SPECIAL MTG	\$200.64
Remit to: ST. PETERSBURG, FL					FYTD: \$1,153.08
HR GREEN CALIFORNIA, INC	21740	02/05/2018	116526	PLAN CHECK SVCS/TR36933-PA04-0146 9/30-12/29/17	\$4,745.00
Remit to: DES MOINES, IA					FYTD: \$24,783.35

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HROUDA, GEORGE	233319	02/20/2018	C14134	REFUND-ADMIN CITATION DISMISSED	\$125.00
Remit to: MORENO VALLEY, CA					FYTD: \$225.00
HUNSAKER & ASSOCIATES IRVINE, INC	233203	02/05/2018	17120113	PLAN CHECK SVCS/PM35679-3801-1FA	\$4,087.99
		02/05/2018	17120111	PLAN CHECK SVCS-PA13-0039/TR31592 11/30-12/27/17	
Remit to: RIVERSIDE, CA					FYTD: \$23,809.01
INLAND EMPIRE PROPERTY SERVICE, INC	21741	02/05/2018	3310	NUISANCE ABATEMENT SVCS-APN 488-200-013	\$8,800.00
	21796	02/12/2018	537	WEED ABATEMENT SVCS-FIRE PREVENTION-APN 478-421-013	\$4,057.00
		02/12/2018	443	WEED ABATEMENT SVCS-FIRE PREVENTION-APN 297-180-007	
		02/12/2018	3312	NUISANCE ABATEMENT SVCS-APN BRONZE DR	
	21895	02/26/2018	598	WEED ABATEMENT SVCS-FIRE PREVENTION-APN 471-290-006	\$446.00
Remit to: MORENO VALLEY, CA					FYTD: \$183,910.18
INLAND OVERHEAD DOOR COMPANY	21847	02/20/2018	41842	ROLL UP DOOR REPAIR-PUBLIC SAFETY BLDG	\$810.25
		02/20/2018	41700	ROLL UP DOOR REPAIR-FIRE STATION 48	
		02/20/2018	41960	ROLL UP DOOR REPAIR-FIRE STATION 6	
Remit to: COLTON, CA					FYTD: \$23,009.50
INMAN, VERONICA	233365	02/26/2018	R17-116591	ANIMAL SERVICES REFUND-PARTIAL REFUND OF RECENT LICENSE RENEWAL	\$19.00
Remit to: MORENO VALLEY, CA					FYTD: \$19.00
INSIDE PLANTS, INC.	21896	02/26/2018	68604	INSIDE PLANTS MAINT SVC-FEB18	\$125.00
Remit to: CORONA, CA					FYTD: \$1,000.00

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IRON MOUNTAIN, INC	21742	02/05/2018	201508104	OFF-SITE DATA STORAGE-DEC17	\$3,223.40
		02/05/2018	PRN1107	OFF-SITE STORAGE OF CITY RECORDS-JAN18	
	21848	02/20/2018	9FC8273	OFF-SITE STORAGE OF CITY RECORDS-FEB18	\$2,535.61
	21897	02/26/2018	201531067	OFF-SITE DATA STORAGE-JAN18	\$878.59
Remit to: PASADENA, CA					FYTD: \$27,928.25
JIMENEZ, GERMAN	233366	02/26/2018	R18-117937	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: RUBIDOUX, CA					FYTD: \$95.00
JOE A. GONSALVES & SON	21898	02/26/2018	156402	STATE LOBBYIST SVCS-MAR18	\$3,045.00
Remit to: SACRAMENTO, CA					FYTD: \$27,135.00
JOHNSON TRACY	21743	02/05/2018	JAN-2018	INSTRUCTOR SERVICES - SHITO-RYU KARATE CLASSES	\$281.20
	21899	02/26/2018	FEB-2018	INSTRUCTOR SERVICES - SHITO-RYU KARATE CLASSES	\$299.20
Remit to: MORENO VALLEY, CA					FYTD: \$2,775.35
JOHNSON HEALTH TECH NORTH AMERICA	233333	02/20/2018	9002133854	EXERCISE EQUIPMENT-PUBLIC SAFETY BLDG	\$13,193.99
Remit to: COTTAGE GROVE, WI					FYTD: \$13,193.99
JOHNSON MEZZCAP	21900	02/26/2018	1114	LITE OWLS @ E-SERIES EQUIPMENT LEASE-MAR18	\$2,243.51
Remit to: DALLAS, TX					FYTD: \$20,191.59
KRUEGER, KIMBERLEE	233204	02/05/2018	REIMBURSEMENT	REIMB. COST OF FLIGHT FOR INTERMEDIX WEB EMERGENCY OPERATIONS CENTER TRAINING 4/2-4/7/18	\$739.00
Remit to: TEMECULA, CA					FYTD: \$739.00

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
LANDCARE USA, LLC	21849	02/20/2018	118664	GRADING & SOIL REMOVAL-ZONE E-7	\$5,560.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$232,850.99
LATITUDE GEOGRAPHICS	233343	02/26/2018	INV0007883	GEOCORTEX ANNUAL MAINT 2/22/18-2/21/19	\$3,557.40
Remit to: VICTORIA, BC					<u>FYTD:</u> \$12,759.90
LAWLESS, CLARENCE	233226	02/05/2018	2000094.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
LEADING EDGE LEARNING CENTER	233205	02/05/2018	NOV-2017	INSTRUCTOR SERVICES-READING RASCALS CLASS	\$240.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,280.00
LEE-MCDUFFIE, PRECIOUS	21901	02/26/2018	FEB-2018	INSTRUCTOR SERVICES-ACTING & SPEECH CLASSES FOR KIDS/LITTLE ONES	\$295.20
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$3,586.80
LEVEL 3 COMMUNICATIONS/FORMERLY TW TELCOM	21850	02/20/2018	65572034a	INTERNET & DATA SVCS 1/17-2/16/18	\$4,954.15
		02/20/2018	65572034	TELEPHONE SVCS-LOCAL/LONG DISTANCE CALLS 1/17-2/16/18	
Remit to: BROOMFIELD, CO					<u>FYTD:</u> \$40,064.74
LEW, ROBERT	233320	02/20/2018	C15264	REFUND-ADMIN CITATION OVERPAYMENT	\$100.00
Remit to: ROWLAND HEIGHTS, CA					<u>FYTD:</u> \$173.83
LEXISNEXIS PRACTICE MANAGEMENT	21797	02/12/2018	3091318474	LEGAL RESEARCH TOOLS-JAN18	\$1,111.00
Remit to: CHICAGO, IL					<u>FYTD:</u> \$7,680.00

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Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount
LIEBERT, CASSIDY, WHITMORE	233296	02/20/2018	1452771	LEGAL SERVICES-MO140-00016	\$1,955.20
		02/20/2018	1452772	LEGAL SERVICES-MO140-00017	
	233344	02/26/2018	1454144	LEGAL SVCS-MO140-00016	\$2,491.40
		02/26/2018	3/8/18 TRAINING	TRAINING FEES FOR 3 ATTENDEES	
Remit to: LOS ANGELES, CA					FYTD: \$66,224.50
LIENHARD, DORI A.	233207	02/05/2018	1/10/18 MILEAGE	REIMBURSEMENT ROUNDTRIP TO CITY HALL FOR MEETING DURING LASERFICHE CONFERENCE	\$74.12
Remit to: RANCHO MIRAGE, CA					FYTD: \$706.69
LIFE LINE SCREENING	233367	02/26/2018	2000116.047	COTTONWOOD GOLF CTR. RENTAL REFUND	\$200.00
Remit to: CANTON, OH					FYTD: \$200.00
LILLY, ANA	21745	02/05/2018	00015	GRAPHICS/WEB DESIGN SVCS 1/14-1/27/18	\$750.00
	21851	02/20/2018	00016	GRAPHICS/WEB DESIGN SVCS 1/28-2/10/18	\$546.90
Remit to: RIVERSIDE, CA					FYTD: \$10,501.20
LOR GEOTECHNICAL GROUP, INC.	21798	02/12/2018	Inv 16678	ALESSANDRO BLVD/ELSWORTH ST IMPROVEMENT-GEOTECH SVCS	\$1,296.00
		02/12/2018	Inv 16702	ALESSANDRO BLVD/ELSWORTH ST IMPROVEMENT-GEOTECHSVCS	
Remit to: RIVERSIDE, CA					FYTD: \$8,732.00

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LYONS SECURITY SERVICE, INC	21746	02/05/2018	24489	SECURITY GUARD SVCS-LIBRARY-DEC17	\$7,343.73
		02/05/2018	24488	SECURITY GUARD SVCS-SENIOR CTR-DEC17	
		02/05/2018	24485	SECURITY GUARD SVCS-CITY YARD-DEC17	
		02/05/2018	24507	SECURITY GUARD SVCS-CITY HALL-DEC17	
	21903	02/26/2018	24567	SECURITY GUARD SVCS-CONF & REC CTR SPECIAL EVENTS-JAN18	\$1,798.32
		02/26/2018	24571	SECURITY GUARD SVCS-TOWNGATE COMM CTR-JAN18	
		02/26/2018	24570	SECURITY GUARD SVCS-SENIOR CTR-JAN18	
		02/26/2018	24568	SECURITY GUARD SVCS-COTTONWOOD GOLF COURSE SPECIAL EVENTS-JAN18	
		02/26/2018	24572	SECURITY GUARD SVCS-MV UTILITY-JAN18	
Remit to: ANAHEIM, CA					FYTD: \$115,419.10
MANDELL MUNICIPAL COUNSELING	233243	02/12/2018	JAN 2018	LEGAL SERVICES-CSD TRANSITIONS PROJECT	\$50.00
Remit to: LOS ANGELES, CA					FYTD: \$1,900.00
MARINAS, JOHN	233368	02/26/2018	2000119.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00

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MARIPOSA LANDSCAPES, INC.	21747	02/05/2018	79510	LANDSCAPE EXTRA WORK-DEC-SD LMD ZN 02/BROKEN IRRIGATION REPAIRS	\$16,737.17
		02/05/2018	78440	EXTRA LANDSCAPE WORK-FIRE STATION #48/LANDSCAPE & IRRIGATION UPGRADE	
		02/05/2018	79458	LANDSCAPE EXTRA WORK-HIDDEN SPRINGS MONUMENT-INSTALL IRRIGATION & PLANTS	
		02/05/2018	77460	EXTRA LANDSCAPE WORK-FIRE STATION #65/RELOCATE LATERAL LINES	
		02/05/2018	78439	EXTRA LANDSCAPE WORK-FIRE STATION #48/REPAIR IRRIGATION DAMAGE	
		02/05/2018	79385	LANDSCAPE MAINT.-SD LMD ZN 02-DEC 2017	
	21799	02/12/2018	79723	LANDSCAPE MAINT.-UTILITY FIELD OFFICE-JAN18	\$21,789.18
		02/12/2018	79719	LANDSCAPE MAINT.-ELECTRIC SUBSTATION-JAN18	
		02/12/2018	79666	LANDSCAPE MAINT.-ZONE 02-HIDDEN SPRINGS/DEC 2017	
		02/12/2018	79544	LANDSCAPE EXTRA WORK JAN18-ZONE 02-HS/INSTALL PLANT MATERIAL	
	02/12/2018	79509	LANDSCAPE EXTRA WORK DEC17-ZONE 02-HS/BROKEN 2" MAIN LINE REPAIR		

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MARIPOSA LANDSCAPES, INC.	21852	02/20/2018	79707	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY/BAY AVE. TO GRAHAM ST-JAN18	\$17,247.57
		02/20/2018	79709	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY/VANDENBERG DR TO FAY AVE-JAN18	
		02/20/2018	79705	LANDSCAPE MAINT.-TOWNGATE COMMUNITY CENTER-JAN18	
		02/20/2018	79710	LANDSCAPE MAINT.-NORTH AQUEDUCT-JAN18	
		02/20/2018	79711	LANDSCAPE MAINT.-PAN AM SECTION AQUEDUCT-JAN18	
		02/20/2018	79727	LANDSCAPE MAINT.-VETERAN'S MEMORIAL-JAN18	
		02/20/2018	79706	LANDSCAPE MAINT.-TOWNGATE AQUEDUCT BIKEWAY-JAN18	
		02/20/2018	79712	LANDSCAPE MAINT.-SOUTH AQUEDUCT A-JAN18	
		02/20/2018	79716	LANDSCAPE MAINT.-MARCH ANNEX BUILDING-JAN18	
		02/20/2018	79713	LANDSCAPE MAINT.-SOUTH AQUEDUCT B-JAN18	
		02/20/2018	79725	LANDSCAPE MAINT.-CITY HALL-JAN18	
		02/20/2018	79718	LANDSCAPE MAINT.-CONFERENCE & REC. CENTER-JAN18	
		02/20/2018	79726	LANDSCAPE MAINT.-ANNEX 1-JAN18	
		02/20/2018	79724	LANDSCAPE MAINT.-FIRE STATIONS 2, 6, 48, 58, 65, 91 & 99-JAN18	
		02/20/2018	79715	LANDSCAPE MAINT.-ANIMAL SHELTER-JAN18	
		02/20/2018	79728	LANDSCAPE MAINT.-CITY YARD SANTIAGO OFFICE-JAN18	
		02/20/2018	79714	LANDSCAPE MAINT.-AQUEDUCT/SCE & OLD LAKE DR-JAN18	
		02/20/2018	79717	LANDSCAPE MAINT.-CITY YARD-JAN18	
		02/20/2018	79720	LANDSCAPE MAINT.-LIBRARY-JAN18	
		02/20/2018	79720	LANDSCAPE MAINT.-PUBLIC SAFETY BUILDING-JAN18	
		02/20/2018	79721	LANDSCAPE MAINT.-SENIOR CENTER-JAN18	
		02/20/2018	79722	LANDSCAPE MAINT.-AQUEDUCT BIKEWAY-	
		02/20/2018	79708	DELPHINIUM AVE/PERHAM TO JFK DR-JAN18	

Remit to: IRWINDALE, CA

FYTD: \$292,079.06

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MASON, SAM	233244	02/12/2018	JAN-2018	INSTRUCTOR SERVICES-KICKBOXING/MIXED MARTIAL ARTS (25% WITHHELD)	\$158.40
Remit to: MORENO VALLEY, CA					FYTD: \$1,795.20
MCCAIN TRAFFIC SUPPLY	233245	02/12/2018	INV0226683	TRAFFIC SIGNAL EQUIPMENT	\$6,733.38
		02/12/2018	INV0226998	TRAFFIC SIGNAL EQUIPMENT	
Remit to: VISTA, CA					FYTD: \$71,393.36
MCCLAIN, MELISSA	21748	02/05/2018	2/6-2/7/18	TRAVEL PER DIEM & MILEAGE-ENTERTAINMENT EVOLUTION 2018 EVENT	\$181.13
Remit to: APPLE VALLEY, CA					FYTD: \$1,618.07
MCNAIR, YOLANDA	233227	02/05/2018	2000093.047	COTTONWOOD GOLF CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
MENGISTU, YESHIALEM	21853	02/20/2018	JAN-2018	MILEAGE REIMBURSEMENT	\$158.05
Remit to: MORENO VALLEY, CA					FYTD: \$904.38
MERCHANTS LANDSCAPE SERVICES INC	21749	02/05/2018	51227	LANDSCAPE EXTRA WORK-DEC17-SD LMD ZN 03-INSTALL 2 SYCAMORE TREES	\$4,654.20
		02/05/2018	51228	IRRIGATION REPAIRS-SD LMD ZN 03 & 04-DEC 2017	
Remit to: SANTA ANA, CA					FYTD: \$581,515.42
MERGELE, LESLYE	233321	02/20/2018	R18-118645	ANIMAL SHELTER REFUND-TRAP RENTAL DEPOSIT	\$50.00
Remit to: MORENO VALLEY, CA					FYTD: \$50.00

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MICHAEL BAKER INTERNATIONAL, INC	21904	02/26/2018	994802	CONSULTANT PLAN CHECK SERVICES-PEN17-0098 SAN MICHELE INDUSTRIAL FACILITY	\$21,765.00
		02/26/2018	997872	CONSULTANT PLAN CHECK SERVICES-PEN17-0098 SAN MICHELE INDUSTRIAL FACILITY	
Remit to: LOS ANGELES, CA					FYTD: \$53,071.38
MICON CONSTRUCTION, INC.	21750	02/05/2018	7857-01	ADA PCC IMPROVEMENTS (50%)-WESTBLUFF PARK	\$12,359.00
	21905	02/26/2018	7860-01	INSTALLATION OF WATER DRINKING FOUNTAIN AT EL POTRERO PARK	\$9,845.00
Remit to: PLACENTIA, CA					FYTD: \$106,947.60
MISRA, NEHA	233269	02/12/2018	R17-117006	ANIMAL SERVICES REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					FYTD: \$75.00
MOCK, CATHY	233369	02/26/2018	2000117.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
MONTGOMERY PLUMBING INC	233208	02/05/2018	012218	EMERGENCY CALL FOR PLUMBING REPAIR AT LIBRARY	\$4,775.00
		02/05/2018	012418	PLUMBING REPAIR-PUBLIC SAFETY BLDG/REMOVE TRAP PRIMER & MANIFOLD	
		02/05/2018	011518	EMERGENCY CALLS (2) FOR PLUMBING REPAIR AT COTTONWOOD GOLF CTR.	
		02/05/2018	012318	RESTROOM FAUCET REPAIR/REPLACEMENT AT PUBLIC SAFETY BUILDING	
	233345	02/26/2018	020218	EMERGENCY PLUMBING REPAIR-PUBLIC SAFETY BUILDING/MEN'S LOCKER RM	\$750.00
Remit to: MORENO VALLEY, CA					FYTD: \$9,001.50

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MOORE FENCE COMPANY	21751	02/05/2018	16-049	FENCE REPAIRS-BLACK CHAIN LINK ON EVANS RD. NEAR RANCHO VERDE HIGH SCHOOL	\$6,636.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$30,475.16
MORENO VALLEY COMMUNITY BAND	233209	02/05/2018	082517 INV	SPONSORSHIP FOR FY17-18-PERFORM FOUR FREE COMMUNITY CONCERTS	\$5,000.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$5,000.00
MORENO VALLEY MALL	233270	02/12/2018	BL#23211-YR2018	REFUND OF OVERPAYMENT FOR BL#23211	\$23.99
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$23.99
MORENO VALLEY MALL HOLDING, LLC	21906	02/26/2018	FEB 2018 RENT	RENT FOR M.V. MALL LIBRARY BRANCH-SP. 2078-FEB18	\$6,874.54
	21907	02/26/2018	MAR 2018 RENT	RENT FOR M.V. MALL LIBRARY BRANCH-SP. 2078-MAR18	\$6,874.54
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$17,321.08
MORUA, MICHELLE	233322	02/20/2018	2000102.047	REFUND DANCE EXPLORATION CLASS	\$32.80
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$32.80
MSL ELECTRIC, INC	233271	02/12/2018	BL#20965-YR2018	REFUND OF OVERPAYMENT FOR BL#20965	\$6.00
Remit to: ANAHEIM, CA					<u>FYTD:</u> \$6.00
NAMEKATA, DOUGLAS	21855	02/20/2018	FEB-2018	INSTRUCTOR SERVICES - SHITO-RYU KARATE CLASSES	\$299.20
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,289.15
NAMEKATA, JAMES	21856	02/20/2018	FEB-2018	INSTRUCTOR SERVICES - SHITO-RYU KARATE CLASSES	\$299.20
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,289.15

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NATIONWIDE COST RECOVERY SERVICES, LLC	21752	02/05/2018	MV M28-A	CONSULTANT SVCS-FORECLOSURE REGISTRATION PROGRAM-DEC17	\$7,680.00
Remit to: DIAMOND BAR, CA					FYTD: \$126,380.00
NBS GOVERNMENT FINANCE GROUP	21753	02/05/2018	121700169	CONSULTING SVCS-ICRP REPORTS FOR FY 2013/14	\$2,950.00
	21857	02/20/2018	121700339	CONSULTING SVCS-ICRP REPORTS FOR FY 2014/15	\$6,925.00
		02/20/2018	121700329	CONSULTING SVCS-ICRP REPORTS FOR FY 2013/14	
Remit to: TEMECULA, CA					FYTD: \$10,035.00
NEW HORIZON MOBILE HOME PARK	21858	02/20/2018	JAN 2018	UUT REFUND FOR JAN18	\$5.29
Remit to: LOS ANGELES, CA					FYTD: \$56.16
NEWGEN STRATEGIES AND SOLUTIONS, LLC	21800	02/12/2018	6075	BEST PRACTICES & BENCHMARKING STUDY SERVICES-MV UTILITY	\$6,227.50
Remit to: RICHARDSON, TX					FYTD: \$6,227.50
NINYO & MOORE GEOTECHNICAL	21859	02/20/2018	Inv 212288	HEACOCK ST IMPROVMENTS-IRIS TO GENTIAN-GEOTECH SVCS	\$6,146.50
Remit to: SAN DIEGO, CA					FYTD: \$14,535.00
ONESOURCE DISTRIBUTORS, INC.	21801	02/12/2018	S5476280.004	PURCHASE OF SMART METERS-MV UTILITY	\$18,705.40
Remit to: OCEANSIDE, CA					FYTD: \$511,371.38
ONLINE-MSDS.COM BY KHA	21802	02/12/2018	20171320	SDS MANAGEMENT ONLINE SERVICE 12/1/17-11/30/18	\$2,321.10
Remit to: HAMMOND, IN					FYTD: \$2,321.10
ORTCO, INC	233272	02/12/2018	BL#25298-YR2018	REFUND OF OVERPAYMENT FOR BL#25298	\$13.30
Remit to: ORANGE, CA					FYTD: \$13.30

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PACIFIC ALARM SERVICE, INC	21756	02/05/2018	R 136122	ALARM SYSTEM RENT/SVC/MONITORING-MOVAL SUBSTATION-FEB18	\$516.50
		02/05/2018	R 136121	ALARM SYSTEM RENT/SVC/MONITORING-KITCHING SUBSTATION-FEB18	
Remit to: BEAUMONT, CA					FYTD: \$11,362.00
PACIFIC TELEMANAGEMENT SERVICES	21910	02/26/2018	969014	PAY PHONE SERVICES-MAR18	\$187.92
Remit to: SAN RAMON, CA					FYTD: \$1,691.28
PALMER, NATALIE	233370	02/26/2018	MVA030003938	REFUND-PARKING CITATION DISMISSED	\$57.50
Remit to: BEAUMONT, CA					FYTD: \$57.50
PALMER, ROBERT	233371	02/26/2018	2000120.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
PAW PERFECTION PET GROOMING	21757	02/05/2018	034212	GROOMING SERVICES FOR ANIMAL SHELTER	\$210.00
		02/05/2018	034213	GROOMING SERVICES FOR ANIMAL SHELTER	
		02/05/2018	034211	GROOMING SERVICES FOR ANIMAL SHELTER	
	21860	02/20/2018	034215	GROOMING SERVICES FOR ANIMAL SHELTER	\$55.00
		02/20/2018	034217	GROOMING SERVICES FOR ANIMAL SHELTER	
Remit to: MORENO VALLEY, CA					FYTD: \$3,425.00
PENCO ENGINEERING CO.	21804	02/12/2018	Inv. 21419	HUBBARD ST STORM DRAIN-SURVEY SVCS	\$7,808.00
		02/12/2018	Inv. 21322	HUBBARD ST STORM DRAIN-SURVEY SVCS	
Remit to: IRVINE, CA					FYTD: \$39,458.42

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PEPE'S TOWING	233210	02/05/2018	77467	EVIDENCE TOWING FOR PD	\$1,036.00
		02/05/2018	76825	EVIDENCE TOWING FOR PD	
		02/05/2018	77069	EVIDENCE TOWING FOR PD	
		02/05/2018	76186	EVIDENCE TOWING FOR PD	
		02/05/2018	76746	EVIDENCE TOWING FOR PD	
Remit to: MORENO VALLEY, CA					FYTD: \$2,310.00
PERCEPTIVE ENTERPRISES, INC.	21805	02/12/2018	MVL-40	DISADVANTAGED BUSINESS ENTERPRISE SVCS-JAN17	\$3,120.00
Remit to: LOS ANGELES, CA					FYTD: \$26,040.00
PEREZ, YVONNE	233372	02/26/2018	2000104.047	REFUND-MUSIC STAR GUITAR CLASS	\$49.00
Remit to: MORENO VALLEY, CA					FYTD: \$49.00
PERKINS, LEONNA	233373	02/26/2018	2000115.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
PERMA	21758	02/05/2018	FILE MV1720	LIABILITY CLAIM SETTLEMENT PAYMENTS-MV1720 (A.FERNANDEZ)	\$17,517.00
Remit to: PALM DESERT, CA					FYTD: \$729,865.92
PERRYMAN, SHELEE	233228	02/05/2018	2000092.047	TOWNGATE COMM. CTR. RENTAL REFUND	\$200.00
Remit to: MORENO VALLEY, CA					FYTD: \$200.00
PETERS, GEORGE	233297	02/20/2018	012518	SPORTS OFFICIATING SERVICES-BASKETBALL	\$50.00
Remit to: RIVERSIDE, CA					FYTD: \$50.00
PETTY CASH - FINANCE	233254	02/12/2018	JAN 2018/4	PETTY CASH FUND REPLENISHMENT	\$588.42
Remit to: MORENO VALLEY, CA					FYTD: \$8,875.09

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Vendor Name	Check/EFT Number	Payment Date	Inv Number	Invoice Description	Payment Amount
PICHARDO, BELEN	233323	02/20/2018	2000001.038	REFUND PEE WEE SOCCER CLASS	\$65.00
Remit to: MORENO VALLEY, CA					FYTD: \$65.00
POWER AND WATER RESOURCES POOLING AUTHORITY	233324	02/20/2018	0218-3	WHITNEY POINT BUYER AGENT DEC16-DEC17/MV UTILITY	\$1,156.22
Remit to: ARVIN, CA					FYTD: \$1,156.22
PRESS ENTERPRISE/CALIFORNIA NEWSPAPERS PARTNERSHIP	233211	02/05/2018	0011062895	LEGAL ADVERTISING FOR ORDINANCE NO. 929 SUMMARY	\$259.20
		02/05/2018	0011062894	LEGAL ADVERTISING FOR ORDINANCE NO. 928 SUMMARY	
		02/05/2018	0011058283	LEGAL ADVERTISING FOR ORDINANCE NO. 929	
		02/05/2018	0011058087	LEGAL ADVERTISING FOR ORDINANCE NO. 928	
	233298	02/20/2018	0011069513	LEGAL ADVERTISING FOR ORDINANCE NO. 928 ADOPTION	\$124.20
		02/20/2018	0011069516	LEGAL ADVERTISING FOR ORDINANCE NO. 929 ADOPTION	
	233346	02/26/2018	0011078943	LEGAL ADVERTISING FOR ORDINANCE NO. 930 SUMMARY	\$59.40
Remit to: LOS ANGELES, CA					FYTD: \$1,915.20
PROFESSIONAL COMMUNICATIONS NETWORK PCN	233212	02/05/2018	154000332	LIVE ANSWERING SERVICE FOR ROTATIONAL TOW VEHICLES PROGRAM	\$493.81
	233347	02/26/2018	154100547	LIVE ANSWERING SERVICE FOR ROTATIONAL TOW VEHICLES PROGRAM	\$509.31
Remit to: RIVERSIDE, CA					FYTD: \$4,504.54

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PRUDENTIAL OVERALL SUPPLY	21759	02/05/2018	22550214	UNIFORM RENTAL & LAUNDERING SVC.-TRAFFIC SIGNAL MAINT. STAFF	\$417.48
		02/05/2018	22553780	UNIFORM RENTAL & LAUNDERING SVC.-STREET MAINT. STAFF	
		02/05/2018	22553783	UNIFORM RENTAL & LAUNDERING SVC.-CFD #1 STAFF	
		02/05/2018	22553784	UNIFORM RENTAL & LAUNDERING SVC.-STREET SWEEPING STAFF	
		02/05/2018	22553786	UNIFORM RENTAL & LAUNDERING SVC.-GRAFFITI REMOVAL STAFF	
		02/05/2018	22553779	UNIFORM RENTAL & LAUNDERING SVC.-VEHICLE/EQUIPMENT MAINT. STAFF	
		02/05/2018	22553788	UNIFORM RENTAL & LAUNDERING SVC.-TREE MAINT. STAFF	
		02/05/2018	22557959	UNIFORM RENTAL & LAUNDERING SVC.-FACILITIES MAINT. STAFF	
		02/05/2018	22553778	UNIFORM RENTAL & LAUNDERING SVC.-PURCHASING STAFF	
		02/05/2018	22553777	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	
		02/05/2018	22546628	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	
		02/05/2018	22550784	UNIFORM RENTAL & LAUNDERING SVC.-FACILITIES MAINT. STAFF	
		02/05/2018	22550209	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	
		02/05/2018	22553785	UNIFORM RENTAL & LAUNDERING SVC.-CONCRETE MAINT. STAFF	
		02/05/2018	22554363	UNIFORM RENTAL & LAUNDERING SVC.-FACILITIES MAINT. STAFF	
		02/05/2018	22550210	UNIFORM RENTAL & LAUNDERING SVC.-PURCHASING STAFF	
		02/05/2018	22553787	UNIFORM RENTAL & LAUNDERING SVC.-PARKS MAINT. STAFF	
		02/05/2018	22550213	UNIFORM RENTAL & LAUNDERING SVC.-SIGNS & STRIPING STAFF	
		02/05/2018	22546629	UNIFORM RENTAL & LAUNDERING SVC.-PURCHASING STAFF	

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PRUDENTIAL OVERALL SUPPLY	21806	02/12/2018	22557387	UNIFORM RENTAL & LAUNDERING SVC.-TRAFFIC SIGNAL MAINT. STAFF	\$197.48
		02/12/2018	22557389	UNIFORM RENTAL & LAUNDERING SVC.-STREET SWEEPING STAFF	
		02/12/2018	22557391	UNIFORM RENTAL & LAUNDERING SVC.-GRAFFITI REMOVAL STAFF	
		02/12/2018	22557386	UNIFORM RENTAL & LAUNDERING SVC.-SIGNS & STRIPING STAFF	
		02/12/2018	22557385	UNIFORM RENTAL & LAUNDERING SVC.-STREET MAINT. STAFF	
		02/12/2018	22557393	UNIFORM RENTAL & LAUNDERING SVC.-TREE MAINT. STAFF	
		02/12/2018	22557384	UNIFORM RENTAL & LAUNDERING SVC.-VEHICLE/EQUIPMENT MAINT. STAFF	
	21861	02/12/2018	22557390	UNIFORM RENTAL & LAUNDERING SVC.-CONCRETE MAINT. STAFF	\$212.34
		02/20/2018	22560948	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	
		02/20/2018	22557388	UNIFORM RENTAL & LAUNDERING SVC.-CFD #1 STAFF	
		02/20/2018	22564387	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	
		02/20/2018	22561549	UNIFORM RENTAL & LAUNDERING SVC.-FACILITIES MAINT. STAFF	
		02/20/2018	22560953	UNIFORM RENTAL & LAUNDERING SVC.-TRAFFIC SIGNAL MAINT. STAFF	
		02/20/2018	22560949	UNIFORM RENTAL & LAUNDERING SVC.-PURCHASING STAFF	
		02/20/2018	22557392	UNIFORM RENTAL & LAUNDERING SVC.-PARKS MAINT. STAFF	
		02/20/2018	22565212	UNIFORM RENTAL & LAUNDERING SVC.-FACILITIES MAINT. STAFF	
		02/20/2018	22560952	UNIFORM RENTAL & LAUNDERING SVC.-SIGNS & STRIPING STAFF	
		02/20/2018	22557383	UNIFORM RENTAL & LAUNDERING SVC.-PURCHASING STAFF	
		02/20/2018	22557382	UNIFORM RENTAL & LAUNDERING SVC.-SECURITY GUARD STAFF	

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PRUDENTIAL OVERALL SUPPLY	21911	02/26/2018	22564393	UNIFORM RENTAL & LAUNDERING SVC.-STREET SWEEPING STAFF	\$470.97
		02/26/2018	22564394	UNIFORM RENTAL & LAUNDERING SVC.-CONCRETE MAINT. STAFF	
		02/26/2018	22564395	UNIFORM RENTAL & LAUNDERING SVC.-GRAFFITI REMOVAL STAFF	
		02/26/2018	22564396	UNIFORM RENTAL & LAUNDERING SVC.-PARKS MAINT. STAFF	
		02/26/2018	22560956	UNIFORM RENTAL & LAUNDERING SVC.-CONCRETE MAINT. STAFF	
		02/26/2018	22564391	UNIFORM RENTAL & LAUNDERING SVC.-TRAFFIC SIGNAL MAINT. STAFF	
		02/26/2018	22560957	UNIFORM RENTAL & LAUNDERING SVC.-GRAFFITI REMOVAL STAFF	
		02/26/2018	22560958	UNIFORM RENTAL & LAUNDERING SVC.-PARKS MAINT. STAFF	
		02/26/2018	22560951	UNIFORM RENTAL & LAUNDERING SVC.-STREET MAINT. STAFF	
		02/26/2018	22564397	UNIFORM RENTAL & LAUNDERING SVC.-TREE MAINT. STAFF	
		02/26/2018	22560954	UNIFORM RENTAL & LAUNDERING SVC.-CFD #1 STAFF	
		02/26/2018	22564390	UNIFORM RENTAL & LAUNDERING SVC.-SIGNS & STRIPING STAFF	
		02/26/2018	22560950	UNIFORM RENTAL & LAUNDERING SVC.-VEHICLE/EQUIPMENT MAINT. STAFF	
		02/26/2018	22564392	UNIFORM RENTAL & LAUNDERING SVC.-CFD #1 STAFF	
		02/26/2018	22560959	UNIFORM RENTAL & LAUNDERING SVC.-TREE MAINT. STAFF	
		02/26/2018	22564388	UNIFORM RENTAL & LAUNDERING SVC.-VEHICLE/EQUIPMENT MAINT. STAFF	
		02/26/2018	22564389	UNIFORM RENTAL & LAUNDERING SVC.-STREET MAINT. STAFF	
02/26/2018	22560955	UNIFORM RENTAL & LAUNDERING SVC.-STREET SWEEPING STAFF			
Remit to: RIVERSIDE, CA					FYTD: \$12,652.58
PSOMAS	21912	02/26/2018	PSOMAS 136062	ALESSANDRO BLVD/ELSWORTH ST INTERSECTION-DESIGN SVCS.	\$374.72
Remit to: LOS ANGELES, CA					FYTD: \$38,486.66

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PVP COMMUNICATIONS, INC.	21913	02/26/2018	123426	REPAIR OF RADIO GEAR-PD TRAFFIC	\$173.58
Remit to: TORRANCE, CA					FYTD: \$1,552.39
RAMCO SHEET METAL	233273	02/12/2018	BL#16838-YR2018	REFUND OF OVERPAYMENT FOR BL#16838	\$26.00
Remit to: COVINA, CA					FYTD: \$26.00
RAMOS, ROBERTO	21914	02/26/2018	FEB-2018	INSTRUCTOR SERVICES-KINDER KARATE/TAE KWON DO/MARTIAL ARTS, ETC.	\$1,498.00
Remit to: MORENO VALLEY, CA					FYTD: \$10,283.00
RANCHO BELAGO DANCE COMPANY	21760	02/05/2018	JAN-2018	INSTRUCTOR SERVICES-DANCE CLASSES	\$118.40
	21862	02/20/2018	FEB-2018	INSTRUCTOR SERVICES-DANCE CLASSES	\$337.60
Remit to: MORENO VALLEY, CA					FYTD: \$1,225.60
RANCHO VERDE HIGH SCHOOL	233374	02/26/2018	2000107.047	CONFERENCE & REC. CTR. RENTAL REFUND	\$500.00
	233375	02/26/2018	2000109.047	CONFERENCE & REC. CTR. RENTAL REFUND	\$500.00
Remit to: MORENO VALLEY, CA					FYTD: \$1,000.00
RE ASTORIA 2 LLC	21863	02/20/2018	00017	RENEWABLE ENERGY-MV UTILITY-JAN18	\$19,180.29
Remit to: SAN FRANCISCO, CA					FYTD: \$192,341.71
REGALADO, BLANCA E	21807	02/12/2018	JAN-2018	INSTRUCTOR SERVICES-FOLKLORIC DANCE ADULT & YOUTH CLASSES	\$371.40
Remit to: MORENO VALLEY, CA					FYTD: \$2,610.50
REIS, ANGELA	233229	02/05/2018	R18-118245	ANIMAL SERVICES REFUND-RABIES DEPOSIT	\$20.00
	233274	02/12/2018	R18-118244	ANIMAL SERVICES REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: LA MESA, CA					FYTD: \$95.00

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REPUBLIC MASTER CHEFS TEXTILE RENTAL SERVICE	21915	02/26/2018	S680127	LINENS RENTAL FOR CRC SPECIAL EVENTS	\$596.86
		02/26/2018	12270739	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12276970	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12281905	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12286248	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12291790	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12297364	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	12301690	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	S673561	LINENS RENTAL FOR CRC SPECIAL EVENTS	
		02/26/2018	S672130	LINENS RENTAL FOR CRC SPECIAL EVENTS	
		02/26/2018	S674892	LINENS RENTAL FOR CRC SPECIAL EVENTS	
		02/26/2018	S675818	LINENS RENTAL FOR CRC SPECIAL EVENTS	
		02/26/2018	12306649	LINENS RENTAL FOR CRC BALLROOM	
		02/26/2018	S677265	LINENS RENTAL FOR CRC SPECIAL EVENTS	
		02/26/2018	S675210	LINENS RENTAL FOR CRC SPECIAL EVENTS	
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$2,609.19
REYES , MICHAEL	233326	02/20/2018	C15485	REFUND-ADMIN CITATION DISMISSED	\$200.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$200.00
REYES, MICHAEL	233325	02/20/2018	C14867	REFUND-ADMIN CITATION DISMISSED	\$100.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$100.00
RICCI-KURTZ, JOCILENE	233230	02/05/2018	R18-118140	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00

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RIGHTWAY SITE SERVICES, INC.	233213	02/05/2018	216549	PORTABLE RESTROOMS RENTAL-MARCH MIDDLE SCHOOL	\$912.33
		02/05/2018	215879	PORTABLE RESTROOM RENTAL-PUBLIC SAFETY BLDG CAR WASH AREA	
		02/05/2018	216547	PORTABLE RESTROOM RENTAL-COTTONWOOD GOLF COURSE	
		02/05/2018	216806	PORTABLE RESTROOM RENTAL-MAINT. & OPERATIONS CITY YARD	
		02/05/2018	216548	PORTABLE RESTROOMS RENTAL-EQUESTRIAN CENTER PORTABLE	
	233348	02/26/2018	219569	RESTROOM RENTAL-PUBLIC SAFETY BLDG CAR WASH AREA	\$114.55
Remit to: LAKE ELSINORE, CA					FYTD: \$8,728.71
RITE-WAY ROOF CORPORATION	233234	02/05/2018	16921	ROOFING REPAIR-FIRE STATION #48	\$2,300.00
Remit to: FONTANA, CA					FYTD: \$2,300.00
RIVERSIDE COUNTY OFFICE OF EDUCATION	233299	02/20/2018	2018 / 1104	TRANSLATION SERVICES-CITY COUNCIL MEETING 9/19/17	\$838.84
		02/20/2018	3-16-18 EVENT	REGISTR-RIVERSIDE COUNTY STATE OF EDUCATION ADDRESS-COUNCIL MEMBER CABRERA	
		02/20/2018	2018 / 1208	TRANSLATION SERVICES-CITY COUNCIL MEETING 9/5/17	
		02/20/2018	2018 / 1206	TRANSLATION SERVICES-CITY COUNCIL MEETING 10/17/17	
		02/20/2018	2018 / 1107	TRANSLATION SERVICES-CITY COUNCIL MEETING 8/15/17	
Remit to: RIVERSIDE, CA					FYTD: \$1,158.84
RIVERSIDE MEDICAL CLINIC	21864	02/20/2018	ACCT 445449 1/6	EMPLOYEE DOT PHYSICAL	\$95.00
Remit to: RIVERSIDE, CA					FYTD: \$10,450.54
RIVERSIDE UNIVERSITY HEALTH SYSTEMS-MEDICAL CENTER	21761	02/05/2018	1129	SART EXAMS BILLING FOR PD-DEC17	\$2,200.00
Remit to: MORENO VALLEY, CA					FYTD: \$15,700.00
RODRIGUEZ, DERRICK	233327	02/20/2018	R18-118409	ANIMAL SHELTER REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: MORENO VALLEY, CA					FYTD: \$75.00

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RODRIGUEZ, JOSUE GUZMAN	233376	02/26/2018	R17-116149	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
ROMERO, L. ADRIANA	233328	02/20/2018	R18-118366	ANIMAL SHELTER REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: PERRIS, CA					<u>FYTD:</u> \$95.00
ROSS, CIARA	233231	02/05/2018	R18-118095	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
ROUSE, F. ELAINE	233377	02/26/2018	R18-118918	ANIMAL SERVICES REFUND-RABIES DEPOSIT	\$20.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$20.00
RS CONSTRUCTION SERVICES	21808	02/12/2018	11	RETENTION PAYMENT FOR M.V. MALL LIBRARY BRANCH PROJECT	\$10,038.75
Remit to: UPLAND, CA					<u>FYTD:</u> \$200,775.00
RSG, INC	21762	02/05/2018	I003147	AFFORDABLE HOUSING COMPLIANCE MONITORING SERVICES-DEC17	\$1,338.75
	21865	02/20/2018	I003217	HOUSING SUCCESSOR ANNUAL REPORTS PROJECT SERVICES	\$168.75
	21916	02/26/2018	I003222	AFFORDABLE HOUSING COMPLIANCE MONITORING SERVICES-JAN18	\$371.25
Remit to: SANTA ANA, CA					<u>FYTD:</u> \$21,371.25
RSI MORENO VALLEY, LLC	233275	02/12/2018	BL#22277-YR2018	REFUND OF OVERPAYMENT FOR BL#22277	\$65.00
Remit to: NEWPORT BEACH, CA					<u>FYTD:</u> \$65.00
SAFEWAY SIGN CO.	21917	02/26/2018	12605	TRAFFIC SIGNS AND HARDWARE	\$18,084.55
		02/26/2018	12621	TRAFFIC SIGNS AND HARDWARE	
Remit to: ADELANTO, CA					<u>FYTD:</u> \$51,722.14

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SAN DIEGO ICE COMPANY, INC.	21866	02/20/2018	00-7115777	DELIVERY OF SNOW FOR SNOW DAY EVENT 12/2/17 (65 TONS)	\$8,655.00
Remit to: SAN DIEGO, CA					<u>FYTD:</u> \$8,655.00
SANCHEZ-GARCIA, BEATRIZ	233276	02/12/2018	R18-118324	ANIMAL SERVICES REFUND-TRAP RENTAL DEPOSIT	\$50.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$50.00
SANTIAGO-DONIS , CHRISTIAN	233378	02/26/2018	R17-115829	ANIMAL SERVICES REFUND-SPAY/NEUTER AND RABIES DEPOSITS	\$95.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$95.00
SCHIEFELBEIN, LORI C.	233247	02/12/2018	JAN 2018	CONSULTANT SERVICES-ROTATIONAL TOW SERVICE PROGRAM	\$728.75
Remit to: BULLHEAD CITY, AZ					<u>FYTD:</u> \$7,878.75
SECTRAN SECURITY, INC	233300	02/20/2018	18020890	ARMORED CAR DEPOSIT TRANSPORTATION SERVICES-FEB18	\$501.75
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$3,930.75
SECURITY LOCK & KEY	21867	02/20/2018	28769	LOCK REPAIR-ANIMAL SHELTER	\$423.49
		02/20/2018	28770	DUPLICATE KEYS FOR VARIOUS FACILITIES	
		02/20/2018	28764	LOCK REPAIR-JFK PARK RESTROOM	
Remit to: YUCAIPA, CA					<u>FYTD:</u> \$5,435.94
SHEAR CUTS HAIR STUDIO	233277	02/12/2018	BL#18444-YR2018	REFUND OF OVERPAYMENT FOR BL#18444	\$7.63
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$7.63
SHORTER, CRAIG	233329	02/20/2018	R18-118745	ANIMAL SHELTER REFUND-OVERPAYMENT ON WEB LICENSE RENEWAL	\$19.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$19.00
SIERRA PACIFIC ELECTRICAL CONTRACTING	233233	02/05/2018	25598	DIG & POUR FOUNDATION FOR RADAR FEEDBACK SIGN-EUCALYPTUS AVE/PAN AM	\$2,800.00
Remit to: RIVERSIDE, CA					<u>FYTD:</u> \$2,800.00

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SIGNS BY TOMORROW	21868	02/20/2018	20735	MAINT. & INSTALLATION OF PUBLIC HEARING SIGN	\$485.50
		02/20/2018	20767	MAINT. & INSTALLATION OF PUBLIC HEARING SIGN	
Remit to: MURRIETA, CA					<u>FYTD:</u> \$6,049.08
SKY PUBLISHING	21763	02/05/2018	18-1_099	1/2 PAGE ADVERTISEMENT-YOUR VILLA MAGAZINE/2018 ISSUE 1	\$1,000.00
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$38,390.00
SKY TRAILS MOBILE VILLAGE	21869	02/20/2018	JAN 2018	UUT REFUND FOR JAN18	\$5.33
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$39.63
SLATER, INC	233278	02/12/2018	BL#06131-YR2018	REFUND OF OVERPAYMENT FOR BL#06131	\$54.45
Remit to: FONTANA, CA					<u>FYTD:</u> \$54.45
SMART ELECTRIC POWER ALLIANCE	233214	02/05/2018	2379	2018 ANNUAL MEMBERSHIP-MV UTILITY	\$2,500.00
Remit to: WASHINGTON, DC					<u>FYTD:</u> \$2,500.00
SOCAL OFFICE TECHNOLOGIES, INC.	21810	02/12/2018	IN488448	QUARTERLY COPY MACHINES LEASE 1/1-3/31/18	\$15,005.61
		02/12/2018	IN493936	COPY MACHINES BILLABLE CHARGES FOR PERIOD 10/1-12/31/17	
Remit to: CYPRESS, CA					<u>FYTD:</u> \$54,128.46

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
SOCO GROUP, INC	21811	02/12/2018	0480494-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	\$22,270.42
		02/12/2018	0477589-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0476802-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0483115-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0484947-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0485877-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0488033-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0488873-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
		02/12/2018	0479506-IN	FUEL FOR CITY VEHICLES & EQUIPMENT	
02/12/2018	0482090-IN	FUEL FOR CITY VEHICLES & EQUIPMENT			
Remit to: PERRIS, CA					FYTD: \$173,135.07
SOSA, HUGO	21918	02/26/2018	FEB-2018	INSTRUCTOR SERVICES-TRADITIONAL KARATEDO CLASS	\$162.86
Remit to: FONTANA, CA					FYTD: \$2,067.26
SOUTHERN CALIFORNIA EDISON 1	233215	02/05/2018	JAN-18 2/5/18	ELECTRICITY CHARGES	\$6,306.43
		02/05/2018	7500878845	RELIABILITY SERVICE-DLAP_SCE_TS10-OCT17	
		02/12/2018	587-9520/JAN-18	ELECTRICITY-FERC CHARGES/MVU	
		02/12/2018	707-6081/JAN-18	ELECTRICITY CHARGES	
		02/12/2018	721-3449/JAN-18	IFA CHARGES-SUBSTATION	
		02/12/2018	JAN-18 2/12/18	ELECTRICITY CHARGES	
		02/26/2018	JAN-18 2/26/18	ELECTRICITY CHARGES	
		02/26/2018	FEB-18 2/26/18	ELECTRICITY CHARGES	
233349	02/26/2018	JAN-18 2/26/18	ELECTRICITY CHARGES	\$18,680.93	
02/26/2018	FEB-18 2/26/18	ELECTRICITY CHARGES			
Remit to: ROSEMEAD, CA					FYTD: \$2,188,778.09
SOUTHERN CALIFORNIA GAS CO.	233249	02/12/2018	JAN-2018	GAS CHARGES	\$6,944.21
Remit to: MONTEREY PARK, CA					FYTD: \$29,279.51

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



**City of Moreno Valley
Payment Register
For Period 2/1/2018 through 2/28/2018**

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
SOUTHERN PET SUPPLIES	21870	02/20/2018	9710	PET SUPPLIES-ASSORTED COLLARS, LEADS, AND HARNESES	\$275.00
Remit to: SAN DIEGO, CA					FYTD: \$2,535.99
SPECIALIZED BUSINESS SYSTEMS, INC	21871	02/20/2018	35026	PARTS/LABOR FOR LEKTRIEVER FILING SYSTEM REPAIR	\$1,930.33
	21919	02/26/2018	35069	PARTS/LABOR FOR LEKTRIEVER FILING SYSTEM REPAIR	\$692.60
Remit to: DOWNEY, CA					FYTD: \$2,622.93
STANDARD INSURANCE CO	233217	02/05/2018	180201	EMPLOYEE SUPPLEMENTAL INSURANCE	\$1,102.86
Remit to: PORTLAND, OR					FYTD: \$9,174.56
STATE BOARD OF EQUALIZATION 1	21927	02/23/2018	013118	SALES & USE TAX REPORT FOR 1/1-1/31/18	\$18,585.00
Remit to: SACRAMENTO, CA					FYTD: \$87,184.00
STATE OF CALIFORNIA DEPT. OF JUSTICE	233218	02/05/2018	276724	LIVE SCAN FINGERPRINTING APPLICATIONS FOR PD-DEC17	\$2,586.00
	233303	02/20/2018	281242	BLOOD ALCOHOL ANALYSIS SERVICES FOR PD-DEC 2017 LIVE	\$315.00
	233350	02/26/2018	282314	SCAN FINGERPRINTING APPLICATIONS FOR PD-JAN18	\$5,680.00
		02/26/2018	271100	LIVE SCAN FINGERPRINTING APPLICATIONS FOR PD-NOV17	
Remit to: SACRAMENTO, CA					FYTD: \$33,956.00
STEVEN B. QUINTANILLA A PROFESSIONAL CORPORATION	21872	02/20/2018	OCT-2017	LEGAL SERVICES 10/1-10/31/17	\$700.00
Remit to: RANCHO MIRAGE, CA					FYTD: \$29,028.50
STILES ANIMAL REMOVAL, INC.	233304	02/20/2018	107680	DECEASED LARGE ANIMAL REMOVAL SERVICES-JAN18	\$300.00
Remit to: GUAISTI, CA					FYTD: \$2,250.00

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**City of Moreno Valley
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CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
SUNNYMEAD ACE HARDWARE	233219	02/05/2018	75589	MISC. SUPPLIES FOR PD	\$12.90
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$989.92
SUNNYMEAD ANIMAL HOSPITAL	233305	02/20/2018	24878	VETERINARY SERVICES FOR POLICE K-9	\$494.98
		02/20/2018	24764	VETERINARY SERVICES FOR POLICE K-9	
		02/20/2018	24375	VETERINARY SERVICES FOR POLICE K-9	
		02/20/2018	23292	VETERINARY SERVICES FOR POLICE K-9	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$562.85
TAYLOR, MATTHEW JAMES	21920	02/26/2018	012718 / 013118	SPORTS OFFICIATING SERVICES-WINTER YOUTH BASKETBALL	\$315.00
		02/26/2018	020718 - 021518	SPORTS OFFICIATING SERVICES-WINTER YOUTH BASKETBALL	
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$1,230.00
TEMPERATURES UNLIMITED, INC	233279	02/12/2018	BL#13217-YR2018	REFUND OF OVERPAYMENT FOR BL#13217	\$49.50
Remit to: VALENCIA, CA					<u>FYTD:</u> \$49.50
TENORIO, JULIO	233379	02/26/2018	2000105.047	CONFERENCE & REC. CTR. RENTAL REFUND	\$670.43
Remit to: MORENO VALLEY, CA					<u>FYTD:</u> \$670.43
THE ADVANTAGE GROUP/ FLEX ADVANTAGE	21873	02/20/2018	101993	FLEX AND COBRA ADMIN FEES-JAN18	\$1,767.75
Remit to: TEMECULA, CA					<u>FYTD:</u> \$364,746.42
THERMAL COMBUSTION INNOVATORS	233306	02/20/2018	187425	ANIMAL SHELTER BIOHAZARDOUS WASTE TREATMENT/DISPOSAL SVCS.-JAN18	\$104.22
Remit to: COLTON, CA					<u>FYTD:</u> \$946.03

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
THOMPSON COBURN LLP	21765	02/05/2018	3273776	LEGAL SERVICES-MVU/RELIABILITY STANDARD COMPLIANCE-DEC17	\$23.79
Remit to: WASHINGTON, DC					FYTD: \$915.45
THOMSON REUTERS-WEST PUBLISHING CORP.	21766	02/05/2018	837483357	AUTO TRACK SERVICES FOR PD INVESTIGATIONS-DEC17	\$1,045.00
	21922	02/26/2018	837659889	AUTO TRACK SERVICES FOR PD INVESTIGATIONS-JAN18	\$1,045.00
Remit to: CAROL STREAM, IL					FYTD: \$8,557.83
TOWNSEND PUBLIC AFFAIRS, INC.	21767	02/05/2018	13068	CONSULTING SERVICES-GRANT WRITING & FUNDING ADVOCACY-JAN18	\$5,000.00
Remit to: NEWPORT BEACH, CA					FYTD: \$40,000.00
TRAN, KEN	233330	02/20/2018	C14895	REFUND-ADMIN CITATION DISMISSED	\$346.00
Remit to: CERRITOS, CA					FYTD: \$346.00
TRICHE, TARA	21923	02/26/2018	FEB-2018	INSTRUCTOR SERVICES-DANCE CLASSES	\$1,845.00
Remit to: MORENO VALLEY, CA					FYTD: \$12,245.00
TRILLO, MINERVA	233232	02/05/2018	2000087.047	REFUND BRYANS DOG TRAINING CLASS CANCELLED	\$102.00
Remit to: MORENO VALLEY, CA					FYTD: \$102.00
TRUEPOINT SOLUTIONS, LLC	21924	02/26/2018	18-030	ACCELA CIVIC PLATFORM SYSTEM ON-CALL SUPPORT SVCS.	\$975.00
Remit to: LOOMIS, CA					FYTD: \$24,525.00
TURF STAR, INC.	233307	02/20/2018	2307203-00	PARTS FOR GOLF COURSE EQUIPMENT	\$764.49
Remit to: SAN FRANCISCO, CA					FYTD: \$20,540.77

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



**City of Moreno Valley
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CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
TUTTLE, NICHOLAS	233280	02/12/2018	R18-117592	ANIMAL SERVICES REFUND-SPAY/NEUTER DEPOSIT	\$75.00
Remit to: YUCAIPA, CA					FYTD: \$75.00
TYLER TECHNOLOGIES, INC.	21768	02/05/2018	045-212325	TYLER CASHIERING IMPLEMENTATION & TRAINING SERVICES	\$1,912.50
		02/05/2018	045-209992	TYLER CASHIERING IMPLEMENTATION & TRAINING SERVICES	
		02/05/2018	045-208511	TYLER CASHIERING IMPLEMENTATION & TRAINING SERVICES	
Remit to: PLANO, TX					FYTD: \$54,422.30
ULTRASERV AUTOMATED SERVICES, LLC	21770	02/05/2018	007185	COFFEE SERVICE SUPPLIES-CITY HALL/CITY CLERK LOCATION	\$692.28
		02/05/2018	007187	COFFEE SERVICE SUPPLIES-CONFERENCE & REC. CENTER	
		02/05/2018	007182	COFFEE SERVICE SUPPLIES-CITY HALL/BREAK ROOM LOCATION	
		02/05/2018	007181	COFFEE SERVICE SUPPLIES-CITY YARD	
		02/05/2018	007180	COFFEE SERVICE SUPPLIES-CITY HALL/PUBLIC WORKS LOCATION	
	21875	02/20/2018	007279	COFFEE SERVICE SUPPLIES-CITY YARD	\$910.72
		02/20/2018	007453	COFFEE SERVICE SUPPLIES-ANNEX 1	
		02/20/2018	007273	COFFEE SERVICE SUPPLIES-CITY HALL/BREAK ROOM LOCATION	
		02/20/2018	007573	COFFEE SERVICE SUPPLIES-CITY YARD	
		02/20/2018	007436	COFFEE SERVICE SUPPLIES-CITY HALL/PUBLIC WORKS LOCATION	
Remit to: COSTA MESA, CA					FYTD: \$10,513.38
UNDERGROUND SERVICE ALERT	21876	02/20/2018	120180465 (c)	DIGALERT TICKETS SUBSCRIPTION SERVICE-JAN18	\$475.30
		02/20/2018	120180465 (d)	DIGALERT TICKETS SUBSCRIPTION SERVICE-JAN18	
		02/20/2018	120180465 (b)	DIGALERT TICKETS SUBSCRIPTION SERVICE-JAN18	
		02/20/2018	120180465 (a)	DIGALERT TICKETS SUBSCRIPTION SERVICE-JAN18	
Remit to: CORONA, CA					FYTD: \$3,485.05

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City of Moreno Valley
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For Period 2/1/2018 through 2/28/2018

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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
UNION BANK OF CALIFORNIA 1	233220	02/05/2018	1075066	INVESTMENT CUSTODIAL SERVICES-DEC17	\$426.67
	233351	02/26/2018	1079950	INVESTMENT CUSTODIAL SERVICES-JAN18	\$366.67
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$3,096.36
UNITED ROTARY BRUSH CORP	21813	02/12/2018	302390	STREET SWEEPER BRUSHES & ACCESSORIES	\$915.81
	21925	02/26/2018	302641	STREET SWEEPER BRUSHES & ACCESSORIES	\$2,050.68
		02/26/2018	302495	STREET SWEEPER BRUSHES & ACCESSORIES	
Remit to: KANSAS CITY, MO					<u>FYTD:</u> \$26,507.99
UNITED SITE SERVICES OF CA, INC.	21771	02/05/2018	114-6290787	FENCE RENTAL AT ANIMAL SHELTER 1/18-2/14/18	\$106.40
Remit to: PHOENIX, AZ					<u>FYTD:</u> \$1,064.00
UNIVAR USA, INC	233308	02/20/2018	RV612834	FERTILIZER/AG CHEMICALS FOR CFD #1/PARKS	\$706.30
Remit to: LOS ANGELES, CA					<u>FYTD:</u> \$706.30

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City of Moreno Valley
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<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
VACATE TERMITE & PEST ELIMINATION COMPANY	21814	02/12/2018	79333	PEST CONTROL SERVICE-TOWNGATE COMMUNITY CENTER	\$1,160.00
		02/12/2018	79606	PEST CONTROL SERVICE-TRANSPORTATION TRAILER	
		02/12/2018	79350	PEST CONTROL SERVICE-SENIOR CENTER	
		02/12/2018	79605	PEST CONTROL SERVICE-MARCH FIELD PARK COMMUNITY CENTER	
		02/12/2018	79602	PEST CONTROL SERVICE-ANNEX 1	
		02/12/2018	79596	PEST CONTROL SERVICE-PUBLIC SAFETY BUILDING	
		02/12/2018	79590	PEST CONTROL SERVICE-EMERGENCY OPERATIONS CENTER	
		02/12/2018	79589	PEST CONTROL SERVICE-CONFERENCE & REC. CENTER	
		02/12/2018	79588	PEST CONTROL SERVICE-COTTONWOOD GOLF CENTER	
		02/12/2018	79587	PEST CONTROL SERVICE-CITY YARD SANTIAGO OFFICE	
		02/12/2018	79586	PEST CONTROL SERVICE-CITY YARD	
		02/12/2018	79585	PEST CONTROL SERVICE-CITY HALL	
		02/12/2018	79331	PEST CONTROL SERVICE-FIRE STATION #65	
		02/12/2018	79601	PEST CONTROL SERVICE-FIRE STATION #58 (2ND SERVICE)	
		02/12/2018	79346	PEST CONTROL SERVICE-LIBRARY	
		02/12/2018	79330	PEST CONTROL SERVICE-FIRE STATION #48	
		02/12/2018	79351	PEST CONTROL SERVICE-FIRE STATION #2	
		02/12/2018	79332	PEST CONTROL SERVICE-FIRE STATION #99	
		02/12/2018	79345	PEST CONTROL SERVICE-FIRE STATION #6	
		02/12/2018	79347	PEST CONTROL SERVICE-UTILITY FIELD OFFICE	
		02/12/2018	79349	PEST CONTROL SERVICE-FIRE STATION #58	
		02/12/2018	79603	PEST CONTROL SERVICE-ANIMAL SHELTER	
		02/12/2018	79352	PEST CONTROL SERVICE-FIRE STATION #91	

Remit to: MORENO VALLEY, CA

FYTD: \$22,775.86

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City of Moreno Valley
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For Period 2/1/2018 through 2/28/2018

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
VALLEY CITIES GONZALES FENCE CO	21815	02/12/2018	7278	INSTALLATION OF ACCESSIBLE GATES AT SENIOR CENTER/ CONFERENCE & REC CTR	\$23,400.00
Remit to: NORCO, CA					FYTD: \$30,790.00
VAN HOLLAND CONSTRUCTION INC.	21926	02/26/2018	1278307	ADA IMPROVEMENT AT CONFERENCE & REC. CENTER	\$5,740.00
Remit to: RIVERSIDE, CA					FYTD: \$42,465.00
VARIABLE SPEEDS SOLUTIONS INC	21816	02/12/2018	16687	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 01	\$2,280.00
		02/12/2018	16686	PUMP PREVENTATIVE MAINTENANCE-ZONE D (TRACT# 22889)	
		02/12/2018	16683	PUMP PREVENTATIVE MAINTENANCE-ZONE D (TRACT# 31284)	
		02/12/2018	16689	PUMP PREVENTATIVE MAINTENANCE-ZONE D (TRACT# 31591)	
		02/12/2018	16684	PUMP PREVENTATIVE MAINTENANCE-ZONE D (TRACT# 19852)	
		02/12/2018	16685	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 04	
		02/12/2018	16682	PUMP PREVENTATIVE MAINTENANCE-ZONE D (TRACT# 31268)	
		02/12/2018	16690	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 06	
		02/12/2018	16691	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 06	
		02/12/2018	16693	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 05	
		02/12/2018	16688	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 03	
		02/12/2018	16692	PUMP PREVENTATIVE MAINTENANCE-SD LMD ZONE 05	
Remit to: HUNTINGTON BEACH, CA					FYTD: \$18,180.00
VASQUEZ & COMPANY LLP	21877	02/20/2018	2180031-IN	AUDIT SVCS-FINANCIAL STATEMENTS FOR FY ENDING 6/30/17- REPORT ISSUANCE	\$8,223.00
Remit to: LOS ANGELES, CA					FYTD: \$81,163.00

Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



City of Moreno Valley
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 For Period 2/1/2018 through 2/28/2018

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
VERIZON WIRELESS	233221	02/05/2018	9799641149	DATA SERVICE FOR PD COMMERCIAL TRUCK TABLET	\$71.88
	233222	02/05/2018	9799703507	CELLULAR SERVICE FOR PD TRAFFIC TICKET WRITERS	\$44.28
	233352	02/26/2018	9801445422	DATA SERVICE FOR PD COMMERCIAL TRUCK TABLET	\$74.43
	233353	02/26/2018	9801507989	CELLULAR SERVICE FOR PD TRAFFIC TICKET WRITERS	\$44.28
Remit to: DALLAS, TX					FYTD: \$971.64
VERIZON WIRELESS - LERT B	233309	02/20/2018	180011117	CELLULAR TRACKING SERVICES	\$450.00
Remit to: BEDMINSTER, NJ					FYTD: \$450.00
VISION SERVICE PLAN	21772	02/05/2018	180201	EMPLOYEE VISION INSURANCE	\$4,064.48
Remit to: SAN FRANCISCO, CA					FYTD: \$32,788.49
VOYAGER FLEET SYSTEM, INC.	21773	02/05/2018	869336602752	FUEL CARD CHARGES-PD TRAFFIC MOTORS	\$1,358.75
	21817	02/12/2018	869211615804	CNG FUEL PURCHASES	\$5,673.53
	21878	02/20/2018	869336602804	FUEL CARD CHARGES-PD TRAFFIC MOTORS	\$1,404.10
Remit to: HOUSTON, TX					FYTD: \$64,824.52
VULCAN MATERIALS CO, INC.	21774	02/05/2018	71710227	ASPHALTIC MATERIALS	\$1,997.20
		02/05/2018	71697527	ASPHALTIC MATERIALS	
		02/05/2018	71694453	ASPHALTIC MATERIALS	
		02/05/2018	71710228	ASPHALTIC MATERIALS	
		02/05/2018	71703295	ASPHALTIC MATERIALS	
		02/05/2018	71705570	ASPHALTIC MATERIALS	
		02/05/2018	71698854	ASPHALTIC MATERIALS	
		02/05/2018	71707519	ASPHALTIC MATERIALS	
		02/05/2018	71712359	ASPHALTIC MATERIALS	
		02/05/2018	71703296	ASPHALTIC MATERIALS	
Remit to: LOS ANGELES, CA					FYTD: \$21,597.33

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**City of Moreno Valley
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For Period 2/1/2018 through 2/28/2018**

CHECKS UNDER \$25,000

<u>Vendor Name</u>	<u>Check/EFT Number</u>	<u>Payment Date</u>	<u>Inv Number</u>	<u>Invoice Description</u>	<u>Payment Amount</u>
WELLS FARGO CORPORATE TRUST	21775	02/05/2018	1513446	TRUSTEE SERVICES-2015 LEASE REVENUE BOND	\$9,000.00
		02/05/2018	1513447	TRUSTEE SERVICES-2016 REFUNDING LEASE REVENUE BOND	
Remit to: MINNEAPOLIS, MN					FYTD: \$7,150,381.24
WESTERN MUNICIPAL WATER DISTRICT	233355	02/26/2018	24753-018620/JA8	WATER CHARGES-M.A.R.B. BALLFIELDS	\$2,293.47
		02/26/2018	23866-018292/JA8	WATER CHARGES-SKATE PARK	
		02/26/2018	23821-018258/JA8	WATER CHARGES-MARCH FIELD PARK COMMUNITY CTR.-BLDG. 938	
		02/26/2018	23821-018257/JA8	WATER CHARGES-MARCH FIELD PARK COMMUNITY CTR. LANDSCAPE	
Remit to: ARTESIA, CA					FYTD: \$24,811.12
WHITNEY POINT SOLAR, LLC	21879	02/20/2018	412375	RENEWABLE ENERGY-MV UTILITY-JAN18	\$16,743.76
Remit to: JUNO BEACH, FL					FYTD: \$198,499.58
WILLDAN FINANCIAL SERVICES	21880	02/20/2018	010-36847	ANNUAL CONTINUING DISCLOSURE SERVICES	\$19,445.00
		02/20/2018	010-36921	GRANT ADMINISTRATION SERVICES-DEC17	
Remit to: TEMECULA, CA					FYTD: \$133,318.52
XEROX FINANCIAL SERVICES LLC	21778	02/05/2018	1050795	ECONOMIC DEVELOPMENT COLOR COPIER LEASE 1/15-2/14/18	\$782.80
Remit to: DALLAS, TX					FYTD: \$7,316.20
YORBA, CHEREE	233380	02/26/2018	MVA030004825	REFUND-PARKING CONTROL FEES OVERPAYMENT	\$115.00
Remit to: RIVERSIDE, CA					FYTD: \$115.00
ZHOU, KUAN	233381	02/26/2018	MVA040007117	REFUND-PARKING CONTROL FEES OVERPAYMENT	\$47.50
Remit to: MORENO VALLEY, CA					FYTD: \$47.50

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ZOLL MEDICAL CORPORATION	233310	02/20/2018	2637700	AUTOPULSE RESUSCITATION SYSTEM WITH BATTERY & ACCESSORIES	\$15,153.96
Remit to: CHELMSFORD, MA					FYTD: \$15,153.96

TOTAL CHECKS UNDER \$25,000	\$1,084,825.18
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GRAND TOTAL	\$9,862,826.40
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Attachment: February 2018 Payment Register (3015 : PAYMENT REGISTER - FEBRUARY 2018)



Report to City Council

TO: Mayor and City Council

FROM: Marshall Eyerman, Chief Financial Officer

AGENDA DATE: May 1, 2018

TITLE: APPROVAL OF RESOLUTION FOR PARTICIPATION IN THE COUNTY OF RIVERSIDE MORTGAGE CREDIT CERTIFICATE (MCC) PROGRAM

RECOMMENDED ACTION

Recommendation:

1. Adopt Resolution No. 2018-xx. A Resolution of the City Council of the City of Moreno Valley, California, participating with the County of Riverside Mortgage Credit Certificate (MCC) Program.

SUMMARY

The County of Riverside Economic Development Agency (EDA) must apply annually for the Mortgage Credit Certificate (MCC) program for new allocation of funds with the California Debt Limit Allocation Committee (CDLAC). As the EDA prepares the application for the upcoming year they need to confirm the City of Moreno Valley's continued participation with EDA's MCC program. The approval of the Resolution shall confirm the City's continued participation.

DISCUSSION

A Mortgage Credit Certificate (MCC) entitles qualified home buyers to reduce the amount of their federal income tax liability for an amount equal to 20% of the mortgage interest paid during the year on their primary mortgage loan. The advantages to the home buyer include:

- The home buyer's federal income tax liability is directly reduced by the amount of the tax credit;

- Home buyers can qualify more easily for their primary mortgage loan-lenders may factor in the tax credit when underwriting the loan application, which may allow the borrower to (i) qualify for a larger loan amount, or (ii) improve the borrower’s qualifying debt ratios.

If the amount of the MCC exceeds the homebuyer’s tax liability, the unused portion of the credit can be carried forward to the next three years or until used, whichever comes first.

For Moreno Valley residents to be eligible for the program, the City must be a participant in the County MCC program administered by the EDA. The application process is overseen by the EDA and any Participating Lenders within the MCC Program.

The following table illustrates how an MCC may increase a borrower’s "effective home buying power":

Effective Home Buying Power With and Without an MCC		
	Without MCC	With MCC
First Mortgage Amount	\$300,000	\$300,000
Mortgage Interest Rate	4%	4%
Monthly Mortgage (Principal & Interest Only)	\$1,432	\$1,432
MCC Rate	N/A	20%
Monthly Credit Amount	N/A	\$200
"Effective" Monthly Mortgage Payment	\$1,432	\$1,232
Annual Income Needed *	\$61,371	\$52,800

* Annual Income Needed is based on monthly Principal and Interest (P&I) not exceeding 28% of monthly income.

Source: Riverside County EDA

ALTERNATIVES

1. Approve the proposed Resolution to approve participation in the County of Riverside Mortgage Credit Certificate (MCC) Program.
2. Provide staff with further direction.

Staff recommends Alternative 1.

FISCAL IMPACT

No fiscal impact.

NOTIFICATION

Publication of the Agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Dena Heald
Financial Operations Division Manger

Department Head Approval:
Marshall Eyerman
Chief Financial Officer/City Treasurer

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. MCC Program Summary 2018
- 2. Resolution 2018-XX City MCC

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/20/18 11:05 AM
City Attorney Approval	<u>✓ Approved</u>	4/20/18 8:49 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 1:39 PM

RIVERSIDE COUNTY ECONOMIC DEVELOPMENT AGENCY

MORTGAGE CREDIT CERTIFICATE (MCC) PROGRAM

Overview

A Mortgage Credit Certificate (MCC) entitles qualified home buyers to reduce the amount of their federal income tax liability for an amount equal to 20% of the mortgage interest paid during the year on their primary mortgage loan. The advantages to the home buyer include:

- The home buyer's federal income tax liability is directly reduced by the amount of the tax credit;
- Home buyers can qualify more easily for their primary mortgage loan-lenders may factor in the tax credit when underwriting the loan application, which may allow the borrower to (i) qualify for a larger loan amount, or (ii) improve the borrower's qualifying debt ratios.

If the amount of the MCC exceeds the homebuyer's tax liability, the unused portion of the credit can be carried forward to the next three years or until used, whichever comes first.

Homebuyer Eligibility Criteria

There are three basic criteria for determining a home buyer's eligibility for the MCC tax credits:

1. The borrower must be a first time Home Buyer defined as a person who has not had an ownership interest in improved-upon residential real property for the previous three (3) years.*
2. The borrower's annual income must fall within the program income limits as follows:
 - Max Income Outside Target Area¹
 - Household w/ 1-2 persons: \$73,300
 - Household w/ 3+ persons: \$84,295
 - Max Income Inside Target Area
 - Household w/ 1-2 persons: \$87,960
 - Household w/ 3+ persons: \$102,620

¹ Target Areas are census tracts designated by the Federal government to encourage investment.

3. The home being purchased must fall within the program purchase price limits as follows:
 - Max Home Purchase Price
 - Outside Target Area: \$349,411
 - Inside Target Area: \$427,058

*If the home is located in a Target Area census tract, then the first-time buyer requirement does not apply and the income and purchase price limits are higher. There are target area census tracts throughout Riverside County.

The residence purchased in conjunction with an MCC must be the borrower's principal residence and may not be used as a business, rental or vacation home. The home may be a new or re-sale, detached or attached single-family home, condominium unit, a co-op unit, or a manufactured home on a permanent foundation. The home must be located within the City limits of participating cities.

Mortgage Credit Certificate Application Process

The jurisdiction in which the home is located must be a participant in the County MCC program administered by the EDA. The application process is as follows:

1. Borrowers must apply for a MCC through a Participating Lender.
2. The Participating Lender will perform an initial qualification and assist the borrower in completing the MCC submission forms.
3. Buyer makes offer on home and goes into escrow.
4. The Lender then submits the MCC application to the County.
5. The County reviews Borrower and property qualifications and, if they meet the program guidelines, issues a letter of commitment to the Lender.
6. The Commitment Letter must be issued prior to the close of the loan.
7. The loan must close within 60 days of the commitment.
8. Upon loan closing, the Lender submits the MCC Closing Package to the County and the County issues the MCC, with the Lender and borrower each receiving a copy.
9. The borrower may then claim the tax credit on their Federal Income Tax Returns.
10. Borrowers can realize the tax credit annually as a tax refund or adjust their W-4 withholding allowances form to receive the benefit via an increased pay check.

The following table illustrates how an MCC may increase a borrower's "effective home buying power":

Effective Home Buying Power With and Without an MCC		
	Without MCC	With MCC
First Mortgage Amount	\$300,000	\$300,000
Mortgage Interest Rate	4%	4%
Monthly Mortgage (Principal & Interest Only)	\$1,432	\$1,432
MCC Rate	N/A	20%
Monthly Credit Amount	N/A	\$200
"Effective" Monthly Mortgage Payment	\$1,432	\$1,232
Annual Income Needed *	\$61,371	\$52,800

* Annual Income Needed is based on monthly Principal and Interest (P&I) not exceeding 28% of monthly income.

RESOLUTION NO. 2018-XX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, PARTICIPATING WITH THE COUNTY OF RIVERSIDE MORTGAGE CREDIT CERTIFICATE (MCC) PROGRAM

WHEREAS, the Tax Reform Act of 1986 established the Mortgage Credit Certificate Program ("MCC Program") as a means of assisting qualified individuals with the acquisition of new and existing single family housing; and

WHEREAS, pursuant to Division 31, Part 1, Chapter 3.5, Article 3.4 of the California Health and Safety Code Sections 50197 et seq, local issuers are authorized to issue Mortgage Credit Certificates ("Certificates") and administer MCC Program; and

WHEREAS, the Board of Supervisors of the County of Riverside adopted Resolution No 87-564 on December 22, 1987 establishing a Mortgage Credit Certificate Program; and

WHEREAS, the Board of Supervisors of the County of Riverside has authorized the Riverside County Economic Development Agency ("EDA") to administer the MCC Program pursuant to the applicable federal, state and local policies and procedures, and to enter into those agreements necessary for efficient administration of the MCC Program; and

WHEREAS, the County of Riverside ("County") will be applying to the California Debt Limit Allocation Committee ("CDLAC") for a mortgage credit certificate allocation in July 2018 or thereabouts; and

WHEREAS, the City of Moreno Valley ("City") wishes to participate in the MCC Program administered by the EDA in connection with mortgage loans it will make available for the acquisition of new and existing single-family housing in Riverside County; and

WHEREAS, the adoption of this resolution is necessary to include the City of Moreno Valley as a participating unit of general government under County's MCC program; and

WHEREAS, the City agrees to cooperate with the County of Riverside to undertake the MCC program within City jurisdiction to assist persons or households of limited income to purchase new and existing single family residences located in the city; and

WHEREAS, the City by adopting this Resolution, hereby gives notice of its election to participate in the Riverside County MCC program.

1
Resolution No. 2018-XX
Date Adopted: _____

NOW, THEREFORE BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AS FOLLOWS:

The City of Moreno Valley agrees

1. to participate in the MCC Program administered by the EDA in connection with mortgage loans it will make available for the acquisition of new and existing single-family housing in Riverside County;
2. to assist the County of Riverside to market the MCC Program within the city’s jurisdictional boundary by publishing a general public notice in the local newspaper at least twice a year.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately upon its adoption.

APPROVED AND ADOPTED this ____ day of _____, 2018.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Resolution No. 2018-XX²
Date Adopted: _____

Attachment: Resolution 2018-XX City MCC (3078 : APPROVAL OF RESOLUTION FOR PARTICIPATION IN THE COUNTY OF RIVERSIDE

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, _____, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2018-xx was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the ___ day of _____, 2018 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Mayor, Mayor Pro Tem and Council Members)

CITY CLERK

(SEAL)

Resolution No. 2018-XX³
Date Adopted: _____



Report to City Council

TO: Mayor and City Council

FROM: Marshall Eyerman, Chief Financial Officer
Martin Koczanowicz, City Attorney

AGENDA DATE: May 1, 2018

TITLE: ADOPT A RESOLUTION APPROVING AN APPLICATION FOR AUTHORIZATION TO ACCESS STATE AND FEDERAL LEVEL SUMMARY CRIMINAL HISTORY INFORMATION FOR EMPLOYMENT, VOLUNTEERS, AND CONTRACTORS, LICENSING OR CERTIFICATION PURPOSES

RECOMMENDED ACTION

Recommendation:

1. Adopt a Resolution, authorizing the City to receive Live Scan Background reports for Commercial Cannabis business owners, employees and operators.

SUMMARY

This report recommends adoption of a resolution authorizing the City to conduct Live Scan fingerprinting specifically related to the commercial cannabis businesses background checks.

DISCUSSION

On April 3, 2018, the City Council approved a similar resolution. At the time staff was about to submit the resolution to the California Department of Justice (DOJ), they were informed the DOJ had changed the necessary language to be included in the resolution; requiring staff to return to Council with this updated resolution containing the additional required language.

ALTERNATIVES

1. Recommend approval of the resolution as set forth in this staff report. *Staff recommends this alternative.*
2. Do not recommend approval of the resolution as set forth in this staff report. *Staff does not recommend this alternative.*

FISCAL IMPACT

There is no financial impact with this action.

NOTIFICATION

Publication of the agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Brian Mohan
Financial Resources Division Manager

Department Head Approval:
Marshall Eyerman
Chief Financial Officer/City Treasurer

Concurred By:
Martin D. Koczanowicz
City Attorney

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

1. Moreno Valley Background Check Resolution (Live Scan)

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 3:02 PM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 4:23 PM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:34 PM

RESOLUTION NO. 2018-XX

A RESOLUTION OF THE CITY COUNCIL OF MORENO VALLEY APPROVING AN APPLICATION FOR AUTHORIZATION TO ACCESS STATE AND FEDERAL LEVEL SUMMARY CRIMINAL HISTORY INFORMATION FOR EMPLOYMENT, VOLUNTEERS, AND CONTRACTORS, LICENSING OR CERTIFICATION PURPOSES

WHEREAS, Penal Code Sections 11105(b)(11) and 13300(b)(11) authorize cities to access state and local summary criminal history information for employment, licensing, or certification purposes; and

WHEREAS, Penal Code Section 11105(b)(11) authorizes cities to access federal level criminal history information by transmitting fingerprint images and related information to the Department of Justice to be transmitted to the Federal Bureau of Investigation; and

WHEREAS, Penal Code Sections 11105(b)(11) and 13300(b)(11) require that there be a requirement or exclusion from employment, licensing, or certification based on specific criminal conduct on the part of the subject or record; and

WHEREAS, Penal Code Sections 11105(b)(11) and 13300(b)(11) require the City Council to specifically authorize access to summary criminal history information for employment, licensing, or certification purposes.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. The City of Moreno Valley is hereby authorized to access state and federal level summary criminal history information for employment, including volunteers and contract employees, licensing and certification of commercial cannabis operations including cultivation, transportation, distribution, testing, manufacturing and retail purposes and may not disseminate the information to a private entity.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately upon its adoption.

APPROVED AND ADOPTED this 1st day of May, 2018.

1
Resolution No. 2018-XX
Date Adopted: May 1, 2018

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Moreno Valley Background Check Resolution (Live Scan) [Revision 1] (3091 : ADOPT RESOLUTION APPROVING AN

2
Resolution No. 2018-XX
Date Adopted: May 1, 2018

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2018-xx was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 1st day of May, 2018 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Resolution No. 2018-XX³
Date Adopted: May 1, 2018



Report to City Council

TO: Mayor and City Council

FROM: Allen Brock, Assistant City Manager

AGENDA DATE: May 1, 2018

TITLE: SUPPLEMENTAL LAW ENFORCEMENT SERVICES ACCOUNT (SLESA) EXPENDITURE PLAN FOR FY17-18

RECOMMENDED ACTION

Recommendations:

1. Approve the attached Supplemental Law Enforcement Services Account (SLESA) Expenditure Plan for FY 2017-18.
2. Approve an increase of \$114,516 to the SLESA Grant Fund (Fund 2410) FY 2017-18 revenue budget to reflect the total FY 2017-18 allocation of \$441,003.
3. Approve an increase of \$114,516 to the SLESA Grant Fund FY 2017-18 expenditure budget (Fund 2410) to reflect the FY 2017-18 planned expenditure of \$441,003.

SUMMARY

The California Government Code requires City Council's appropriation of Supplemental Law Enforcement Services Account (SLESA) moneys for frontline municipal police services. Council's approval of the attached Supplemental Law Enforcement Services Account Expenditure Plan for FY2017-18 will meet this requirement and approve the FY2017-18 allocation of \$441,003. This allocation is \$114,516 greater than originally anticipated in the current budget. The budgetary adjustments being requested will increase the current FY2017-18 appropriations for both SLESA revenues and expenditures by \$114,516.

DISCUSSION

The State of California allocates SLESA funding to various counties for the purpose of law enforcement services. The California Government Code Sections 30061 – 30065,

detail the requirements for the funding to be reallocated between County Jail Operations, the District Attorney's Office, Juvenile Justice and Local Law Enforcement Municipalities based on a specified percentage set by the State.

The City of Moreno Valley uses the SLESA grant to fully fund one (1) sworn police officer assigned to the Career Criminal Apprehension Team (C-CAT) and fund 27% of a second sworn C-CAT police officer. The city General Fund will fund the remaining 73% of the second C-CAT position in its Special Enforcement Team (SET) budget.

Staff is requesting City Council to approve the expenditure plan and to adjust the FY2017-18 SLESA budget based on recent notice of detailed calculations from Riverside County Sheriff's Department.

ALTERNATIVES

1. Approve the attached Supplemental Law Enforcement Services Account (SLESA) Expenditure Plan for FY 2017-18 and related budgetary adjustments.
Staff recommends this alternative because it will ensure that the City receives all of this public safety funding.
2. Do not approve the attached Supplemental Law Enforcement Services Account (SLESA) Expenditure Plan for FY2017-18 and related budgetary adjustments.
Staff does not recommend this alternative because it would jeopardize SLESA funding and impact law enforcement services.

FISCAL IMPACT

The recommended adjustments will increase the SLESA budgeted revenues and expenditures by \$114,516 as identified in the following table.

Description	Fund	GL Account No.	Type (Rev/Exp)	FY 17/18 Budget	FY 17/18 Proposed Amendment	FY 17/18 Amended Budget
SLESA Grant	2410	60-69-76012-486000	Rev	\$326,487	\$114,516	\$441,003
Grant Expenditures	2410	60-69-76012-620320	Exp	\$326,487	\$114,516	\$441,003

NOTIFICATION

Publication of the Agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Felicia London
Public Safety Contracts Administrator

Department Head Approval:
Allen Brock
Assistant City Manager

Concurred By:
Dave Kurlowicz

Chief of Police

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. SLESA FY 17-18 Expenditure Plan Form

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/24/18 9:18 AM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 5:00 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:53 PM



Report to City Council

TO: Mayor and City Council

FROM: Allen Brock, Assistant City Manager

AGENDA DATE: May 1, 2018

TITLE: APPROVAL OF THREE-YEAR ENTERPRISE LICENSING AGREEMENT OF MICROSOFT LICENSES THROUGH SOFTWAREONE, UTILIZING THE COUNTY OF RIVERSIDE'S MICROSOFT ENTERPRISE MASTER AGREEMENT

RECOMMENDED ACTION

Recommendations:

1. Waive formal bidding per Municipal Code Section 3.12.260 (Cooperative Purchasing).
2. Approve a three-year enterprise licensing agreement of Microsoft licenses through SoftwareOne, Inc., utilizing the County of Riverside's Microsoft Enterprise Licensing Master Agreement in an amount not to exceed \$436,171 (\$396,519 plus a 10% contingency.)
3. Authorize the City Manager to execute the Microsoft Enterprise Master Agreement and any related documents required to effectuate participation in the Microsoft Enterprise Master Agreement.
4. Authorize the Purchasing & Facilities Division Manager to issue a purchase order to SoftwareOne, Inc. to maintain the current licensing level at an annual cost not to exceed \$145,390 (\$132,173 plus a 10% contingency.)

SUMMARY

This report recommends approval of an agreement to maintain Microsoft licensing compliance and support through the County of Riverside's Microsoft Enterprise

Licensing Agreement administered by SoftwareOne, Inc., a Microsoft Large Account Reseller.

DISCUSSION

The agreement provides for the maintenance and support of Microsoft server operating system and client access software licenses to provide continued corrective, security, and enhancement updates to the City's existing network in an annual amount not to exceed \$145,390 (\$132,173 plus a 10% contingency) for each of the next three years (May 1, 2018 through April 30, 2021.) The agreement utilizes the County of Riverside's Microsoft Enterprise Agreement (a cooperative purchasing agreement used by hundreds of public agencies across California) and identifies SoftwareOne, Inc., a Microsoft Large Account Reseller, as the administrator of the agreement. Since this expenditure is over \$50,000, City Council approval is required per the City's procurement policy.

The City has participated in the California County Information Services Directors Association (CCISDA) Enterprise Agreement for Microsoft licensing for the past fourteen years. This agreement was negotiated for the California state and local governments by the County of Riverside as the lead agency and is available to all California state, county, and local agencies. The purpose of the agreement is to pool the buying power of these public entities to accomplish discounted pricing not available through traditional channels. The City's current agreement term expires April 30, 2018.

Prior to 2004, the City of Moreno Valley purchased software licenses from retailers at predetermined "Select Level" pricing for each new PC and for any upgrades. Under the Select Licensing program, designed for corporate, government, and academic customers with 250 or more desktops and mixed product and purchasing requirements, the City realized discounts over standard retail pricing; however, new versions required additional purchases with no pricing guarantee. The program also provided no privileged access to Microsoft technical support and services.

Beginning in 2004, the City joined CCISDA Enterprise Agreement for Microsoft licensing. The former Chief Information Officer (CIO) of the County of Riverside was one of the leaders in the negotiations for CCISDA and offered to facilitate the County's hosting of the Request for Proposals (RFP) to allow cooperative participation in the Enterprise Agreement by California cities and counties. Following this competitive selection process, the cooperative agreement became open for participation by all eligible California local government entities (counties, cities, special districts, etc.). Starting that year, the City of Moreno Valley began utilizing this contract to obtain Microsoft licenses through CompuCom Systems, Inc., a Microsoft Large Account Reseller (LAR). CompuCom Systems was one of the five vendors who responded to the County's original RFP and presented the lowest price per desktop. In 2015,

CompuCom was acquired by SoftwareOne, Inc. which currently administers Microsoft Enterprise Agreements for 375 California agencies.

The City's core software infrastructure is based on Microsoft desktop, server, and development products. The Enterprise Agreement positions the City to benefit from the next generation of Microsoft platform products seamlessly through ownership of Software Assurance. Specifically, this maintenance agreement ensures that the City has access to the latest version of the software and that technical support is available. This reduces the required level of staff support and also enables software upgrade decisions to be made based on technical considerations, deployment plans and staffing availability, rather than primarily cost considerations. Also, more products and services become automatically available within the Enterprise Agreement. The City utilizes many Microsoft products and services as shown in the following table. Examples of such software products are SharePoint Portal Services (SPS), a collaboration-based web portal product, and Systems Center, a product which automates inventory of software and hardware, automates deployments, and allows for remote desktop support. Most importantly, the cost-per-desktop savings is substantial under the Enterprise Agreement. The following table lists the Microsoft software and services utilized by the City:

Operating Systems, Server and Client Software
Windows Server and Desktop Operating Systems
Office Professional
Exchange Server (including Outlook)
Lync Server
SharePoint Server
Microsoft SQL Server
Microsoft Project
Microsoft Desktop Optimization
Microsoft Dynamics CRM
Microsoft Visio
Microsoft Systems Center Client Management
Windows Rights Management Service
Microsoft Client Access Licenses
Software Updates
New Version Rights for Applications
New Version Rights for Windows Client
New Version Rights for Servers
New Version Rights for Server CALs
Services and Programs
Consolidated License Management
Training Vouchers
Additional 7.5% Discount Above Other Volume Licensing Options Across All Items
Additional 15% Discount Across All 3 Enterprise Products
Professional Services
Online E-Learning: Applications
Online E-Learning: Systems
Online E-Learning: Servers
Employee Purchase Program (EPP)
Home Use Program (HUP)

Maintenance and Support
24 x 7 Phone Support Incidents
Web Incidents
User ID's for Web Support
Cold Backup for Disaster Recovery
Transition Tools
Extended Hot-Fix Support for Office
Extended Hot-Fix Support for Windows Client
Extended Hot-Fix Support for Servers
Windows Fundamentals for Legacy PCs

Microsoft does not license its software directly, but instead requires licensing of its products through a reseller. Should the City decide not to obtain its software licenses through the Enterprise Agreement, staff would need to undertake a separate RFP process to determine the best pricing from another reseller.

ALTERNATIVES

1. Approve three-year Enterprise Agreement of Microsoft licenses through SoftwareOne, Inc. by taking the following actions:
 - a. Waive formal bidding per Municipal Code Section 3.12.260 (Cooperative Purchasing).
 - b. Approve a three-year enterprise licensing agreement of Microsoft licenses through SoftwareOne, Inc., utilizing the County of Riverside's Microsoft Enterprise Licensing Master Agreement in an amount not to exceed \$396,519 plus a 10% contingency for a total of \$436,171.
 - c. Authorize the City Manager to execute the Microsoft Enterprise Master Agreement and any related documents required to effectuate participation in the Microsoft Enterprise Master Agreement.
 - d. Authorize the Purchasing & Facilities Division Manager to issue a purchase order to SoftwareOne, Inc. to maintain the current licensing level at an annual cost not to exceed \$132,173 plus a 10% contingency for a total of \$145,390. ***This alternative is recommended by staff.***

2. Elect not to renew the Microsoft software licenses utilizing the County of Riverside's Microsoft Enterprise Agreement with SoftwareOne, Inc., and direct staff to undertake a separate RFP process to select a reseller of Microsoft licenses.

This alternative is not recommended by staff, as it is highly unlikely that lower pricing could be obtained and it would require a substantial expenditure of staff time.

3. Provide staff with further direction.

FISCAL IMPACT

Approval of staff's recommendation will obligate the City to a FY 2017-18 expenditure of approximately \$132,173. Funds for this purchase are available in the Technology Services software maintenance/support budget, account 1010-16-39-25410-625010. Although the Enterprise Agreement is for a three-year term, it has cancellation provisions that allow early termination if funds are not appropriated in subsequent fiscal years.

Description	Fund	GL Account No.	Type (Rev/Exp)	FY 17-18 Budget
Software Maint/Support/Licenses	1010	16-39-25410-625010	Expense	\$856,502.00

CITY COUNCIL GOALS

Advocacy. Develop cooperative intergovernmental relationships and be a forceful advocate of City policies, objectives, and goals to appropriate external governments, agencies and corporations.

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

NOTIFICATION

Publication of the agenda

Prepared By:
Dori Lienhard
Enterprise Systems Administrator

Department Head Approval:
Allen Brock
Assistant City Manager

Concurred By:
Steve Hargis
Strategic Initiatives Manager

Concurred By:
Angelic Davis
Purchasing & Facilities Division Manager

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

ATTACHMENTS

- 1. quoteMS-EArenewal2018
- 2. rlsContractMicrosoftEA

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 5:43 PM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 4:19 PM
City Manager Approval	<u>✓ Approved</u>	4/24/18 3:41 PM

SoftwareONE - software quote				
Quoted by Jason Carmer				
Phone 480-845-7155 jason.carmer@SoftwareONE.com				
Please fax your POs to our Client Assistance Center at 800-366-9994 or email to: statestore@SoftwareONE.com - Call 800-400-9852, option 2, to check status on orders.				
Quoted to:		City of Moreno Valley		
		Dori Lienhard		
		doril@moval.org		
Date:	4/2/2018			
Quote#:	43192			
		EA# 8774624		
Important: Please provide the email address of the recipient designated to receive a SoftwareONE "order confirmation"				
Quantity	Part #	Description	Yearly Price	Ext. Price
Enterprise products				
521	W06-01072	CoreCAL ALNG SA MVL Pltfrm UsrCAL	\$39.56	\$20,610.76
521	269-12442	OfficeProPlus ALNG SA MVL Pltfrm	\$80.26	\$41,815.46
521	KV3-00353	WINE3perDVC ALNG SA MVL Pltfrm	\$35.40	\$18,443.40
Additional products				
1	EMT-00644	Dyn365ForCustmrSrv ALNG SA MVL QlfdOffer UsrCAL fromCRMBsc	\$91.10	\$91.10
110	EMT-00605	Dyn365ForCustmrSrv ALNG SA MVL QlfdOffer UsrCAL fromCRMPPro	\$147.80	\$16,258.00
1	EMT-00152	Dyn365ForCustmrSrv ALNG LicSAPk MVL UsrCAL	\$575.16	\$575.16
1	395-02504	ExchgSvrEnt ALNG SA MVL	\$611.10	\$611.10
1	312-02257	ExchgSvrStd ALNG SA MVL	\$106.70	\$106.70
1	076-01912	Prjct ALNG SA MVL	\$98.50	\$98.50
33	H30-00238	PrjctPro ALNG SA MVL w1PrjctSvrCAL	\$164.20	\$5,418.60
1	5HU-00216	SfBSvr ALNG SA MVL	\$550.00	\$550.00
1	H04-00268	SharePointSvr ALNG SA MVL	\$1,025.00	\$1,025.00
521	359-00961	SQLCAL ALNG SA MVL UsrCAL	\$31.50	\$16,411.50
11	228-04433	SQLSvrStd ALNG SA MVL	\$135.30	\$1,488.30
38	D87-01159	VisioPro ALNG SA MVL	\$84.30	\$3,203.40
1	D86-01253	VisioStd ALNG SA MVL	\$43.60	\$43.60
7	6VC-01254	WinRmtDsktpSrvcsCAL ALNG SA MVL UsrCAL	\$19.80	\$138.60
33	9EA-00278	WinSvrDCCore ALNG SA MVL 2Lic CoreLic. Had 7 2-proc licenses for 14 total procs. Need a min of 8 cores per proc for 112 total cores or 56 2-core licenses. Can renew more with grandfathering rights if currently utilizing more	\$116.10	\$3,831.30
88	9EM-00270	WinSvrSTDCore ALNG SA MVL 2Lic CoreLic. Had 24 2-proc licenses previously for 48 total procs. Need a min of 8 cores per proc for 384 cores or 192 2-core licenses. Can renew more if utilizing more with grandfathering rights	\$16.50	\$1,452.00
Please type "electronic software delivery" on your PO.				
Product-total				\$132,172.48
Sub-Total				\$132,172.48
Tax				\$0.00
Shipping				No Charge
Total				\$132,172.48
Prices good for 30 days		<i>Total of 3-year commitment</i>		\$396,517.44
Pass-Through Warranty and Other Rights. As a reseller, end-user warranties and liabilities (with respect to any third party hardware and software products provided by SoftwareONE) shall be provided as a pass-through from the manufacturer of such products. All software products are subject to the license agreement of the applicable software supplier, as provided with the software packaging or in the software at time of shipment.				

Attachment: quoteMS-EArenewal2018 [Revision 1] (3059 : Microsoft 3-year Licensing Agreement)



City Attorney Review Turn Around Time is 10 days. ~~RUSH REQUEST~~

REQUEST FOR LEGAL SERVICES **RUSH**

DATE OF REQUEST: 4/16/2018	DEPT/DIV: CM/TS
REQUESTER(S): IANELLE BIZZLE	EXTENSION/EMAIL: 3410
VENDOR/CONTRACTOR NAME: MICROSOFT LICENSING RENEWAL	
IS THIS A RESUBMITTAL TO A PREVIOUS CITY ATTORNEY REVIEW? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO If YES: City Attorney's File ID Number: CLICK HERE TO ENTER TEXT NOTE: Please attach a copy of the original request and response from our office.	
SERVICE REQUIRED: <input checked="" type="checkbox"/> Pre-Approval <input type="checkbox"/> Approve as to Form <input type="checkbox"/> Insurance Approval <input type="checkbox"/> Review and Advise For Contracts, Please Select One: <input type="checkbox"/> The attached documents have not been modified from the approved templates. <input type="checkbox"/> The attached documents have been modified from the approved templates. (Describe Below)	
DESCRIBE REASON/DEADLINES IF RUSH REQUESTED: THIS ITEM WILL GO TO COUNCIL ON 5-15-18	
TITLE OF ITEM OR DOCUMENT: MICROSOFT LICENSING RENEWAL	

For City Attorney Office Use Only

DATE SUBMITTED: 4/17/18	LOGGED BY: Jmm	ASSIGNED TO: RJE	SCAN: RLS / ALL / N
CA MATTER NO.: 2009-2596	CA MATTER NAME: Microsoft Lic. Renewal		
ATTORNEY RESPONSE/COMMENTS:			
<input type="checkbox"/> Insurance Approved By: _____ Date: _____	<input checked="" type="checkbox"/> Contract Approved By: R Date: 4-17	<input type="checkbox"/> See Attached By: _____ Date: _____	<input type="checkbox"/> See Comments By: _____ Date: _____
Comments:			

SERVICES REQUESTED: Include specific legal issues or questions to be addressed, provide all relevant background information and attach all necessary documents. Supporting Documentation may also be provided via email to cityattorney@moval.org with subject "RLS Review". For quicker review, please identify/tab all signature pages.

THIS ITEM WILL GO TO COUNCIL ON 5-15-18

Attachment: rlsContractMicrosoftEA (3059 : Microsoft 3-year Licensing Agreement)



Volume Licensing

Enterprise Enrollment

State and Local

Enterprise Enrollment number
(Microsoft to complete)

71883085

Framework ID
(if applicable)Previous Enrollment number
(Reseller to complete)

8774624

This Enrollment must be attached to a signature form to be valid.

This Microsoft Enterprise Enrollment is entered into between the entities as identified in the signature form as of the effective date. Enrolled Affiliate represents and warrants it is the same Customer, or an Affiliate of the Customer, that entered into the Enterprise Agreement identified on the program signature form.

This Enrollment consists of: (1) these terms and conditions, (2) the terms of the Enterprise Agreement identified on the signature form, (3) the Product Selection Form, (4) the Product Terms, (5) the Online Services Terms, (6) any Supplemental Contact Information Form, Previous Agreement/Enrollment form, and other forms that may be required, and (7) any order submitted under this Enrollment. This Enrollment may only be entered into under a 2011 or later Enterprise Agreement. By entering into this Enrollment, Enrolled Affiliate agrees to be bound by the terms and conditions of the Enterprise Agreement.

All terms used but not defined are located at <http://www.microsoft.com/licensing/contracts>. In the event of any conflict the terms of this Agreement control.

Effective date. If Enrolled Affiliate is renewing Software Assurance or Subscription Licenses from one or more previous Enrollments or agreements, then the effective date will be the day after the first prior Enrollment or agreement expires or terminates. If this Enrollment is renewed, the effective date of the renewal term will be the day after the Expiration Date of the initial term. Otherwise, the effective date will be the date this Enrollment is accepted by Microsoft. Any reference to "anniversary date" refers to the anniversary of the effective date of the applicable initial or renewal term for each year this Enrollment is in effect.

Term. The initial term of this Enrollment will expire on the last day of the month, 36 full calendar months from the effective date of the initial term. The renewal term will expire 36 full calendar months after the effective date of the renewal term.

Terms and Conditions

1. Definitions.

Terms used but not defined in this Enrollment will have the definition in the Enterprise Agreement. The following definitions are used in this Enrollment:

"Additional Product" means any Product identified as such in the Product Terms and chosen by Enrolled Affiliate under this Enrollment.

"Community" means the community consisting of one or more of the following: (1) a Government, (2) an Enrolled Affiliate using eligible Government Community Cloud Services to provide solutions to a Government or a qualified member of the Community, or (3) a Customer with Customer Data that is subject to Government regulations for which Customer determines and Microsoft agrees that the use of Government Community Cloud Services is appropriate to meet Customer's regulatory requirements.

Membership in the Community is ultimately at Microsoft's discretion, which may vary by Government Community Cloud Service.

"Enterprise Online Service" means any Online Service designated as an Enterprise Online Service in the Product Terms and chosen by Enrolled Affiliate under this Enrollment. Enterprise Online Services are treated as Online Services, except as noted.

"Enterprise Product" means any Desktop Platform Product that Microsoft designates as an Enterprise Product in the Product Terms and chosen by Enrolled Affiliate under this Enrollment. Enterprise Products must be licensed for all Qualified Devices and Qualified Users on an Enterprise-wide basis under this program.

"Expiration Date" means the date upon which the Enrollment expires.

"Federal Agency" means a bureau, office, agency, department or other entity of the United States Government.

"Government" means a Federal Agency, State/Local Entity, or Tribal Entity acting in its governmental capacity.

"Government Community Cloud Services" means Microsoft Online Services that are provisioned in Microsoft's multi-tenant data centers for exclusive use by or for the Community and offered in accordance with the National Institute of Standards and Technology (NIST) Special Publication 800-145. Microsoft Online Services that are Government Community Cloud Services are designated as such in the Use Rights and Product Terms.

"Industry Device" (also known as line of business device) means any device that: (1) is not useable in its deployed configuration as a general purpose personal computing device (such as a personal computer), a multi-function server, or a commercially viable substitute for one of these systems; and (2) only employs an industry or task-specific software program (e.g. a computer-aided design program used by an architect or a point of sale program) ("Industry Program"). The device may include features and functions derived from Microsoft software or third-party software. If the device performs desktop functions (such as email, word processing, spreadsheets, database, network or Internet browsing, or scheduling, or personal finance), then the desktop functions: (1) may only be used for the purpose of supporting the Industry Program functionality; and (2) must be technically integrated with the Industry Program or employ technically enforced policies or architecture to operate only when used with the Industry Program functionality.

"Managed Device" means any device on which any Affiliate in the Enterprise directly or indirectly controls one or more operating system environments. Examples of Managed Devices can be found in the Product Terms.

"Qualified Device" means any device that is used by or for the benefit of Enrolled Affiliate's Enterprise and is: (1) a personal desktop computer, portable computer, workstation, or similar device capable of running Windows Pro locally (in a physical or virtual operating system environment), or (2) a device used to access a virtual desktop infrastructure ("VDI"). Qualified Devices do not include any device that is: (1) designated as a server and not used as a personal computer, (2) an Industry Device, or (3) not a Managed Device. At its option, the Enrolled Affiliate may designate any device excluded above (e.g., Industry Device) that is used by or for the benefit of the Enrolled Affiliate's Enterprise as a Qualified Device for all or a subset of Enterprise Products or Online Services the Enrolled Affiliate has selected.

"Qualified User" means a person (e.g., employee, consultant, contingent staff) who: (1) is a user of a Qualified Device, or (2) accesses any server software requiring an Enterprise Product Client Access License or any Enterprise Online Service. It does not include a person who accesses server software or an Online Service solely under a License identified in the Qualified User exemptions in the Product Terms.

"Reseller" means an entity authorized by Microsoft to resell Licenses under this program and engaged by an Enrolled Affiliate to provide pre- and post-transaction assistance related to this agreement;

"Reserved License" means for an Online Service identified as eligible for true-ups in the Product Terms, the License reserved by Enrolled Affiliate prior to use and for which Microsoft will make the Online Service available for activation.

"State/Local Entity" means (1) any agency of a state or local government in the United States, or (2) any United States county, borough, commonwealth, city, municipality, town, township, special purpose district, or other similar type of governmental instrumentality established by the laws of Customer's state and located within Customer's state's jurisdiction and geographic boundaries.

"Tribal Entity" means a federally-recognized tribal entity performing tribal governmental functions and eligible for funding and services from the U.S. Department of Interior by virtue of its status as an Indian tribe.

"Use Rights" means, with respect to any licensing program, the use rights or terms of service for each Product and version published for that licensing program at the Volume Licensing Site. The Use Rights supersede the terms of any end user license agreement (on-screen or otherwise) that accompanies a Product. The Use Rights for Software are published by Microsoft in the Product Terms. The Use Rights for Online Services are published in the Online Services Terms.

"Volume Licensing Site" means <http://www.microsoft.com/licensing/contracts> or a successor site.

2. *Order requirements.*

- a. **Minimum order requirements.** Enrolled Affiliate's Enterprise must have a minimum of 250 Qualified Users or Qualified Devices. The initial order must include at least 250 Licenses for Enterprise Products or Enterprise Online Services.
 - (i) **Enterprise commitment.** Enrolled Affiliate must order enough Licenses to cover all Qualified Users or Qualified Devices, depending on the License Type, with one or more Enterprise Products or a mix of Enterprise Products and the corresponding Enterprise Online Services (as long as all Qualified Devices not covered by a License are only used by users covered with a user License).
 - (ii) **Enterprise Online Services only.** If no Enterprise Product is ordered, then Enrolled Affiliate need only maintain at least 250 Subscription Licenses for Enterprise Online Services.
- b. **Additional Products.** Upon satisfying the minimum order requirements above, Enrolled Affiliate may order Additional Products.
- c. **Use Rights for Enterprise Products.** For Enterprise Products, if a new Product version has more restrictive use rights than the version that is current at the start of the applicable initial or renewal term of the Enrollment, those more restrictive use rights will not apply to Enrolled Affiliate's use of that Product during that term.
- d. **Country of usage.** Enrolled Affiliate must specify the countries where Licenses will be used on its initial order and on any additional orders.
- e. **Resellers.** Enrolled Affiliate must choose and maintain a Reseller authorized in the United States. Enrolled Affiliate will acquire its Licenses through its chosen Reseller. Orders must be submitted to the Reseller who will transmit the order to Microsoft. The Reseller and Enrolled Affiliate determine pricing and payment terms as between them, and Microsoft will invoice the Reseller based on those terms. Throughout this Agreement the term "price" refers to reference price. Resellers and other third parties do not have authority to bind or impose any obligation or liability on Microsoft.
- f. **Adding Products.**
 - (i) **Adding new Products not previously ordered.** New Enterprise Products or Enterprise Online Services may be added at any time by contacting a Microsoft Account Manager or Reseller. New Additional Products, other than Online Services, may be used if an order is placed in the month the Product is first used. For Additional Products that are Online Services, an initial order for the Online Service is required prior to use.

- (ii) **Adding Licenses for previously ordered Products.** Additional Licenses for previously ordered Products other than Online Services may be added at any time but must be included in the next true-up order. Additional Licenses for Online Services must be ordered prior to use, unless the Online Services are (1) identified as eligible for true-up in the Product Terms or (2) included as part of other Licenses.
- g. True-up requirements.** Enrolled Affiliate must submit an annual true-up order that accounts for any changes since the initial order or last order. If there are no changes, then an update statement must be submitted instead of a true-up order.
- (i) **Enterprise Products.** For Enterprise Products, Enrolled Affiliate must determine the number of Qualified Devices and Qualified Users (if ordering user-based Licenses) at the time the true-up order is placed and must order additional Licenses for all Qualified Devices and Qualified Users that are not already covered by existing Licenses, including any Enterprise Online Services.
- (ii) **Additional Products.** For Additional Products that have been previously ordered under this Enrollment, Enrolled Affiliate must determine the maximum number of Additional Products used since the latter of the initial order, the last true-up order, or the prior anniversary date and submit a true-up order that accounts for any increase.
- (iii) **Online Services.** For Online Services identified as eligible for true-up in the Product Terms, Enrolled Affiliate may place a reservation order for the additional Licenses prior to use and payment may be deferred until the next true-up order. Microsoft will provide a report of Reserved Licenses ordered but not yet invoiced to Enrolled Affiliate and its Reseller. Reserved Licenses will be invoiced retroactively to the month in which they were ordered.
- (iv) **Subscription License reductions.** Enrolled Affiliate may reduce the quantity of Subscription Licenses at the Enrollment anniversary date on a prospective basis if permitted in the Product Terms, as follows:
- 1) For Subscription Licenses that are part of an Enterprise-wide purchase, Licenses may be reduced if the total quantity of Licenses and Software Assurance for an applicable group meets or exceeds the quantity of Qualified Devices and Qualified Users (if ordering user-based Licenses) identified on the Product Selection Form, and includes any additional Qualified Devices and Qualified Users added in any prior true-up orders. Step-up Licenses do not count towards this total count.
 - 2) For Enterprise Online Services that are not a part of an Enterprise-wide purchase, Licenses can be reduced as long as the initial order minimum requirements are maintained.
 - 3) For Additional Products available as Subscription Licenses, Enrolled Affiliate may reduce the Licenses. If the License count is reduced to zero, then Enrolled Affiliate's use of the applicable Subscription License will be cancelled.
- Invoices will be adjusted to reflect any reductions in Subscription Licenses at the true-up order Enrollment anniversary date and effective as of such date.
- (v) **Update statement.** An update statement must be submitted instead of a true-up order if, since the initial order or last true-up order, Enrolled Affiliate's Enterprise: (1) has not changed the number of Qualified Devices and Qualified Users licensed with Enterprise Products or Enterprise Online Services; and (2) has not increased its usage of Additional Products. This update statement must be signed by Enrolled Affiliate's authorized representative.
- (vi) **True-up order period.** The true-up order or update statement must be received by Microsoft between 60 and 30 days prior to each Enrollment anniversary date. The third-year true-up order or update statement is due within 30 days prior to the Expiration Date, and any license reservations within this 30 day period will not be accepted. Enrolled Affiliate

may submit true-up orders more often to account for increases in Product usage, but an annual true-up order or update statement must still be submitted during the annual order period.

- (vii) **Late true-up order.** If the true-up order or update statement is not received when due, Microsoft will invoice Reseller for all Reserved Licenses not previously invoiced and Subscription License reductions cannot be reported until the following Enrollment anniversary date (or at Enrollment renewal, as applicable).
- h. **Step-up Licenses.** For Licenses eligible for a step-up under this Enrollment, Enrolled Affiliate may step-up to a higher edition or suite as follows:
 - (i) For step-up Licenses included on an initial order, Enrolled Affiliate may order according to the true-up process.
 - (ii) If step-up Licenses are not included on an initial order, Enrolled Affiliate may step-up initially by following the process described in the Section titled "Adding new Products not previously ordered," then for additional step-up Licenses, by following the true-up order process.
- i. **Clerical errors.** Microsoft may correct clerical errors in this Enrollment, and any documents submitted with or under this Enrollment, by providing notice by email and a reasonable opportunity for Enrolled Affiliate to object to the correction. Clerical errors include minor mistakes, unintentional additions and omissions. This provision does not apply to material terms, such as the identity, quantity or price of a Product ordered.
- j. **Verifying compliance.** Microsoft may, in its discretion and at its expense, verify compliance with this Enrollment as set forth in the Enterprise Agreement.

3. **Pricing.**

- a. **Price Levels.** For both the initial and any renewal term Enrolled Affiliate's Price Level for all Products ordered under this Enrollment will be Level "D" throughout the term of the Enrollment.
- b. **Setting Prices.** Enrolled Affiliate's prices for each Product or Service will be established by its Reseller. Except for Online Services designated in the Product Terms as being exempt from fixed pricing, As long as Enrolled Affiliate continues to qualify for the same price level, Microsoft's prices for Resellers for each Product or Service ordered will be fixed throughout the applicable initial or renewal Enrollment term. Microsoft's prices to Resellers are reestablished at the beginning of the renewal term.

4. **Payment terms.**

For the initial or renewal order, Enrolled Affiliate may pay upfront or elect to spread its payments over the applicable Enrollment term. If an upfront payment is elected, Microsoft will invoice Enrolled Affiliate's Reseller in full upon acceptance of this Enrollment. If spread payments are elected, unless indicated otherwise, Microsoft will invoice Enrolled Affiliate's Reseller in three equal annual installments. The first installment will be invoiced upon Microsoft's acceptance of this Enrollment and remaining installments will be invoiced on each subsequent Enrollment anniversary date. Subsequent orders are invoiced upon acceptance of the order and Enrolled Affiliate may elect to pay annually or upfront for Online Services and upfront for all other Licenses.

5. **End of Enrollment term and termination.**

- a. **General.** At the Expiration Date, Enrolled Affiliate must immediately order and pay for Licenses for Products it has used but has not previously submitted an order, except as otherwise provided in this Enrollment.

- b. **Renewal option.** At the Expiration Date of the initial term, Enrolled Affiliate can renew Products by renewing this Enrollment for one additional 36-month term or by signing a new Enrollment. Microsoft must receive a Renewal Form, Product Selection Form, and renewal order prior to or at the Expiration Date. Microsoft will not unreasonably reject any renewal. Microsoft may make changes to this program that will make it necessary for Customer and its Enrolled Affiliates to enter into new agreements and Enrollments at renewal.
- c. **If Enrolled Affiliate elects not to renew.**
- (i) **Software Assurance.** If Enrolled Affiliate elects not to renew Software Assurance for any Product under its Enrollment, then Enrolled Affiliate will not be permitted to order Software Assurance later without first acquiring a new License with Software Assurance.
 - (ii) **Online Services eligible for an Extended Term.** For Online Services identified as eligible for an Extended Term in the Product Terms, the following options are available at the end of the Enrollment initial or renewal term.
 - 1) **Extended Term.** Licenses for Online Services will automatically expire in accordance with the terms of the Enrollment. An extended term feature that allows Online Services to continue month-to-month ("Extended Term") for up to one year, unless designated in the Product Terms to continue until cancelled, is available. During the Extended Term, Online Services will be invoiced monthly at the then-current published price as of the Expiration Date plus a 3% administrative fee. If Enrolled Affiliate wants an Extended Term, Enrolled Affiliate must submit a request to Microsoft at least 30 days prior to the Expiration Date.
 - 2) **Cancellation during Extended Term.** At any time during the first year of the Extended Term, Enrolled Affiliate may terminate the Extended Term by submitting a notice of cancellation to Microsoft for each Online Service. Thereafter, either party may terminate the Extended Term by providing the other with a notice of cancellation for each Online Service. Cancellation will be effective at the end of the month following 30 days after Microsoft has received or issued the notice.
 - (iii) **Subscription Licenses and Online Services not eligible for an Extended Term.** If Enrolled Affiliate elects not to renew, the Licenses will be cancelled and will terminate as of the Expiration Date. Any associated media must be uninstalled and destroyed and Enrolled Affiliate's Enterprise must discontinue use. Microsoft may request written certification to verify compliance.
- d. **Termination for cause.** Any termination for cause of this Enrollment will be subject to the "Termination for cause" section of the Agreement. In addition, it shall be a breach of this Enrollment if Enrolled Affiliate or any Affiliate in the Enterprise that uses Government Community Cloud Services fails to meet and maintain the conditions of membership in the definition of Community.
- e. **Early termination.** Any early termination of this Enrollment will be subject to the "Early Termination" Section of the Enterprise Agreement.

For Subscription Licenses, in the event of a breach by Microsoft, or if Microsoft terminates an Online Service for regulatory reasons, Microsoft will issue Reseller a credit for any amount paid in advance for the period after termination.

6. **Government Community Cloud.**

- a. **Community requirements.** If Enrolled Affiliate purchases Government Community Cloud Services, Enrolled Affiliate certifies that it is a member of the Community and agrees to use Government Community Cloud Services solely in its capacity as a member of the Community and, for eligible Government Community Cloud Services, for the benefit of end users that are members of the Community. Use of Government Community Cloud Services by an entity that is not a member of the Community or to provide services to non-Community members is strictly

prohibited and could result in termination of Enrolled Affiliate's license(s) for Government Community Cloud Services without notice. Enrolled Affiliate acknowledges that only Community members may use Government Community Cloud Services.

- b. All terms and conditions applicable to non-Government Community Cloud Services also apply to their corresponding Government Community Cloud Services, except as otherwise noted in the Use Rights, Product Terms, and this Enrollment.
- c. Enrolled Affiliate may not deploy or use Government Community Cloud Services and corresponding non-Government Community Cloud Services in the same domain.
- d. **Use Rights for Government Community Cloud Services.** For Government Community Cloud Services, notwithstanding anything to the contrary in the Use Rights:
 - (i) Government Community Cloud Services will be offered only within the United States.
 - (ii) Additional European Terms, as set forth in the Use Rights, will not apply.
 - (iii) References to geographic areas in the Use Rights with respect to the location of Customer Data at rest, as set forth in the Use Rights, refer only to the United States.

Enrollment Details

1. Enrolled Affiliate's Enterprise.

- a. Identify which Agency Affiliates are included in the Enterprise. (Required) Enrolled Affiliate's Enterprise must consist of entire offices, bureaus, agencies, departments or other entities of Enrolled Affiliate, not partial offices, bureaus, agencies, or departments, or other partial entities. Check only one box in this section. If no boxes are checked, Microsoft will deem the Enterprise to include the Enrolled Affiliate only. If more than one box is checked, Microsoft will deem the Enterprise to include the largest number of Affiliates:
 - Enrolled Affiliate only
 - Enrolled Affiliate and all Affiliates
 - Enrolled Affiliate and the following Affiliate(s) (Only identify specific affiliates to be included if fewer than all Affiliates are to be included in the Enterprise):

 - Enrolled Affiliate and all Affiliates, with following Affiliate(s) excluded:

- b. Please indicate whether the Enrolled Affiliate's Enterprise will include all new Affiliates acquired after the start of this Enrollment: Exclude future Affiliates

2. Contact information.

Each party will notify the other in writing if any of the information in the following contact information page(s) changes. The asterisks (*) indicate required fields. By providing contact information, Enrolled Affiliate consents to its use for purposes of administering this Enrollment by Microsoft, its Affiliates, and other parties that help administer this Enrollment. The personal information provided in connection with this Enrollment will be used and protected in accordance with the privacy statement available at <https://www.microsoft.com/licensing/servicecenter>.

- a. **Primary contact.** This contact is the primary contact for the Enrollment from within Enrolled Affiliate's Enterprise. This contact is also an Online Administrator for the Volume Licensing Service Center and may grant online access to others. The primary contact will be the default contact for all purposes unless separate contacts are identified for specific purposes

Name of entity (must be legal entity name)* City of Moreno Valley
Contact name* First Dori **Last** Lienhard
Contact email address* doril@moval.org
Street address* 14177 Frederick St.
City* Moreno Valley
State/Province* CA
Postal code* 92553-9014-
 (For U.S. addresses, please provide the zip + 4, e.g. xxxxx-xxxx)
Country* United States
Phone* 951-413-3414
Tax ID
 * indicates required fields

- b. **Notices contact and Online Administrator.** This contact (1) receives the contractual notices, (2) is the Online Administrator for the Volume Licensing Service Center and may grant online access to others, and (3) is authorized to order Reserved Licenses for eligible Online Services, including adding or reassigning Licenses and stepping-up prior to a true-up order.

Attachment: rlsContractMicrosoftEA (3059 : Microsoft 3-year Licensing Agreement)

Same as primary contact (default if no information is provided below, even if the box is not checked).

Contact name* First Dori Last Lienhard
Contact email address* doril@moval.org
Street address* 14177 Frederick St.
City* Moreno Valley
State/Province* CA
Postal code* 92553-9014-
(For U.S. addresses, please provide the zip + 4, e.g. xxxxx-xxxx)
Country* United States
Phone* 951-413-3414

Language preference. Choose the language for notices. English
 This contact is a third party (not the Enrolled Affiliate). Warning: This contact receives personally identifiable information of the Customer and its Affiliates.
** indicates required fields*

c. **Online Services Manager.** This contact is authorized to manage the Online Services ordered under the Enrollment and (for applicable Online Services) to add or reassign Licenses and step-up prior to a true-up order.

Same as notices contact and Online Administrator (default if no information is provided below, even if box is not checked)

Contact name*: First Dori Last Lienhard
Contact email address* doril@moval.org
Phone* 951-413-3414
 This contact is from a third party organization (not the entity). Warning: This contact receives personally identifiable information of the entity.
** indicates required fields*

d. **Reseller information.** Reseller contact for this Enrollment is:

Reseller company name* SoftwareONE, Inc.
Street address (PO boxes will not be accepted)* 20875 Crossroads Circle, Suite 1
City* Waukesha
State/Province* WI
Postal code* 53186-4093
Country* United States
Contact name* MS* Admin
Phone* 262-317-5555
Contact email address* ms-admin.us@softwareone.com
** indicates required fields*

By signing below, the Reseller identified above confirms that all information provided in this Enrollment is correct.

Signature* _____
Printed name*
Printed title*
Date*

** indicates required fields*

Changing a Reseller. If Microsoft or the Reseller chooses to discontinue doing business with each other, Enrolled Affiliate must choose a replacement Reseller. If Enrolled Affiliate or the Reseller intends to terminate their relationship, the initiating party must notify Microsoft and the

Attachment: risContractMicrosoftEA (3059 : Microsoft 3-year Licensing Agreement)

other party using a form provided by Microsoft at least 90 days prior to the date on which the change is to take effect.

- e. If Enrolled Affiliate requires a separate contact for any of the following, attach the Supplemental Contact Information form. *Otherwise, the notices contact and Online Administrator remains the default.*
- (i) Additional notices contact
 - (ii) Software Assurance manager
 - (iii) Subscriptions manager
 - (iv) Customer Support Manager (CSM) contact

3. *Financing elections.*

Is a purchase under this Enrollment being financed through MS Financing? Yes, No.

If a purchase under this Enrollment is financed through MS Financing, and Enrolled Affiliate chooses not to finance any associated taxes, it must pay these taxes directly to Microsoft.



Volume Licensing

Program Signature Form

MBA/MBSA number	<input type="text"/>	<input type="text"/>
Agreement number	01E73970	

Note: Enter the applicable active numbers associated with the documents below. Microsoft requires the associated active number be indicated here, or listed below as new.

For the purposes of this form, "Customer" can mean the signing entity, Enrolled Affiliate, Government Partner, Institution, or other party entering into a volume licensing program agreement.

This signature form and all contract documents identified in the table below are entered into between the Customer and the Microsoft Affiliate signing, as of the effective date identified below.

Contract Document	Number or Code
Enterprise Enrollment (Indirect)	X20-10634
Product Selection Form	0721297.003_PSF

By signing below, Customer and the Microsoft Affiliate agree that both parties (1) have received, read and understand the above contract documents, including any websites or documents incorporated by reference and any amendments and (2) agree to be bound by the terms of all such documents.

Customer
Name of Entity (must be legal entity name)* City of Moreno Valley
Signature* _____
Printed First and Last Name*
Printed Title
Signature Date*
Tax ID

* indicates required field

Microsoft Affiliate
Microsoft Corporation
Signature _____
Printed First and Last Name
Printed Title
Signature Date (date Microsoft Affiliate countersigns)
Agreement Effective Date (may be different than Microsoft's signature date)

Attachment: risContractMicrosoftEA (3059 : Microsoft 3-year Licensing Agreement)

Optional 2nd Customer signature or Outsourcer signature (if applicable)

Customer
Name of Entity (must be legal entity name)*
Signature* _____
Printed First and Last Name*
Printed Title
Signature Date*

** indicates required field*

Outsourcer
Name of Entity (must be legal entity name)*
Signature* _____
Printed First and Last Name*
Printed Title
Signature Date*

** indicates required field*

If Customer requires physical media, additional contacts, or is reporting multiple previous Enrollments, include the appropriate form(s) with this signature form.

After this signature form is signed by the Customer, send it and the Contract Documents to Customer's channel partner or Microsoft account manager, who must submit them to the following address. When the signature form is fully executed by Microsoft, Customer will receive a confirmation copy.

Microsoft Corporation
Dept. 551, Volume Licensing
6100 Neil Road, Suite 210
Reno, Nevada 89511-1137
USA

Attachment: rIsContractMicrosoftEA (3059 : Microsoft 3-year Licensing Agreement)



Report to City Council

TO: Mayor and City Council

FROM: Albert Armijo, Interim Planning Manager

AGENDA DATE: May 1, 2018

TITLE: MAJESTIC MORENO VALLEY AND FESTIVAL SPECIFIC PLAN SECOND READING FOR RELATED SPECIFIC PLAN AMENDMENT AND ORDINANCES

RECOMMENDED ACTION

Recommendation: That the City Council:

1. CONDUCT second reading by title only and Adopt Ordinance No. 935:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE FESTIVAL SPECIFIC PLAN 205, INCLUDING THE SPECIFIC PLAN TEXT, AND SPECIFIC PLAN LAND USE MAP INCLUDING A MINOR BOUNDARY ADJUSTMENT, FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES, AND GENERALLY LOCATED EASTERLY OF HEACOCK STREET, AND BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY 60

2. CONDUCT second reading by title only and Adopt Ordinance No. 936:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE OFFICIAL ZONING ATLAS, CHANGING THE ZONING CLASSIFICATION FROM RESIDENTIAL AGRICULTURE (RA2) TO OFFICE (O) WITH A MEDICAL USE OVERLAY FOR APPROXIMATELY 18.38 ACRES LOCATED AT THE SOUTHEAST CORNER OF NASON STREET AND BRODIAEA AVENUE ASSESSOR PARCEL NUMBERS 486-290-036 AND 486-290-037

3. CONDUCT second reading by title only and Adopt Ordinance No. 937:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA AMENDING THE OFFICIAL ZONING ATLAS,

CHANGING THE ZONING CLASSIFICATION FROM SP 205 RETAIL COMMERCIAL (RC), SP 205 COMMERCIAL/OFFICE PARK (C/OP) AND COMMUNITY COMMERCIAL (CC) TO SP 205 MIX OF USES (MU), SP 205 RETAIL/MIX OF USES (RMU), AND SP 205 COMMERCIAL/RETAIL (CR) FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES IN THE FESTIVAL SPECIFIC PLAN AREA AND INCLUDING A BOUNDARY MODIFICATION LOCATED EAST OF HEACOCK STREET BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY ROUTE 60

SUMMARY

This report recommends adoption of the following Ordinances introduced at the City Council meeting on April 17, 2018, which are necessary to implement a Specific Plan Amendment, and zoning classification amendments to the Official Zoning Atlas.

1. Ordinance 935, a Specific Plan Amendment to the Festival Specific Plan 205
2. Ordinance 936, a Zone Change from Residential Agricultural 2 (RA2) to Office (O) with a Medical Use Overlay for the Majestic Moreno Valley project.
3. Ordinance 937, a Zone Change for the Specific Plan 205 from Retail Commercial (RC), Community Commercial (CC), and SP 205 Commercial /Office Park (C/OP) to SP205 Mix of Uses (MU), SP205 Retail/Mix of Uses (RMU) and SP205 Commercial/Retail (CR).

DISCUSSION

Based on review and consideration of the application for a Specific Plan Amendment to Festival Specific Plan 205 submitted by the applicant LCG, MVF, LLC, the City Council introduced the ordinance to amend the Specific Plan text and the Specific Plan boundary map on April 17, 2018. The change to the Specific Plan boundary map also includes a minor boundary adjustment. In addition, with regard to the same project, the City Council introduced an ordinance to change zoning classification designations on the official City Zoning Atlas on April 17, 2018. The changes include modifications from Festival Specific Plan Retail Commercial, Commercial/Office Park, and Community Commercial designations to Mix of Uses, Retail/Mix of Uses, and Commercial/Retail for various parcels totaling approximately 63.78 acres within the Festival Specific Plan, and a minor boundary modification.

Secondly, based on review and consideration of a separate application for a Change of Zone submitted by the applicant, Richard Torng, the City Council introduced an ordinance to change zoning classification designations on the official City Zoning Atlas on April 17, 2018. The zone changes related to this Majestic Moreno Valley project will change Residential Agriculture 2 to Office with a Medical Use Overlay for two parcels that make up the project site.

ALTERNATIVES

The City Council has the following alternatives to consider:

1. Conduct the second reading by title only and adopt Ordinance No's. 935, 936 and 937.
2. Provide revisions to any or all of the draft Ordinances and have staff return with the revised draft for another adoption process.
3. Provide alternate direction to staff.

FISCAL IMPACT

There are no anticipated fiscal impacts from the recommended action.

NOTIFICATION

Agenda was posted in accordance with the Brown Act.

PREPARATION OF STAFF REPORT

Prepared By:
Chris Ormsby and Julia Descoteaux
Senior Planner/Associate Planner

Concurred By:
Richard J. Sandzimier
Acting Community Development Director

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

Objective 1.1: Proactively attract high-quality businesses.

Objective 1.3: Promote local hiring through the expansion of local, quality, high paying jobs, and workforce development efforts.

Objective 1.4: Promote the development of the Medical Corridor along Nason Street to meet health care demands for residents of Moreno Valley and the region, bring quality

jobs, and create business opportunities for ancillary support businesses in the health care industry.

ATTACHMENTS

- 1. Ordinance No 935 SPA Festival
- 2. Exhibit A to Ord 935 Specific Plan Amendment
- 3. Exhibit B to Ord 935 SPA Map
- 4. Ordinance 936 Majestic Moreno Valley
- 5. Exhibit A to Ord 936 Change of Zone
- 6. Ordinance 937 SP205 Zone Change Festival
- 7. Exhibit A to Ord 937

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 7:47 AM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 7:56 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:22 PM

ORDINANCE NO. 935

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE FESTIVAL SPECIFIC PLAN 205, INCLUDING THE SPECIFIC PLAN TEXT, AND SPECIFIC PLAN LAND USE MAP INCLUDING A MINOR BOUNDARY ADJUSTMENT, FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES, AND GENERALLY LOCATED EASTERLY OF HEACOCK STREET, AND BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY 60

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1. GENERAL:

1.1 The applicant, LCG MVF, LLC, filed an application PEN16-0015, requesting an amendment to the Moreno Valley Festival Specific Plan 205, as described in the title of this Ordinance.

1.2 Pursuant to the provisions of the law, a public hearing was held before the City Council on April 17, 2018.

1.3 The matter was fully discussed, and the public and other agencies presented testimony and documentation.

1.4 A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were certified by City Council action at the April 17, 2018 City Council Meeting.

SECTION 2. FINDINGS:

2.1 Based upon substantial evidence presented to this City Council during the April 17, 2018 meeting, including written and oral staff reports, the recommendation of the Planning Commission and the record from the public hearing, this City Council hereby specifically finds as follows:

- A. Conformance with General Plan Policies – The proposed amendment is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The proposed Specific Plan Amendment is a comprehensive update that applies to the Specific Plan text and Specific Plan Land Use map. The proposed Specific Plan amendment to the Festival Specific Plan (SP205) addresses all of the required elements of a Specific Plan. With

the adoption of the General Plan Amendment as proposed, the Specific Plan text as proposed would be consistent with the General Plan.

The proposed modifications to the standards of the Festival Specific Plan 205 do not conflict with the goals, objectives, policies or programs of the General Plan.

- B. Conformance with Specific Plan Policies – The proposed Specific Plan Amendment is a comprehensive update to the Specific Plan document, and is internally consistent with the Festival Specific Plan (SP205).

FACT: The proposed Specific Plan Amendment to the Festival Specific Plan (SP205) provides an update and modification to the standards for development included in the approved Specific Plan.

The Specific Plan as modified by this amendment will be consistent with all of the Specific Plan requirements identified in Chapter 9.13 of the City’s Municipal Code. The amendment to the Specific Plan development standards includes all the required elements of a Specific Plan as mandated in Section 65451 of the Government Code. The primary change to the Land Use exhibit is from retail commercial to a Mix of Uses category for Planning Areas I, II, and III, and Retail/Mix of Uses for Planning Areas IV, VII, and VIII, and to Commercial Retail for Planning Area VI. There is no change in designation for Planning Areas V.

The Specific Plan Amendment will not apply to the parcels at the southeast of corner of Ironwood Avenue and Heacock Street as identified in the Land Use Plan exhibit on page 21 of the Specific Plan Amendment text (Exhibit A).

- C. Health, Safety and Welfare – The proposed specific plan amendment will not adversely affect the public health, safety or general welfare.

FACT: The proposed Specific Plan Amendment will not result in unacceptable levels of protection from natural and man-made hazards to life, health, and property and is therefore consistent with General Plan Goal 9.6.1.

The Specific Plan Amendment, General Plan Amendment, and Change of Zone applications were considered and analyzed in the Initial Study/Mitigated Negative Declaration prepared for the project. The project includes an update to the Specific Plan text applying to approximately 64 acres of the Specific Plan. The Mitigated Negative Declaration has proposed mitigation measures in several areas including Biological Resources, Cultural and Tribal Resources, Greenhouse Gas Emissions, noise impacts, and Transportation and Circulation impacts. The mitigation

Attachment: Ordinance No 935 SPA Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

measures for Greenhouse Gas emissions will also further the reduction of impacts on air quality.

Based on the analysis, with the implementation of the mitigation measures, the Specific Plan will not have the potential to degrade the quality of the environment, or adversely affect humans, either directly or indirectly. Further, with the adoption of the mitigation measures, the project will not result in impacts that are individually limited, but cumulatively considerable, when considering planned or proposed development in the immediate vicinity, or to achieve short term goals to the disadvantage of long-term environmental goals.

SECTION 3. SPECIFIC PLAN AMENDMENT:

The Festival Specific Plan Amendment (SP205) text is hereby amended as shown in Exhibit A attached and incorporated by reference into this Ordinance. In addition, the Specific Plan Land Use map with boundary adjustment is hereby amended as depicted in Exhibit B attached and incorporated by reference into this Ordinance.

SECTION 4. EFFECT OF ENACTMENT:

Except as specifically provided herein, nothing contained in this Ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 5. NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this Ordinance and cause it to be posted in three public places within the city.

SECTION 6. EFFECTIVE DATE:

This Ordinance shall take effect thirty days after the date of its adoption.

INTRODUCED at a meeting of the City Council on April 17, 2018 and PASSED, APPROVED, and ADOPTED by the City Council on May 1, 2018 by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance No 935 SPA Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Patricia Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. YYYY-__ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the ____ day of____, YYYY, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

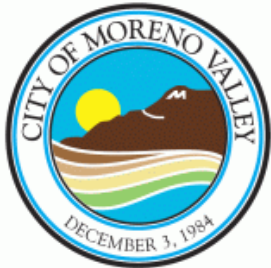
(SEAL)

Attachment: Ordinance No 935 SPA Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

THE MORENO VALLEY FESTIVAL ®

AMENDMENT TO SPECIFIC PLAN 205

February 15th, 2018



City of Moreno Valley
Riverside County, California



Adopted:

Date: _____

Ordinance: _____

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

PROJECT TEAM**CONSULTANTS:**

Blodgett Baylosis Environmental Planning
 Marc Blodgett
 P.O. Box 5037
 Hacienda Heights, CA91745
 Bus: (626)-336-0033
 E-mail: blodgett.marc@gmail.com

Thomas Breitzkreuz – Owner’s Development Consultant
 711 Chestnut Ave
 Redlands, CA 92373
 Bus: (909) 2393482
 E-mail: breitzkreuz@roadrunner.com

ARCHITECT:

National Engineering & Consulting Inc.
 Contact: Michael Santillan, Architect
 27 Orchard
 Lake Forest, CA 92630
 Bus: (949) 716-9990
 E-mail: Michael.Santillan@nationaleng.com

LANDSCAPE ARCHITECT:

Scott Peterson, ASLA
 2883 Via Rancheros Way
 Fallbrook, CA 92028
 Bus: 760 842-8993
 E-Mail: scott@splainc.com

CIVIL ENGINEER:

Jeff Meiter, LS, RCE
 President
 Valued Engineering, Inc.
 180 N. Benson Avenue, Suite "A"
 Upland, CA 91786
 Bus: (909) 982-4601
 E-mail: www.valued-eng.com

TRAFFIC CONSULTANT:

Rawad Hani & Rudy Garcia
 Transpo Group
 603 N Parkcenter Drive, Suite 108
 Santa Ana, CA 92705
 Bus: 949.656.7925
 Email: rawad.hani@transpogroup.com | rudy.garcia@transpogroup.com



CONCEPT RENDERING

Note: The renderings, photographs, and illustrations contained herein present the general vision and intent for future development. As the project progresses to actual construction, precise plans, and design specifications consistent with these illustrations will be submitted to the City of Moreno Valley for review and approval prior to the issuance of construction permits.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

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1.1 INTRODUCTION

1.2 The “Moreno Valley Festival”

This specific plan document is a modification to the existing “Moreno Valley Festival” Specific Plan/EIR (SP-205) which was approved and certified by the City Council of Moreno Valley on October 27 1987.

A later Phase-III included in Amendment 3, with a “Specific Plan Boundary Area” of 81.5 acres was approved in 1991 where the land use was re-targeted to more commercial retail development uses.

The purpose of this amendment is to modify the Adopted Specific Plan as a means to promote a wider range of land uses and development to address current development trends. The expanded range of allowable uses will include land use designations such as commercial, retail, business park, office and medical and related uses.

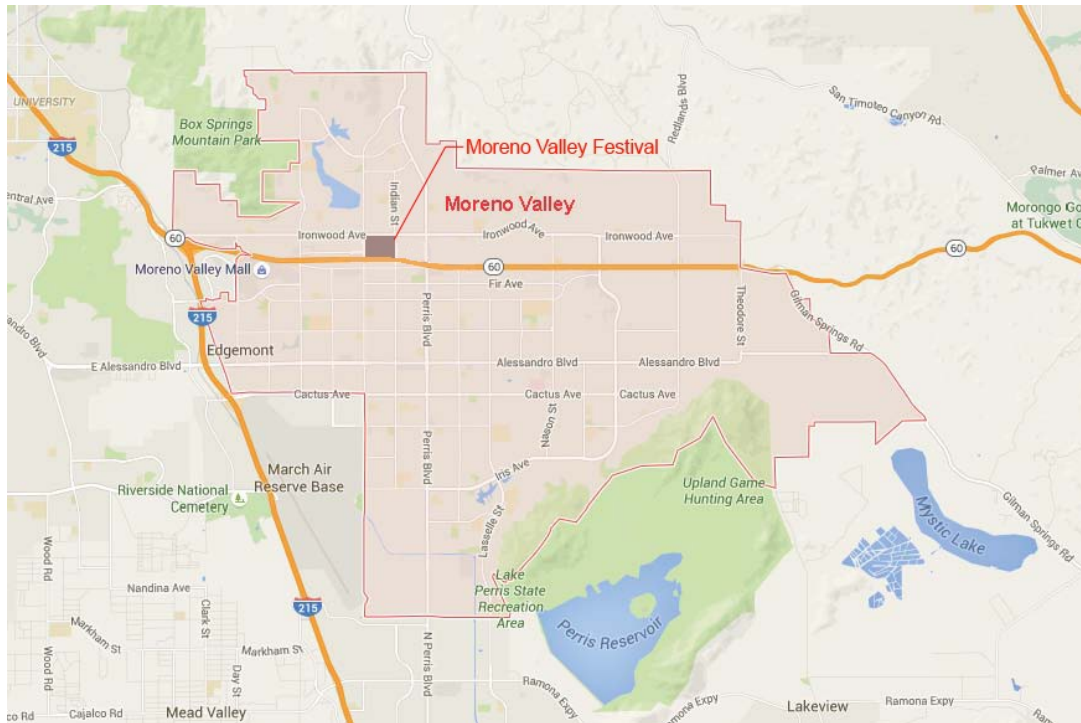
The “Moreno Valley Festival” Specific Plan **total boundary area** covers approximately **63.78 acres** in the City of Moreno Valley, California. The “Moreno Valley Festival” boundary plan is located;

- Easterly of Heacock Street;
- Between Ironwood Avenue and Hemlock Avenue; and
- One block West of Nita Dr.

The 9.96 acre privately owned property located at the southeast corner of Ironwood Avenue and Heacock Street is part of the original adopted Specific Plan (SP 205). This property is not part of the proposed Plan Amendment. The owner applicant shall work in a collaborative manner with the owner of the 9.96 acre privately owned site to ensure conformity and compatibility of access for a more efficient and uniform design, if the product type and uses create a mutually beneficial opportunity. In addition there are two parcels located within the Plan Amendment that are under separate public ownership. A smaller portion (1.84 acres) of Planning Area 3 is currently owned by the Eastern Municipal Water District (EMWD). Planning Area 5 in its entirety is owned by the City of Moreno Valley and is used for storm water retention. The Plan Amendment does not contemplate any change in the use of the Regional storm water retention basin.

Note:

For purposes of consistency, this document shall refer to this project as “**Moreno Valley Festival**” (“**MVF**”) rather than “Festival at Moreno Valley” as it has been referred to in the Specific Plan and Specific Plan Amendments.



*Note all maps and illustrations are shown enlarged in the appendix.

Figure 1-1 Regional Map

1.3 Specific Plan Overview

The “MVF” is a master planned development including State Highway oriented commercial, retail, business park, office and medical and other related uses. This high quality project includes a Mix of Uses that been phased to respond to the employment and community service needs of a growing local and regional population base. The different land uses of this development are being harmoniously designed, with care being taken to successfully mitigate any sensitive development issues.

The “Moreno Valley Festival” Specific Plan includes the following land uses;

- Retail Commercial
- Commercial Office and medical
- Business Park District
- Related Uses
- Detention Basin/Open Space

During the original planning process for the “MVF” (SP 205), consideration was given to all public utility and infrastructure needs associated with the proposed project. The majority of the infrastructure has been installed per the approved specific plan including all of Hemlock Avenue and approximately two-thirds of Davis Street. All future public utility and infrastructure shall be installed according to Title 9 and the requirements of this Specific Plan. These are being installed on

a phased basis as logical and orderly extensions of area-wide master planned facilities. Implementation of roadways and infrastructure to serve the project site will occur according to development needs.

The “MVF” Specific Plan has been adopted pursuant to Government Code Section 65450 which grants authority to cities to adopt specific plans for purposes of implementing the goals and policies of their General Plans. The Government Code sets forth the minimum requirements and review procedures for specific plans including the provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures.

The Specific Plan and Amendments complies with the City of Moreno Valley's Municipal Code (Chapter 9.13) governing amendments of the specific plans content and procedures for their adoption and enforcement.

1.4 Specific Plan Vision and Objectives

This document will provide a comprehensive description of specific guidelines for development within the “MVF” Specific Plan area as well as to establish a logical framework for the creation of a high quality Mix of Uses development. The goal is to ensure an aesthetically pleasing and integrated master planned project which shall create a desirable working and shopping, environment to enhance the community's overall image. Objectives to accomplish these goals are:

- Create a cohesive development by integrating commercial, retail, business park, office and medical and related uses;
- Provide opportunity for creativity within individual projects; and
- Establish an appropriate buffer relationship among potential land uses and between non-residential uses and existing residential neighborhoods.

The Specific Plan will establish the zoning criteria that will guide the orderly development of the “MVF” projects and carry out the goals of the City's General Plan. Included are development standards for integrated site planning, architecture, and landscaping. These standards establish a consistent design concept that produces a clear image and a sense of prestige, efficiency and integrity for the “MVF” and each project within.

This Specific Plan implements all applicable elements of the General Plan and includes detailed information about the area's infrastructure improvements such as roads, water, sewer, utilities and flood control facilities.



Figure 1-2 Specific Plan Edge Treatment Areas

1.3.1 Development Goals

The Specific Plan creates planning strategies and development standards specifically for the property to incorporate its unique advantages, adapt to its constraints, enhance the economic growth needs of the City, and create consistent and compatible land uses for the area in an environmentally responsible manner. Development of the "MVF":

- Provides the land use designations and infrastructure plan necessary to support the City's Economic Development Action Plan,
- Creates a project that will provide a balanced approach to the City's responsibilities of fiscal viability, economic opportunity and environmental integrity,
- Provides numerous ongoing employment opportunities,
- Provides hundreds of construction job opportunities during the project's build-out phase,
- Establishes architectural and landscape design guidelines for the project, and
- Provides appropriate transition between the project and adjacent uses.

1.3.2 Specific Plan Approval

The Specific Plan No. 205 was approved by the City of Moreno Valley on 1991-02-21COA (Amendment #3). The document will supersede the Specific Plan text and all previous amendments for the designated planning areas, which includes development standards for a cohesive user-friendly specific plan document.

All development proposed within the "MVF" will be developed consistent with the development standards and design guidelines contained herein. The review process shall be as specified in Title 9 of the Municipal code.

1.3.3 Green Building-Sustainable Development

Construction of the "MVF" will be in conformance with California's "Cal-Green" building regulations, the most stringent, environmentally-friendly building code in the United States. Cal-Green is a comprehensive, far-reaching set of regulations which mandate environmentally-advanced building practices and regulations designed to conserve natural resources and reduce greenhouse gas emissions, energy consumption and water use.

The project shall incorporate sustainable design features to further reduce its environmental footprint, including but not limited to:

- Reduced water use for landscape irrigation,
- Accommodate the use of alternative means of transportation,
- Use recycled building materials to the extent feasible,
- Use local sources of building materials to the extent feasible,
- Minimize the use of impervious paved surfaces throughout the project,

1.3.4 Sense of Place

The Specific Plan establishes a strong and unique identity for the “MVF” Site. The Specific Plan guides the establishment of the project’s sense of place by:

- Applying comprehensive, overall project design guidelines for architecture and project landscaping,
- Using streetscapes, banners, entry monuments, and architecture to strengthen the project identity.

1.3.5 Project Infrastructure

The Specific Plan identifies the backbone infrastructure systems needed to serve the project. Preliminary plans illustrate the proposed expansion of water, sewer, drainage and utility facilities. The infrastructure plan also provides for vehicular (car, truck and bus) and non-vehicular (bicycle and pedestrian) circulation.



Figure 1-3 The Specific Plan provides for the establishment of conceptual design features for “MVF”

Corner of Hemlock Avenue and Davis Street

1.4 Existing Setting

1.4.1 Existing Land Use

“MVF” Specific Plan covers approximately **63.78 acres** in central Moreno Valley in Riverside County, California. The project is located between Heacock Street to the West; Indian Street to the East; State Highway 60 to the South; Ironwood Avenue to the North.



Figure 1-4 Surrounding Land Uses

Surrounding land uses include:

North: Single Family Residential.

South: SR-60, Commercial and a residential development.

East: Single Family Residential uses.

West: Retail Commercial development to the west including the northwest corner at Ironwood Ave and Heacock St. and on the southwest corner at Hemlock Ave and Heacock St.

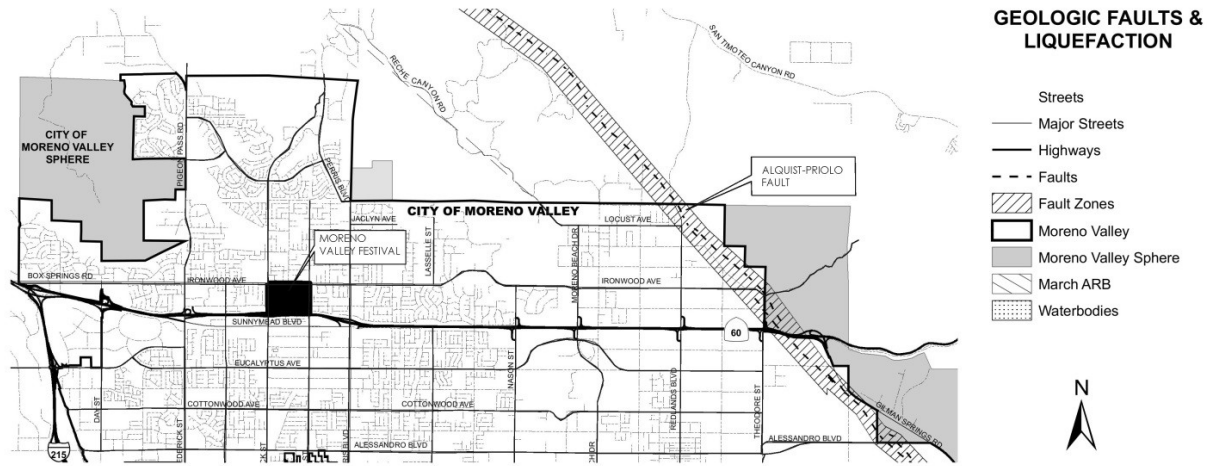


Figure 1-5 Existing Fault Zones

Based on the preliminary geotechnical studies conducted for “MVF” property **Figure 1-5** “Existing Fault Zones” illustrates the location of the Alquist-Priolo Fault Zone in relation to the site and shows where several concealed, inferred, and known faults are believed to exist. The Project Site is not in a fault zone.

Prior to the approval of all project-specific development proposals, detailed geotechnical investigation and analysis will be prepared and submitted to the City for review. The results of those studies will be incorporated into the detailed plans for each project.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

2.1 LAND USE PLAN

2.2 “MVF” Land Use Designations

The “MVF” Specific Plan implements the development of a master-planned project specifically designed to support specified uses by incorporating landscape and architectural standards, project-wide criteria for streets, drainage, public infrastructure, lighting and signage, and project features responsive to the needs of the Moreno Valley community.

The Specific Plan includes a land use plan providing for the following land use designations: Mix of Uses Development (MU), Commercial/Retail Development (CR), Retail Mix of Uses (RMU) and Open Space (OS).

A Circulation Plan integrates a roadway network that moves cars and trucks into and through the “MVF” in a safe, efficient manner. An Infrastructure Plan is included that addresses the current status of local infrastructure services such as water, sewer, storm drain, and electricity and telephone/cable TV and outlines the backbone improvements necessary for these systems to serve the “MVF” project. Guidelines for landscaping and architectural design are included to ensure that a distinct consistent aesthetic theme is realized throughout the project.

The Plan also establishes an implementation program that defines the processes and procedures for the review and approval of project-specific development proposals, carrying out the purpose and intent of the Specific Plan. All of these elements function together in order to create a comprehensive development program which will help ensure that the “MVF” has a positive contribution to Moreno Valley.

Mix of Uses - (MU)

Various projects located within “MVF” for any or all of the areas I, II, III, VI, VII & VIII will have the potential to be developed as a Mix of Uses development.

The Mix of Uses development is a blend of one or more uses located in one planning area or within the MVF with the appropriate buffers and separations. Development of these areas will be in accordance with The Moreno Valley development standards per Title 9 of the Moreno Valley Municipal Code. These developments will be submitted to the City as part of a cohesive plan and may include commercial, retail, business park, office and medical and related uses, which will be individually developed as part of a cohesive integrated design.

Retail/ Mix of Uses - (RMU)

The projects along Hemlock Ave. will be characterized by retail/ commercial and related uses consistent with the existing development. This area shall comply with the City of Moreno Valley development standards and permitted uses.

The previous Specific Plan identified phases of the development, of which only the first phase was completed. This development occurred in the portion of the development identified as follows:

- A portion of area IV developed as commercial/retail
- Area VI developed as retail/restaurant
- Area VII developed as commercial/ retail

Some of the existing developed buildings are vacant and/or in need of renovation and repair. The existing retail area and signage within area VII will be redesigned per this plan. The specified areas can be developed in accordance with Title 9 Development Standards of the City of Moreno Valley Municipal Code, General Plan and according to this plan. Open Space - (OS)

The OS designation identifies approximately a **12.89 acre** area in the northeastern portion of the site. The OS designation is an existing City owned permanent, preserved, Open Space and detention basin for Storm Water Runoff. Any improvements to this space shall be initiated by the City. It is intended that the open space be undisturbed and used as a buffer to the residential and other development areas.

“MVF” Planning Areas

The below table illustrates the “approximate” overall land area for each “Planning Area” reflected in **Figure 2-1 Land Plan Use**.

Planning Area I	Mix of Uses	+/- 7.36 acres
Planning Area II	Mix of Uses	+/- 3.84 acres
Planning Area III	Mix of Uses	+/- 9.81 acres
Planning Area IV	Retail/ Mix of Uses	+/- 13.92 acres
Planning Area V	Regional Detention Basin	+/- 12.89 acres
Planning Area VI	Retail/ Mix of Uses	+/- 6.08 acres
Planning Area VII	Retail/ Mix of Uses	+/- 6.44 acres
Planning Area VIII	Retail/ Mix of Uses	+/- 3.44 acres
Total Planning Areas		+/- 63.78 acres

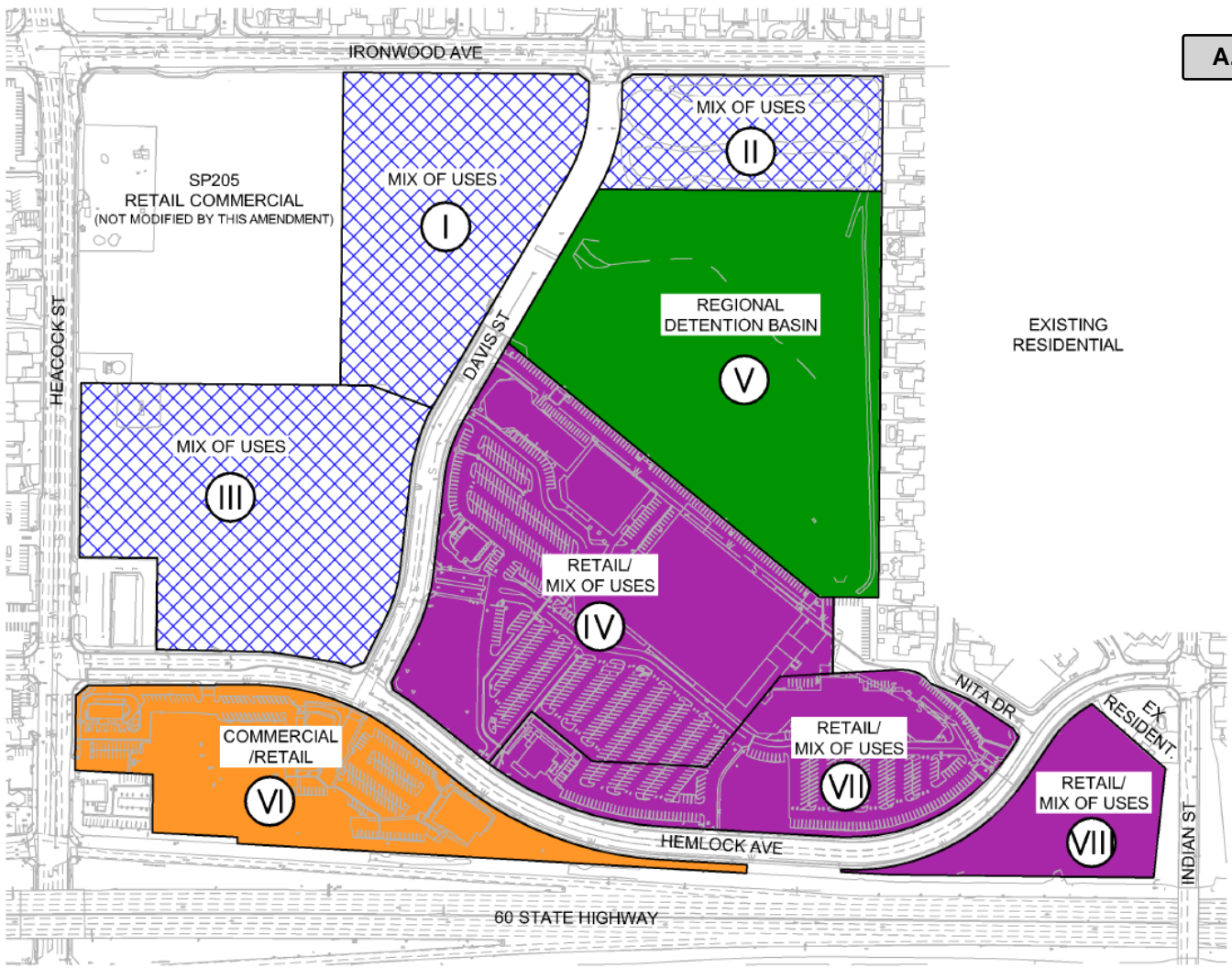


Figure 2-1 Land Use Plan

2.3 Approved Uses

Specific uses are identified in **Section 5.1.3.2** of this Specific Plan.

2.4 Special Edge Treatment Areas

The Specific Plan includes designated areas where special setbacks, facilities, grading and landscaping that creates special edge treatment areas between the “MVF” and adjacent, existing land uses. These edge areas are shown on **Figure 4-2** and detailed cross sections are shown in **Section 4.2.4**.

2.5 Proposed Land Use Plan

The Specific Plan includes a land use plan that will indicate the location and extent of permitted land uses and development within the geographic area governed by the Specific Plan Amendment. The Specific Plan Amendment facilitates the development of a master-planned project specifically designed to support specified uses by incorporating landscape and architectural standards, project-wide criteria for streets, drainage, public infrastructure, lighting and signage, and project features responsive to the needs of the Moreno Valley community. The Specific Plan Amendment and land use plan identifies the following land use designations described below and on the following pages:

Community Commercial (CC Zone) The primary purpose of the community commercial (CC) district is to incorporate development of general shopping needs of area residents and workers with a variety of business, retail, personal and related or similar services.

Office Commercial (OC Zone) The primary purpose of the office commercial (OC) district is to allow for the establishment of business, corporate and administrative office, as well as commercial services which are supportive to major business developments. Retail facilities which support the office developments are permitted, subject to limitations specified in this section.

Office (O Zone) The primary purpose of the office (O) district is to create areas for the establishment of park-like, office-based working environments for general business, corporate, professional and administrative offices. It is the further intent of the district to integrate setbacks, landscaping and architectural treatments that ensure the location of such uses is relatively compatible with residential development in the vicinity.

Light Industrial (LI Zone) The primary purpose of the light industrial (LI) district is to establish light manufacturing, light industrial, research and development, warehousing and distribution and multitenant industrial uses, as well as certain supporting administrative and professional offices and commercial uses on a limited basis. This district is intended as an area for light industrial uses that can meet high performance standards.

Business Park (BP Zone) The primary purpose of the business park (BP) district is to provide for light industrial, research and development, office-based firms and limited supportive commercial in an attractive and pleasant working environment and a prestigious location. This district is intended to provide a transition between residential and other sensitive uses and more intense uses.

Open Space (OS) The primary purposes of the open space (OS) district are to provide for low intensity, outdoor-oriented recreational facilities, preserve unique natural and environmentally sensitive areas, and protect and preserve the public health, safety and welfare.

3.1 INFRASTRUCTURE PLAN

The Infrastructure Plan serves as a guide for the development of detailed plans for roadways, domestic water, wastewater, storm water and utilities that will serve the Specific Plan area. The conceptual infrastructure plans generally identify the location of infrastructure facilities within the project. Subsequent subdivisions and site development plans will establish the exact size and location of all such facilities.

3.2 Circulation

The Circulation Plan dictates the standards and guidelines that ensure the safe and efficient movement of people and vehicles into and through the “MVF,” addressing light trucks and passenger vehicles, heavy trucks, public transit, and non-vehicular circulation (pedestrians and bicycles). The Circulation Plan **Figure 3-1.2** includes new streets and the extension of existing streets.

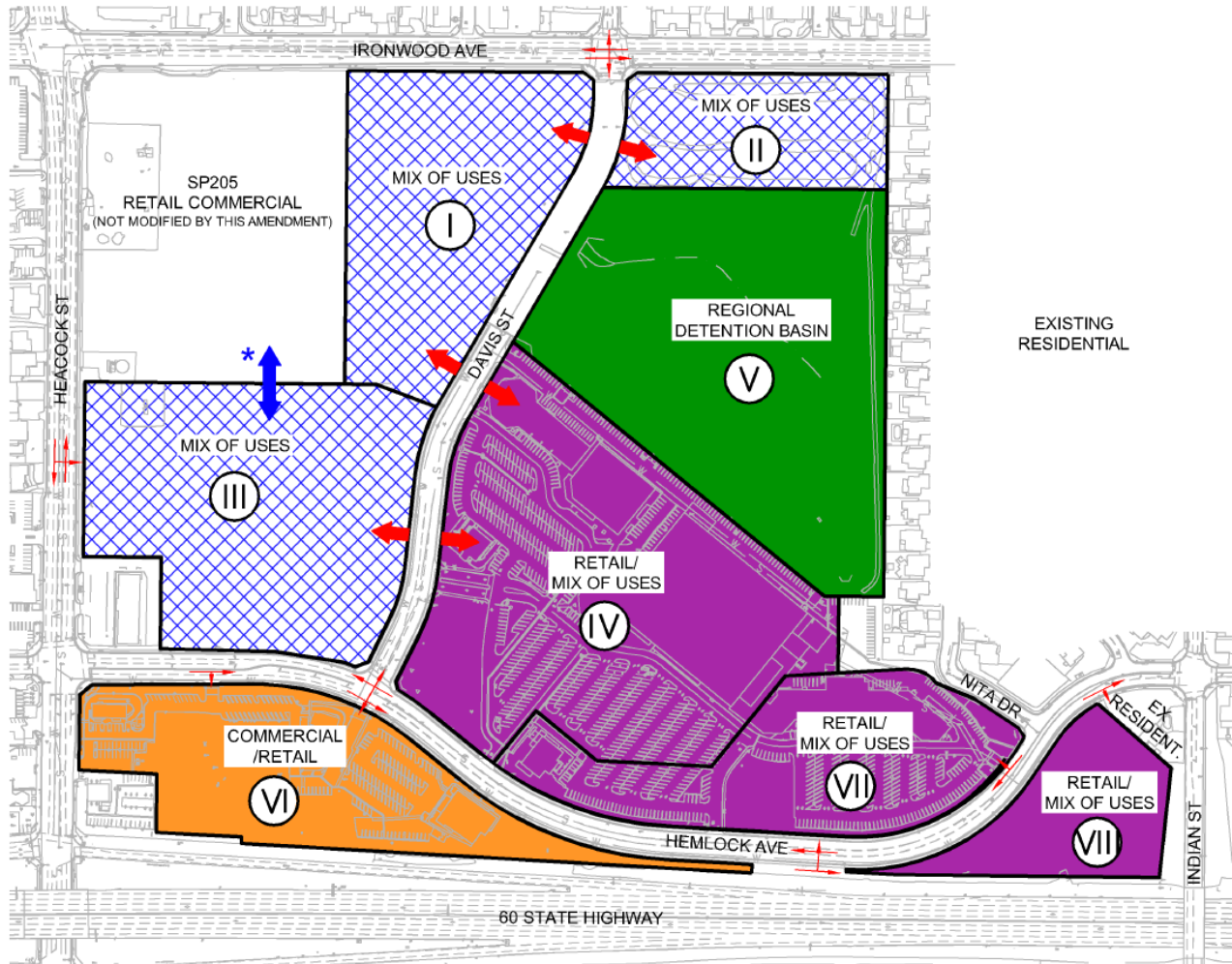


Figure 3-1.2 Circulation Plan

*Pedestrian and/ or vehicular access for the adjoining parcels will be determined in the future to ensure conformity and compatibility if the product type and uses create a mutually beneficial opportunity.

3.2.1 Traffic Analysis

Background

The proposed Specific Plan will review potential renovations to the approximately 200,000 square feet of existing retail and commercial land uses and the future development of the remaining land parcels. The trip generation for each alternative is provided with the highest trip generation scenario being analyzed for this site. The project site will have access to Ironwood Avenue from Davis Street, Hemlock Avenue from Davis Street, Heacock Avenue via Hemlock Avenue.

3.3 State Highway

State Route 60 (SR-60) parallels the Southerly border of the "MVF." An existing interchange is adjacent to the project and an off-ramp is located at Heacock Street. Heacock Street will be the primary connection to SR-60 for the "MVF."

3.4 Vehicular Circulation

3.4.1 Passenger Car and Truck Circulation

The "MVF" is designed to enhance easy vehicular access to the project via three main entry points around the site. "MVF" will be serviced by the existing roads with access from Heacock Street on the west (a City designated truck route) and Indian Street (a residential street) to the east via Hemlock Ave. To the north, the site is adjacent to Ironwood Ave (a City designated truck route) and will be accessed via Davis Street which will be continued from its proposed location on the previously approved Specific Plan. Access for cars and trucks is provided via the extension of Davis Street in the central portion of the project running North to South.

3.4.2 Street Designations

A network of arterial and collector streets serve the "MVF." Their primary function is to serve traffic within the project area, but some may augment regional connectivity through the project. Street sections within the project are shown on the following pages. Additional rights-of-way may be required for turn lanes. Turn lanes are provided in the median of all arterial streets, subject to City approval.

3.4.3 Mass Transit Circulation

All existing streets in the "MVF" are designed to accommodate bus service. Regional bus service in Western Riverside County is provided by the Riverside Transit Agency (RTA).

Route 11 currently circulates west to east along Hemlock Ave., and south to north to Perris Blvd with a stop at the corner of Perris Blvd. and Hemlock Ave. The bus then continues east to West along Ironwood Ave. This route is reversed for the return trip.

There are currently no stops within the area of the Specific Plan. RTA will determine if and when bus service will be modified. Facilities to support future bus stops to the project will be pursuant to RTA's "Design Guidelines for Bus

Transit” and will be incorporated, as needed, into street design in connection with site-specific development proposals. Covered shelters may be required if RTA plans a bus stop along the Specific Plan area. A standard design for shelters shall be reviewed and approved by RTA and the City prior to installation of the first shelter.

3.3.5 Emergency Access

An emergency vehicular access connection will be provided from “MVF” to public roads to the west. This connection will also be designed to accommodate pedestrian and bicycle use to facilitate non-vehicular circulation within the “MVF” project.

3.4 Non Vehicular Circulation

3.4.1 Pedestrian Circulation

The “MVF” incorporates a network of sidewalks on all project streets, as required to comply with ADA and other applicable codes, to connect all areas of the project to surrounding areas and to interconnect all buildings within the project. Details of these sidewalks will be reviewed and approved by the City in connection with subdivision and site development approvals.

3.4.2 Bicycle Circulation

Details of these facilities will be established with subdivision and site development approvals. Bikeways will be included only for the newly developed street improvement plans, if required, consistent with City requirements.

3.5 Utilities

3.5.1 Water

Eastern Municipal Water District (EMWD) provides water service to the “MVF,” receiving its water from Metropolitan Water District (MWD) and local groundwater wells. Development of the proposed project site will have adequate water supply from Eastern Municipal Water District. There is an existing 16” A.C.P. water main along Hemlock Avenue, 16” PVC water main along Davis Street and 12” A.C.P. water main goes through the existing Festival development.

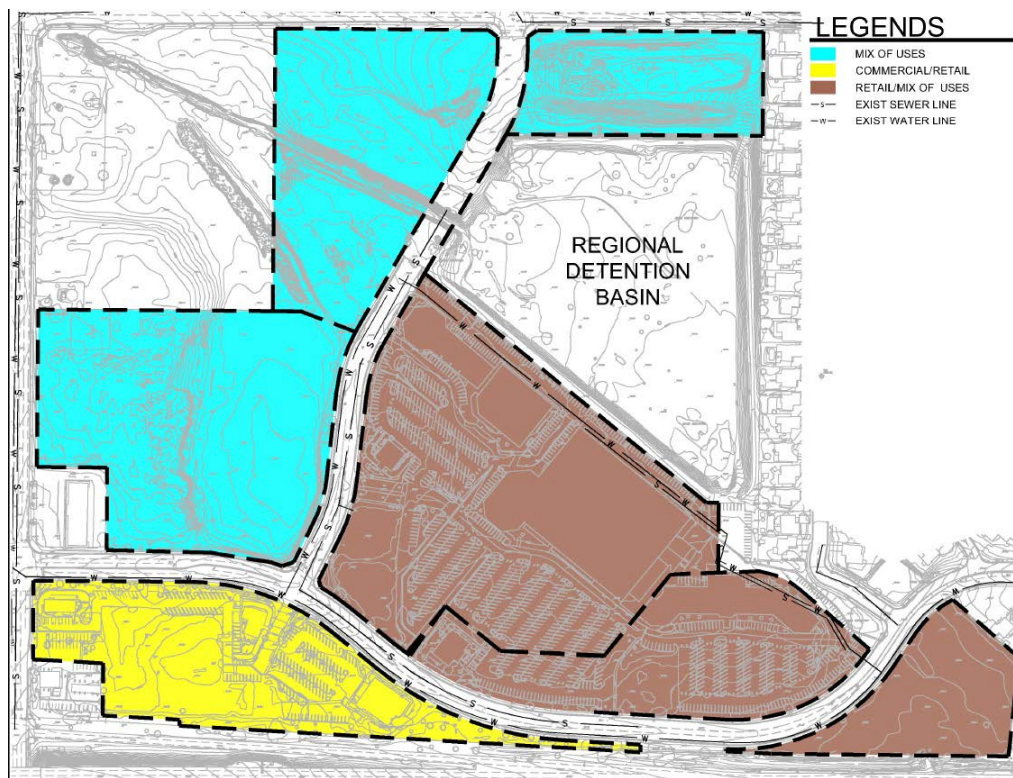


Figure 3-5.2 Water Service Site Plan for Development

3.5.2 Sewer

Eastern Municipal Water District (EMWD) provides wastewater service to the “MVF” area. Wastewater generated from the “MVF” area will be treated at EMWD’s Moreno Valley Regional Water Reclamation Facility (MVRWRF). The MVRWRF, located in the southwestern portion of the City near Kitching Street and Mariposa Avenue, has the capacity to treat 16 million gallons per day (MGD) of wastewater, which will accommodate the needs of the “MVF” project. The primary trunk sewer line serving the “MVF” area is located in Heacock Street. This trunk sewer line continues in a southerly direction in Heacock Street and then east along Mariposa Avenue conveying wastewater to the MVRWRF.

3.5.3 Storm Drain

The “MVF” Specific Plan area is within the Middle and Lower San Jacinto River watershed which is part of the larger Santa Ana River watershed. The storm water runoff within the Sunnymead Drainage Area generally flows southeasterly and the subarea boundary ends at the Perris Valley Storm Drain.

The Riverside County Flood Control and Water Conservation District (RCFCWCD) is the responsible agency for the project area’s regional flood control system. The Festival project is adjacent to the Indian Street Detention basin located near the eastern edge of the site. There are two 102” Storm Drain Line running along Ironwood Avenue and south on Davis Street which collects storm water north of Ironwood Avenue and discharges into the detention basin.

The detention basin outlet is conveyed by a 12' x 4.5' Reinforced Concrete Box that connects to Perris Storm Drain and discharges into Canyon Lake. The watershed drainage continues southwest to Lake Elsinore downstream and ultimately goes northwest to the Santa Ana River.

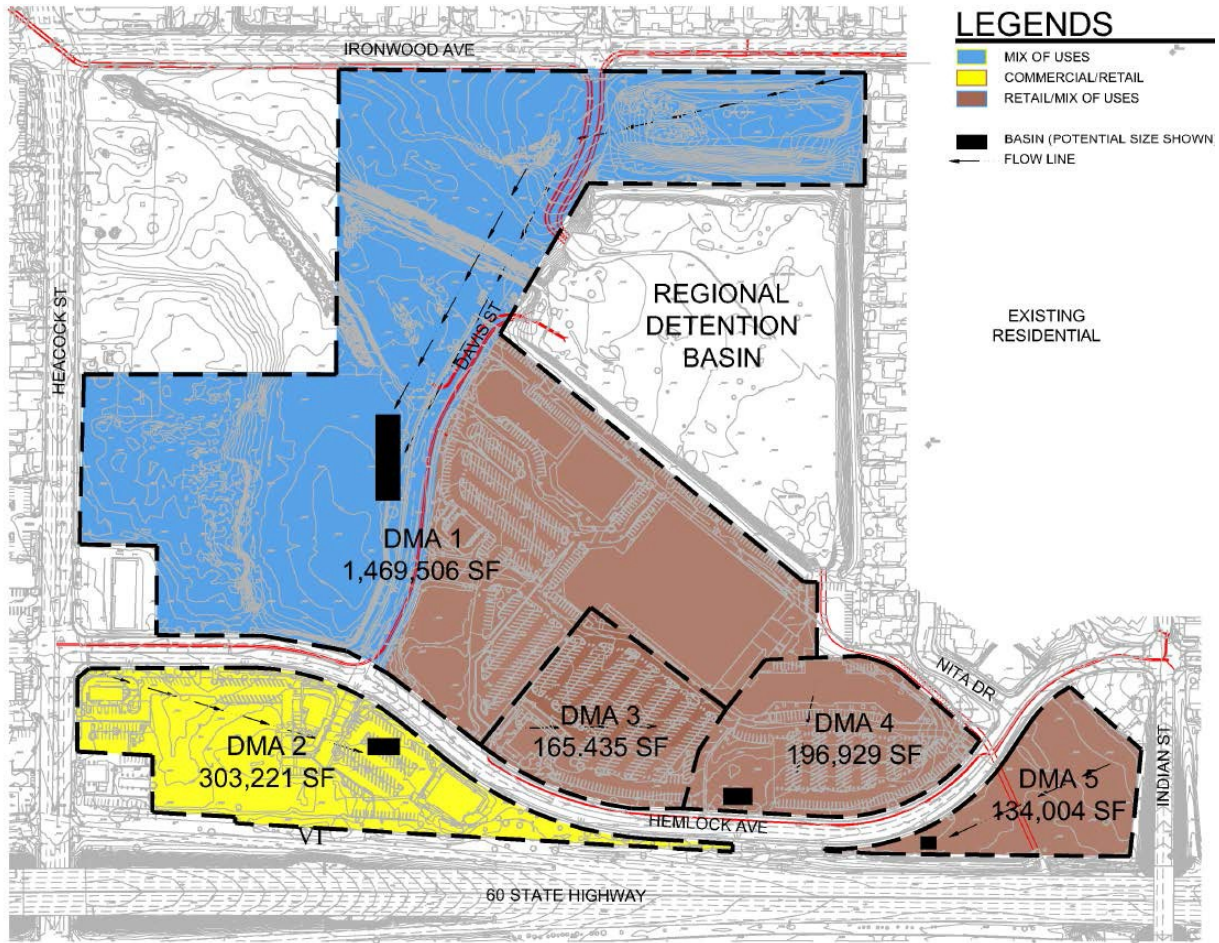


Figure 3-3 Storm Drain Plan

The Indian Street detention basin will not be part of the improvements. Additional site specific, storm drain improvements will need to be added for the project. A system of underground drainage lines and detention basins will convey the storm water runoff and manage the increased flow due to the proposed development. At each stage of development, the peak flows at downstream discharge points at the southerly project boundary will not exceed the peak flows for the existing condition.

Prior to approval of any subdivision or Plot Plan adjacent to Indian Street Detention Basin, a concept plan for the entire drainage feature shall be submitted to and approved by the City. The concept plan shall include proposed grading, improvements, landscaping, drainage facilities, signage, vehicular/pedestrian access, and any other proposed improvements. Site specific projects shall be consistent with this concept plan.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

Based on the latest Flood Insurance Rate Map (FIRM) published by the Federal Emergency Management Agency (FEMA), the project site is not located within a 100-year floodplain.

3.5.4 Utility Conditions

Existing Electrical Service

Southern California Edison (SCE) is the electricity provider for the "MVF." SCE has an existing underground electrical service along Hemlock Avenue, Davis Street and Heacock Street. An electrical substation is located at the northeast corner of Heacock Avenue and Ironwood Avenue. The substation has an existing distribution of 2.63 Megawatt (MW) and queued generation of 0.21 MW. The projected load for Maxwell Substation is 100.4 MW. SCE has existing 12 kV and 115 kV overhead power lines on the north side of Ironwood Ave.

Existing Natural Gas

Southern California Gas Company (SCGC) is the natural gas provider for the "MVF."

Cable Television

Time Warner Cable currently provides cable television to the "MVF" and vicinity. Existing underground cable television facilities serve the residential area located along Nita Drive and Marigold Avenue. Underground facilities within Davis Street and Hemlock Avenue are in place. Overhead facilities are located along Ironwood Avenue on the north side of the street. Facilities for cable will be made available to all providers.

Proposed Cable and Telecommunications

As development proceeds, cable and telecommunications facilities located along Hemlock will be extended along Davis Street to serve the "MVF" project. These facilities will be underground and may be provided by a number of service franchises.

4.1 OFF-SITE DESIGN STANDARDS

These standards shall apply to those portions of the “MVF” property that are not within development sites; this includes common areas, open space, public areas, streetscapes, etc.

4.2 Off-site Architecture

4.2.1 Objectives

Off-site architecture includes buildings that house infrastructure or public use facilities that serve the “MVF.” The architectural design should express the character of the proposed development in a manner that is consistent and enduring with the theme of the development. In order to establish a clear, unified image throughout the “MVF,” these structures shall follow the guidelines set forth in Section 5.0 of this Specific Plan. These support buildings shall be designed to align with the “MVF” design guidelines and sense of place.

4.2.2 Ground-mounted Equipment

See Title 9 of the City Municipal code.

4.2.3 Roof-mounted Equipment

See Title 9 of the City Municipal Code.

4.2 Off-Site Landscaping Requirements

The following general criteria will apply to landscaping provided by the Master developer as well as landscaping provided by the individual project developers. The Project Design Guidelines section of this Design Manual offers more detailed information for individual project developers.

- See Title 9 of the City Municipal code.
- All landscape designs shall adhere to the concept depicted in the Landscape exhibits (**Figures 4-2 and 4-3**).

4.2.1 Objectives

A landscape concept has been developed for the “MVF” that will reinforce patterns established by the land use plan to create an identity for the entire project. Various landscape design elements selected for the streetscapes, entries and buffers will be integrated to complement the sense of cohesiveness throughout the development. The primary objectives of the landscape concept plan are as follows:

- Reinforce circulation patterns, entryways, landmarks, and focal points;
- Enhance views and provide meaningful view corridors within the site;
- Foster a buffer between existing residential neighborhoods and other proposed uses;
- Create unity throughout the project by coordinating and limiting the variety of plant and hardscape materials;
- Promote a pleasant, distinctive neighborhood environment; and
- Implement water conservation through the use of drought-tolerant, low water use plant materials and water efficient irrigation systems.
- Adhere to Title 9 of the City Municipal Code.

The landscaping design concept is focused towards:

- Providing a clean visual appearance
- Coordinating the landscaping treatment along State Highway, and surface streets to compliment the circulation system
- Coordinating streetscapes within the “MVF” to unify its general appearance
- Ensuring off-site landscaping design continuity among individual development sites within the “MVF,” and
- Minimize long term maintenance.

The following guidelines present parameters for general landscape design, water conservation, and streetscapes. On-site landscaping guidelines are addressed in Section 5.4 of this Specific Plan. See Title 9 of the City Municipal Code for specific Moreno Valley requirements.

4.2.2 Water Conservation Measures

The “MVF” employs an aggressive approach to water conservation. Every element of the landscape program has been evaluated to determine how to achieve the project’s landscape goals while maintaining maximum water efficiency. From the formulation of the overall landscape concept, through each level of the design process, to the day-to-day maintenance practices of the installed materials, conservation of limited water resources is a primary focus. At maturity, the landscaping for the “MVF” project will sustain a strong, clean, simple design element, demonstrating the “MVF” commitment to the creation of a sustainable environment.

The landscape program will incorporate the following design elements and practices to minimize the use of limited water resources:

Project Design:

- Design project so that pads, streets and other paved areas drain to landscape areas, medians and parkways.
- Maximize water harvesting, detention and treatment techniques throughout the project.
- Direct rooftop and parking area runoff to bio-swales, basins or landscaped areas.

Landscape Design:

- Develop watershed areas for the project areas in order to manage water harvesting and distribution.
- Calculate estimated runoff from roofs and paved areas to manage water harvesting and detention practices.
- Conduct site-specific analyses of seasonal weather patterns, rain patterns, soils and drainage, grades and slopes, macro and micro climates, solar exposure, prevailing wind conditions, historical evapotranspiration rates and weather station (CIMIS) data.
- Design to meet peak moisture demand of all plant materials within design zones and avoid flow rates that exceed infiltration rate of soil.
- Maximize the use of drought tolerant plant species.

- Select plant palettes tolerant of periodic inundation from storm water runoff.
- Calculate optimum spacing of plants to avoid overcrowding and need for excessive irrigation.

Construction:

- Grade all planting areas to control high intensity rainfall and runoff episodes. Provide riprap at downspouts; create multiple watersheds to disperse water flow. Use surface mulch and straw wattles.
- Provide soil amendment to plant pits based on soil laboratory test results and landscape species;
- Employ a pre-hydration program prior to planting installation to reflect climate and soil conditions.
- Cover all planting areas with a combination of organic and inorganic mulches to be used along with pre-emergent herbicide treatment to control weed growth and soil erosion.
- Install soil moisture sensors in strategic planting zones.
- Require certification that the irrigation system was installed and operates as designed, and conduct a post-installation audit of actual water consumption.
- Provide for supplemental irrigation on an as-needed basis, such as supply lines and valves, quick-connect couplers or water truck service.

Maintenance:

- Establish maintenance guidelines to specify actions to replace dead plants, replenish surface mulch, and remove trash and weeds.
- Regularly monitor all landscaped areas and make adjustments as necessary to assure the health of planted materials and progress toward meeting the project's landscape goals.

Where irrigation is provided:

- Planting zones will be coordinated according to plant type, climatic exposure, soil condition and slope to facilitate use of zoned irrigation systems using reclaimed water systems if available and practical.
- Use best available irrigation technology to maximize efficient use of water, including moisture sensors, multi-program electronic timers, rain shutoff devices, remote control valves, drip systems, backflow preventers, pressure reducing valves and precipitation-rated sprinkler heads,
- Gate valves will isolate and shut down mainline breaks,
- Design irrigation systems to prevent discharge onto non-landscaped areas or adjacent properties,
- Restrict irrigation cycles to operate at night when wind, evaporation and activity are at a minimum.

Coverage:

At installation, plant size, density and spacing shall be as specified in approved landscape plans per Title 9 of the City Municipal Code.

All landscape plans shall be reviewed by Eastern Municipal Water District and the City of Moreno Valley.

4.2.3 Streetscapes

Landscaping along public streets is designed to provide a uniform appearance along street frontages, to reinforce the street hierarchy, and to establish identities of place, particularly at intersections within “MVF.”

Implementation of the street landscaping will be executed by the developer during the initial stages of development. Trees will be planted along all existing streets within The “MVF” project boundaries, where they do not currently exist. In addition, landscape guidelines have been provided for those streets adjacent to the project’s boundaries that will require improvements associated with the development. Low growing plant materials will be added for year-round color and textural interest. Mounded turf and landscaped berms will be used where appropriate to screen undesirable views, such as parking lots.

The design guidelines in this section identify landscape themes for the following streets:

- Hemlock Avenue
- Davis Street
- Heacock Street
- Ironwood Avenue

Most of the Hemlock Avenue and Heacock Street landscape themes already exist in place; the intent of the guidelines is maintain the general overall approach for the existing themes. Locations of illustrative street sections are indicated on the Landscape Concept Plan **Figure 4-2 and Figures 4-4 thru 4-22** for individual plans and sections.

4.2.3.1 General Design Criteria

All landscape design and maintenance within the “MVF” shall comply with the Landscape and Water Efficiency Requirements contained in the Municipal Code and these guidelines, whichever imposes a higher design or performance standard.

1. Trees are required along all street frontages. Trees shall be planted in a single row at spacing of 40 feet on center (Municipal Code Ord. 786 § 2, 2009), according to the criteria for streetscapes given in the following sections.
2. All street trees within street right of way, unless otherwise noted, are to be 24” box size, with a minimum of 8 feet of brown trunk measured from finish grade. Trees in other areas shall be 15 gallon minimum in size but 25% shall be minimum 24” box.
3. Landscaping berms along street frontages may be utilized. Maximum slopes may not exceed 2:1. City maintained areas shall not exceed 3:1.
4. Shrubs along street frontages are to be utilized where possible. (Minimum size at installation is 1 gallon.)

4.2.4 Special Edge Treatment Areas

There are six discrete edge treatment plans in and around the project. The areas are indicated below:

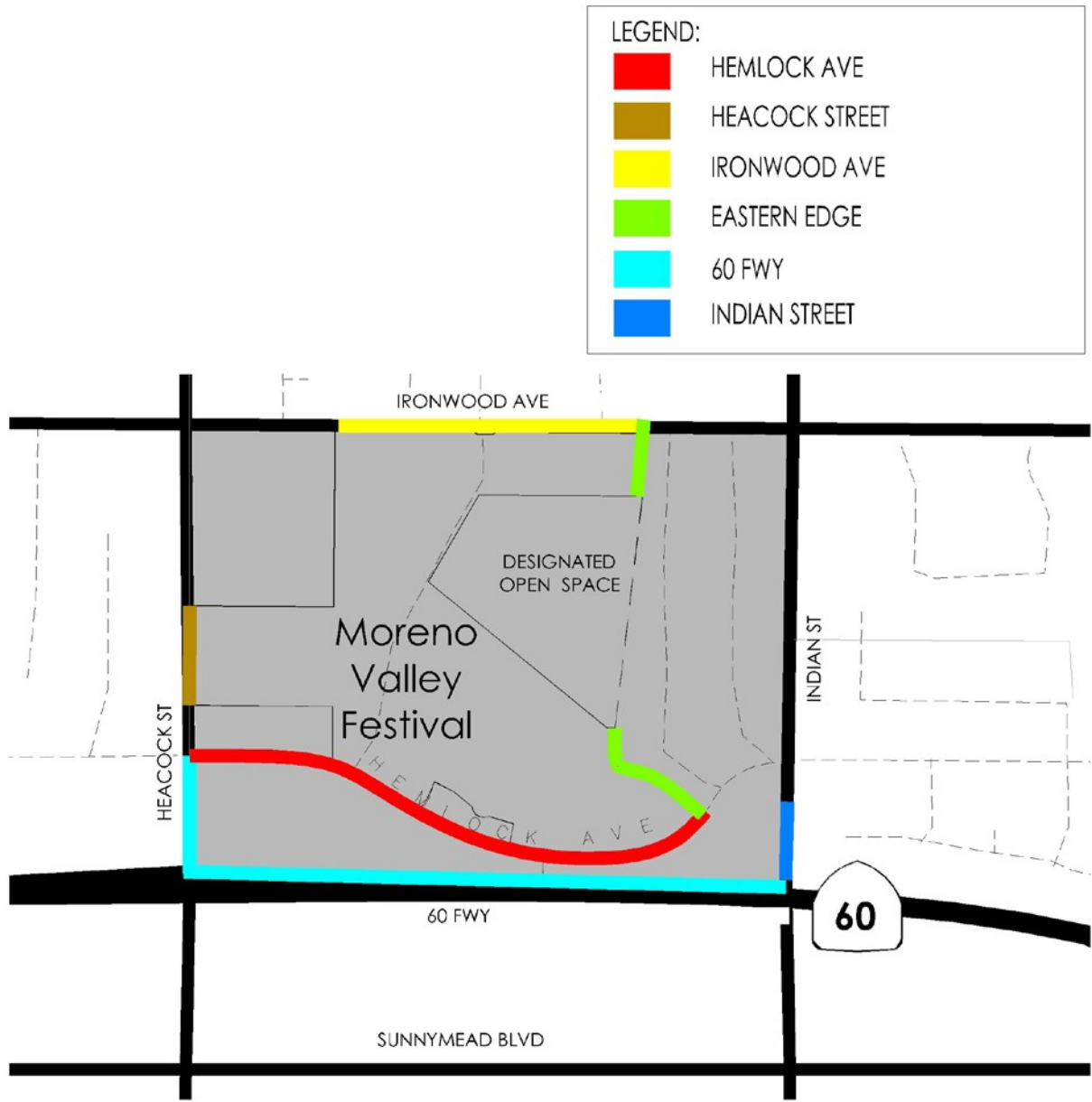


Figure 4-1 Specific Edge Treatment Areas Design Criteria

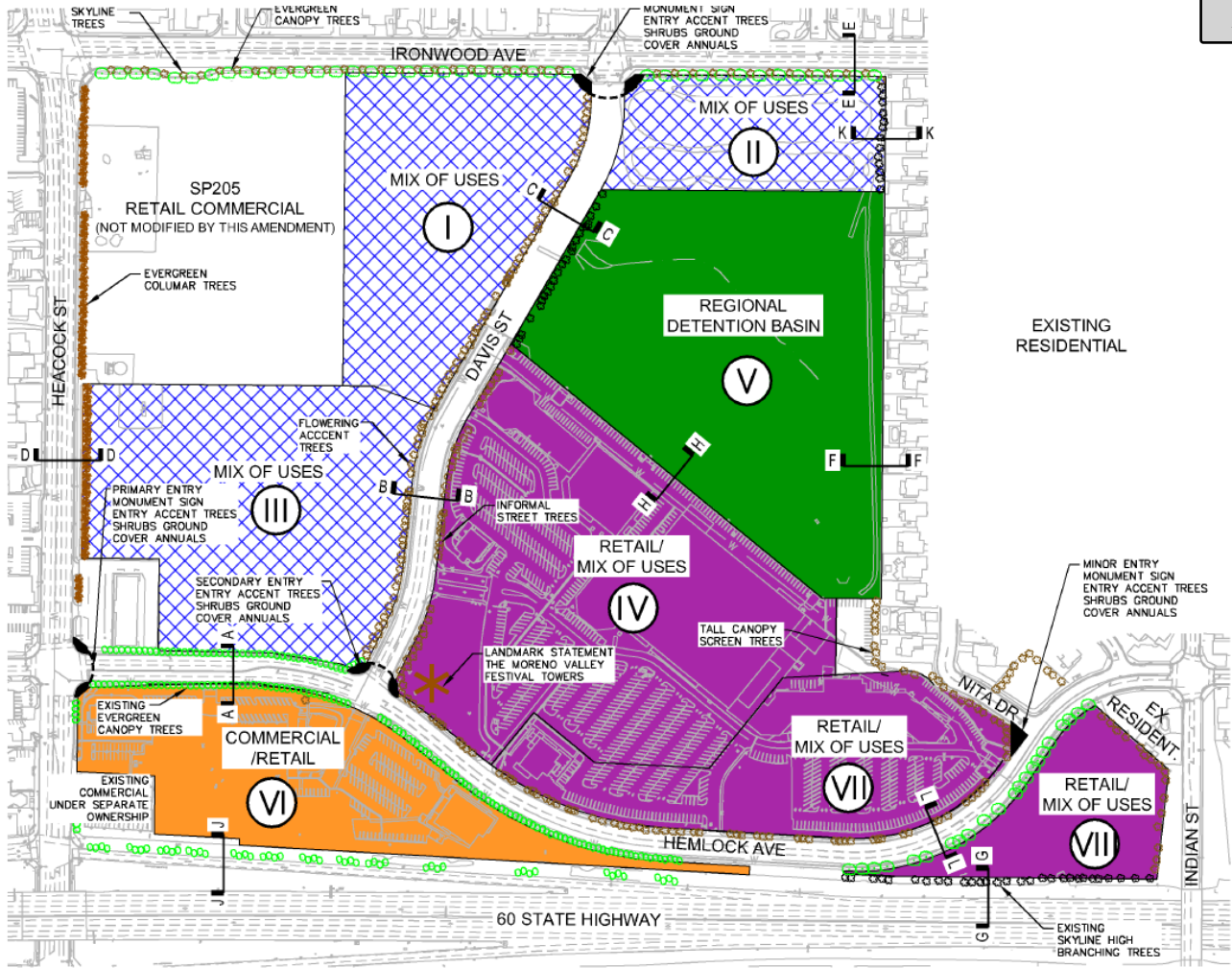


Figure 4-2 Special Edge Treatment Map (key map for following exhibits)

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

EVERGREEN COLUMNAR TREES

	PINUS CANARIENSIS TRISTANIA CONFERTA	CANARY ISLAND PINE BRISBANE BOX
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EVERGREEN CANOPY TREES


	RHUS LANCEA SCHINUS MOLLE QUERCUS ILEX	AFRICAN SUMAC CALIFORNIA PEPPER HOLLY OAK
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STREET TREES

 THE FOLLOWING TREES ARE BEING PROPOSED FOR EACH INDIVIDUAL STREET. ALL TREES SHALL BE SPACED AT 30'-0" O.C. 15 GAL. & 24" BOX SIZES

* HEMLOCK AVENUE KOELREUTERIA PANICULATA	GOLDEN RAIN TREE
* HEACOCK STREET PINUS CANARIENSIS	CANARY ISLAND PINE
* IRONWOOD AVENUE PLATANUS ACERIFOLIA	LONDON PLANE TREE
* DAVIS STREET TRISTANIA CONFERTA JACARANDA MIMOSIFOLIA	BRISBANE BOX JACARANDA TREE
* INDIAN STREET MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA

ENTRY ACCENT TREES

	BAUHINIA VARIEGATA CERCIDIUM 'DESERT MUSEUM' WASHINGTONIA ROBUSTA LAGERSTROEMIA INDICA	PURPLE ORCHID TREE PALO VERDE TREE MEXICAN FAN PALM CRAPE MYRTLE
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FLOWERING ACCENT TREES

	CERCIS OCCIDENTALIS RHAPHIOLEPIS 'MAJESTIC BEAUTY' - STANDARD TRUNK LAGERSTROEMIA INDICA ACACIA BAILEYANA	WESTERN REDBUD INDIAN HAWTHORN CRAPE MYRTLE BAILEY ACACIA
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SKYLINE TREES

	PINUS HALEPENSIS GLEDITSIA TRIACANTHOS TRISTANIA CONFERTA	ALEPPO PINE HONEY LOCUST BRISBANE BOX
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LARGE SCALE TREES

	ALBIZIA JULIBRISSIN JACARANDA MIMOSIFOLIA PINUS HALEPENSIS SCHINUS MOLLE QUERCUS ILEX PLATANUS RACEMOSA	MIMOSA JACARANDA ALEPPO PINE CALIFORNIA PEPPER HOLLY OAK CALIFORNIA SYCAMORE
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Figure 4-3 Plant Legend used in Figure 4-2 and exhibits

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

4.2.4.1 Hemlock Avenue Edge

The landscape concept for Hemlock Avenue, between Heacock Street and Davis Street, will serve to reinforce its role as the primary entryway to the “MVF.” Due to Hemlock Avenue's proximity to Highway 60, it will make available the most direct access for regional users.

A well-defined street tree pattern has been selected for Hemlock Avenue to identify it as the primary entryway. Large, evergreen canopy trees will be planted in a single row on both sides of Hemlock Avenue within the public street right-of-way. The dense tree canopies will frame the entry and provide consistent form and color throughout the year. This will be reinforced by a formal planting of flowering shrubs. A Crape Myrtle accent tree will be introduced for added color.

The following landscape design guidelines are developed for Hemlock Avenue, between Heacock Street and Davis Street:

Street Parkway Planting

- Trees will be planted on each side of the street within the 12 foot parkway.
- All trees shall be planted at least 10 feet from sidewalks and driveways.
- A minimum of 25 feet shall be allowed from any street intersection or street lighting standard, and shall defer to line of sight requirements for distance from intersection per Public Works Standard No. 125 and 126). (Ord. 786 § 2, 2009).
- A 5 foot wide sidewalk will be contiguous with the curb on both sides of the street.
- The remaining 27 feet will feature drought-tolerant groundcovers followed by a formal, double row of shrubs.

When viewed from Hemlock Avenue, the retail center will have updated facades that will complement enhance this retail part of Hemlock Ave. Most of the existing landscape is slated to remain intact and monument signage will be added at the entry to the retail center.

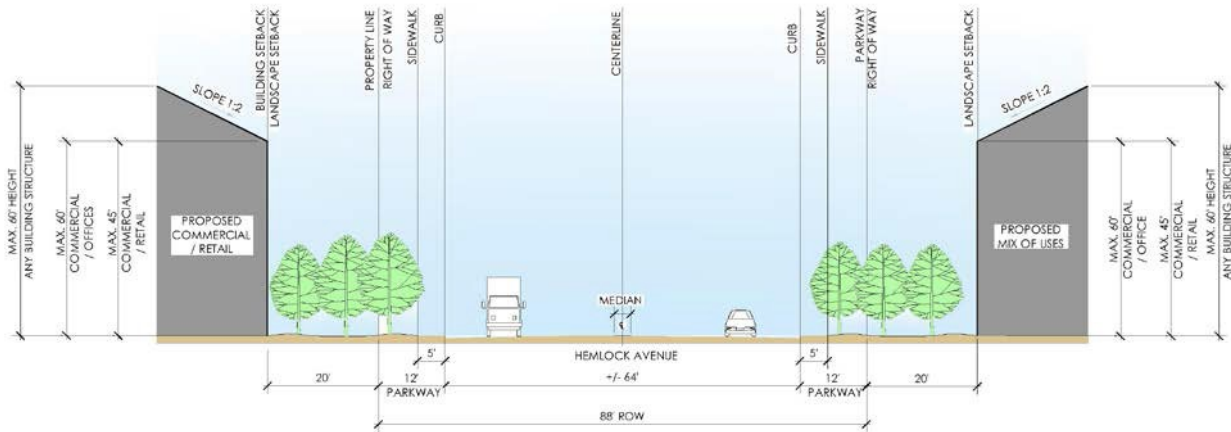


Figure 4-4 Hemlock Avenue Section A

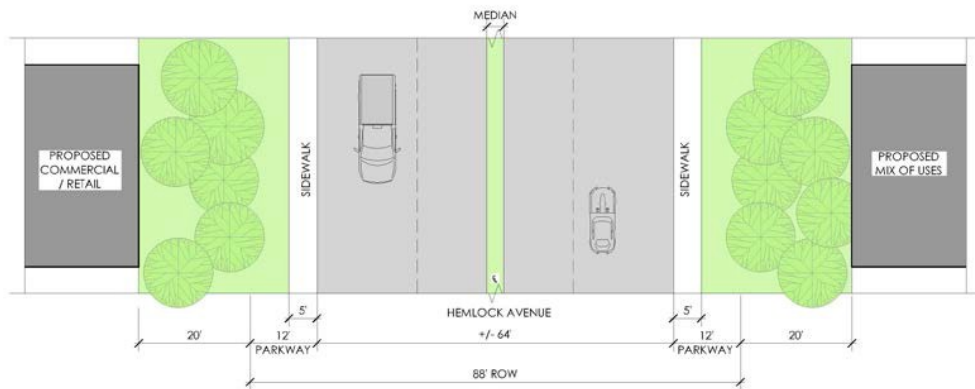


Figure 4-5 Hemlock Avenue Plan A

4.2.4.2 Davis Street and Hemlock Avenue Edge

Davis Street and Hemlock Avenue are the project's two interior streets and will share the same landscape theme. Informal tree groupings will define the roadways while allowing for critical views into individual projects. Round canopy trees combined with high branching trees shall be strategically placed in order to maintain view corridors. Bermed drought-tolerant groundcovers will be used wherever possible in combination with an informal shrub hedge to screen out views of parking lots. The following landscape design guidelines have been developed for Davis Street and Hemlock Avenue between Davis Street and Indian Ave.

Street Parkway Planting

- A combination of informal street trees and small accent trees will be planted within the 11 foot parkway and 15 foot landscape setback (20 Foot building set back shall be provided for industrial use). A flowering tree species will serve as an accent along Hemlock Avenue and Davis Street. Trees shall be planted in a random pattern at a minimum spacing of 20 feet on center.
- All trees shall be planted at least 10 feet from sidewalks and driveways, and a minimum of 25 feet from any street intersection. Landscape shall defer to line of sight requirements for distance from intersection per Public Works Standard No. 125 and 126). (Ord. 786 § 2, 2009).
- A 5 foot wide sidewalk will be contiguous with the curb on both sides of the streets.
- A curvilinear band of drought-tolerant groundcover will occur adjacent to the sidewalk, followed by low, informal shrub masses.

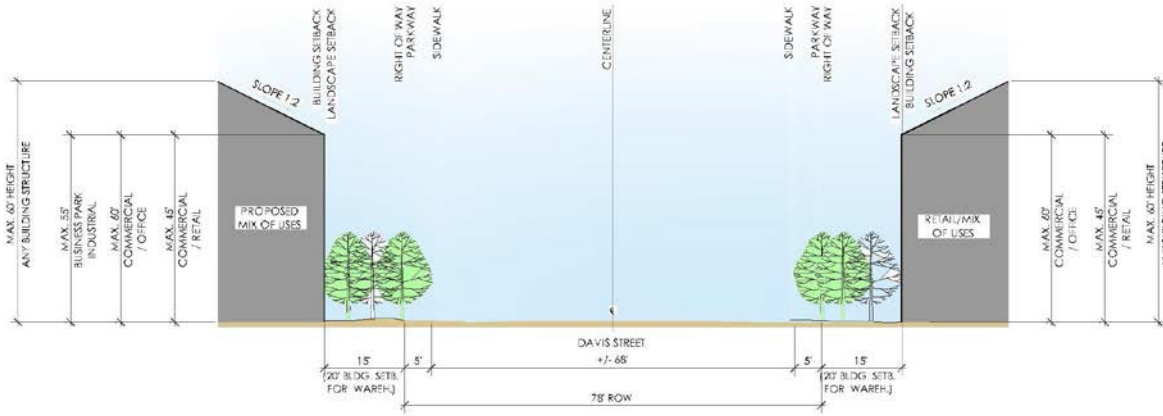


Figure 4-6 Hemlock Avenue and Davis Street Section B

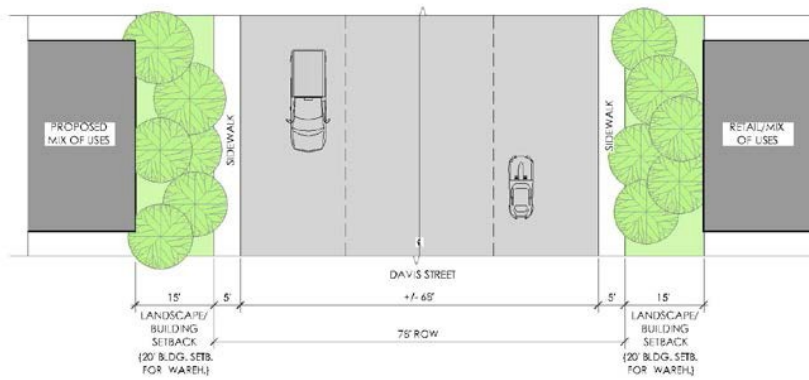


Figure 4-7 Hemlock Avenue and Davis Street Plan B

A deviation from the previously described landscape concept will occur where Davis Street parallels the western boundary of the **detention basin**. Along this edge, the landscape setback will be reduced to 5 feet. The sidewalk will be contiguous with the curb, and the same tree types will be featured. Informal shrub masses will also be used to define the groundcover edge and serve as a transition between the groundcover areas and slope planting.

Refer to Figure 4-8 and Figure 4-9

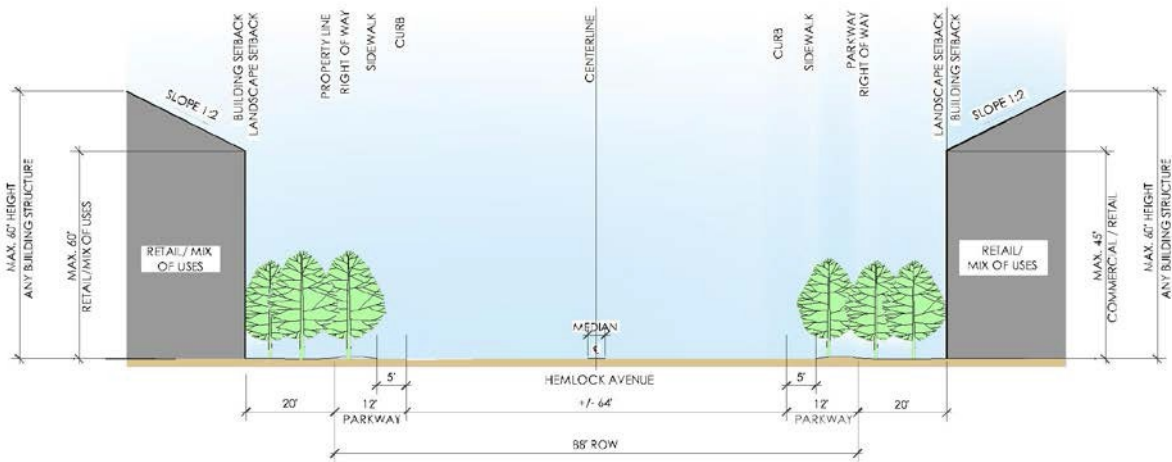


Figure 4-8 Hemlock Avenue at Institutional Section L

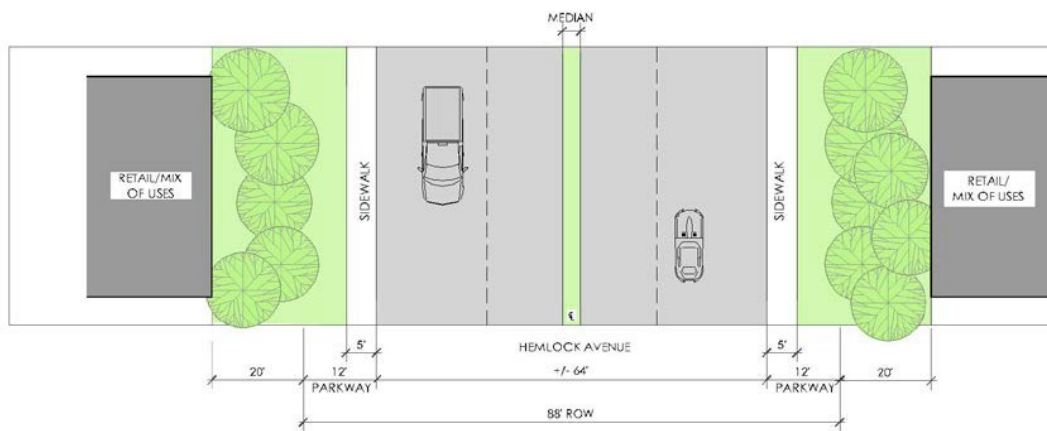


Figure 4-9 Hemlock Avenue at Institutional Plan L

4.2.4.3 Heacock Street Edge (at Mix of Uses area)

Heacock Street forms the western boundary of the project site and is a major arterial leading from the State Highway into the City's commercial district. The landscape theme will be formal to emphasize this important entry to the business community. Large trees will be planted in a single row with drought-tolerant groundcover below. Berming, in combination with a formal shrub mass, will be used to screen out views of parking lots.

Street Parkway Planting

- Trees will be planted on the east side of the street within the 10 foot parkway, and will be planted in a single row at a spacing of 40 feet on center.
- A 5 foot wide contiguous sidewalk will parallel the street right-of-way. The remaining 20 feet will feature bermed drought-tolerant groundcovers followed by a double row of shrubs.
- Slopes must not exceed a 4:1 slope ratio within the City right-of-way, and shall not exceed a 3:1 slope ratio within the landscape setback, per Moreno Valley Public Works Landscape Design Guidelines.

4.2.4.4 Heacock Street Edge

When viewed from Heacock Avenue, the existing retail component is set back from the property line per the prescribed Moreno Valley standards. A combination of the existing landscape buffer and the new landscape on the east side of the street, where the special edge treatment is required (See figure 4-1) to complement the existing use for this traffic corridor.

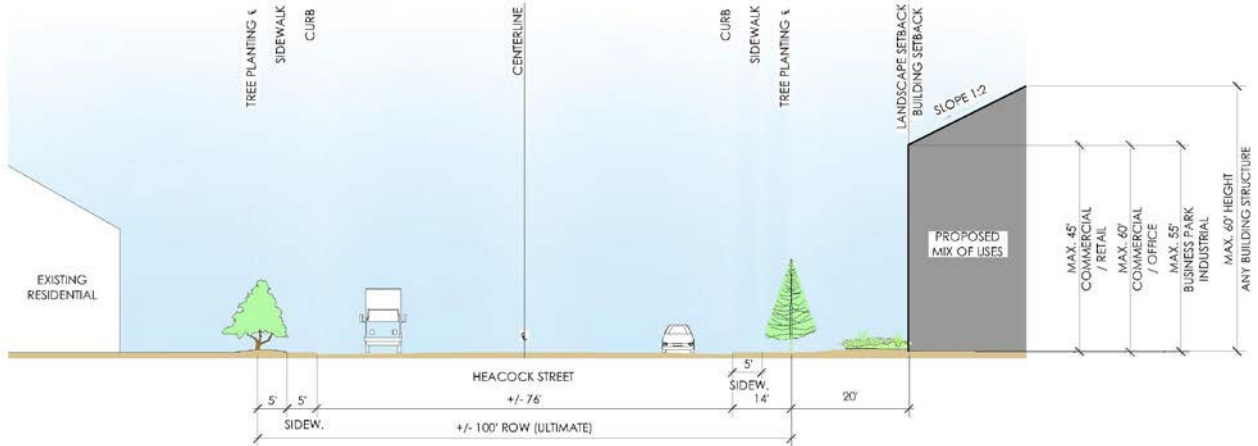


Figure 4-10 Heacock Street Section D

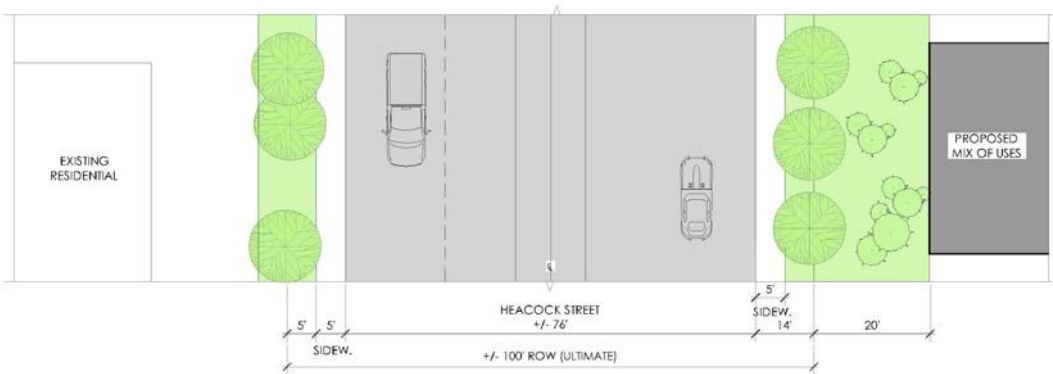


Figure 4-11 Heacock Street Plan D

4.2.4.5 Ironwood Avenue Edge

Ironwood Avenue forms the northern boundary of the development and will create access for residents in neighborhoods surrounding the project site. Landscaping will be designed to provide an aesthetic buffer between adjacent residential uses and commercial development. A landscape setback will feature an informal tree pattern and drought-tolerant groundcovers, bordered by low shrub masses. Tall canopy and skyline trees will be combined to form a buffer along the street frontage. Emergency access, landscaping, drainage facilities, and property maintenance access are permitted in this area. The following landscape design guidelines have been developed for Ironwood Avenue:

Street Parkway Planting

- The south side of the street will feature a 13 foot parkway with a 20 foot landscape setback. A single row of trees will be planted 5 feet from the back of walk at a spacing of 35 feet on center. Trees shall be a minimum 24-inch box size, and when planted, shall have a minimum of 8 feet of brown trunk measured from finish grade.
- All trees, other than street trees, shall be a minimum of 15 gallon size.
- Trees will be planted within the remaining 33 feet of landscaped area, where grade permits. Trees shall be planted at a minimum spacing of 20 feet on center.
- Screening trees will be added within the parkway in key areas.
- All trees shall be planted at least 10 feet from sidewalks and driveways, and 25 feet from any street intersection or street lighting standard. Plants and shrubs within the intersection sight distance cannot exceed 30" above the top of curb, per Moreno Valley Public Works Department Section 1 Street Improvements, Standard Design Guidelines on sight distance.
- A 5 foot wide sidewalk contiguous with the curb will parallel the street right-of-way.
- A curvilinear band of drought-tolerant groundcover will occur adjacent to the sidewalk, where grade permits, followed by a low, informal shrub mass.
- A slope will occur within the setback if necessary, but shall not exceed a 3:1 ratio and shall be more gradual where possible. Slopes will be planted with drought-tolerant shrubs and groundcovers. The requirements shall meet Moreno Valley public works landscape design guidelines.

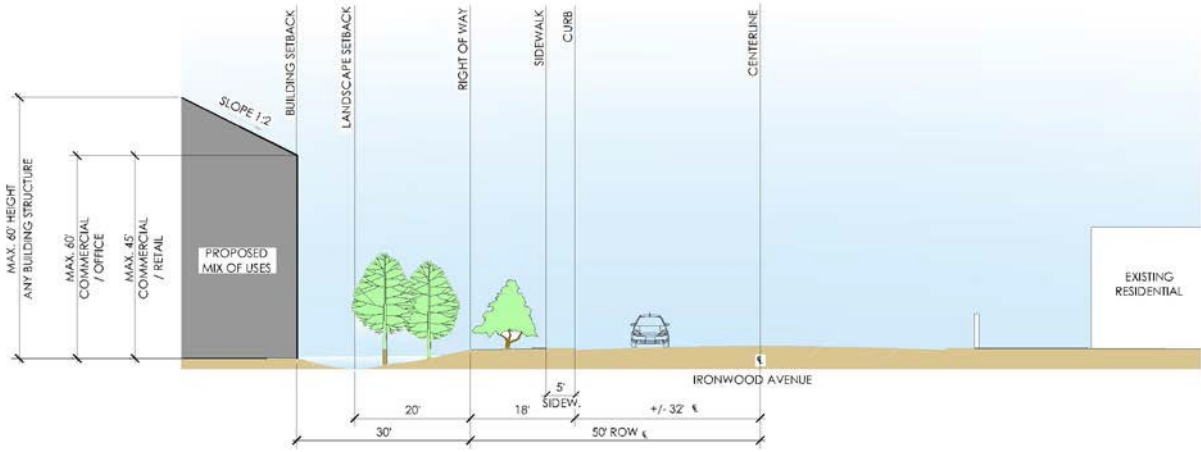


Figure 4-12 Ironwood Avenue Section E

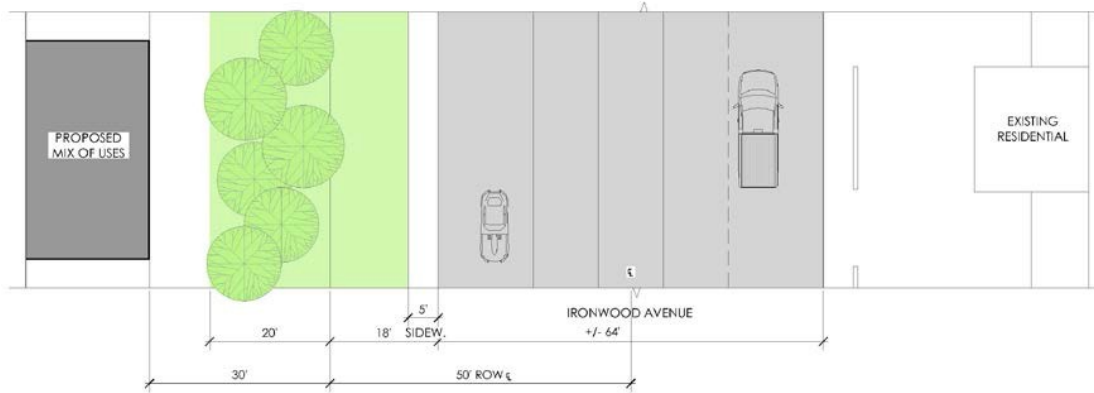


Figure 4-13 Ironwood Avenue Plan E

4.2.4.4 Detention Basin Edge

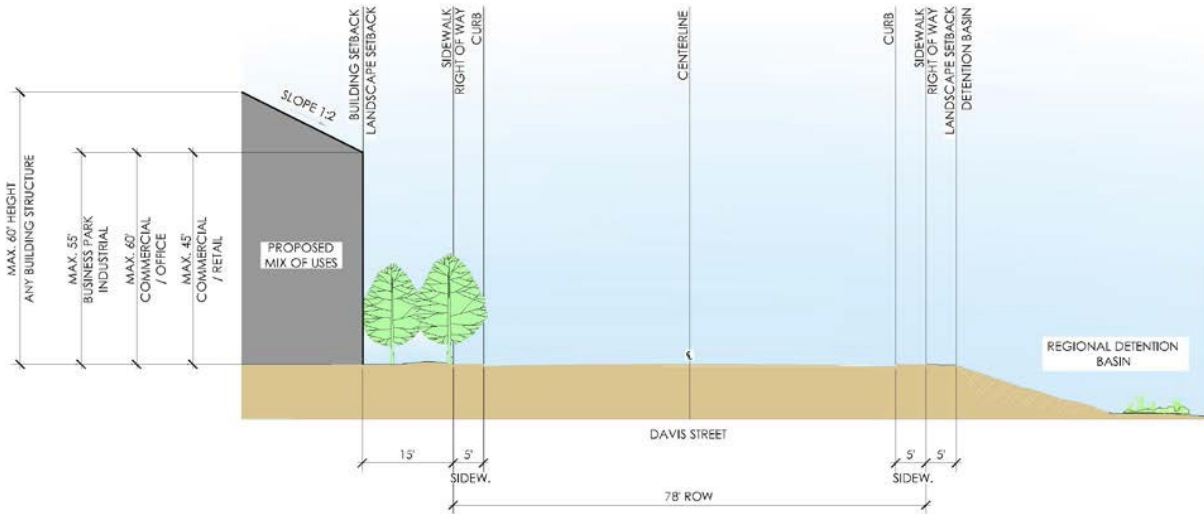


Figure 4-14 Davis Street Section C (at detention basin)

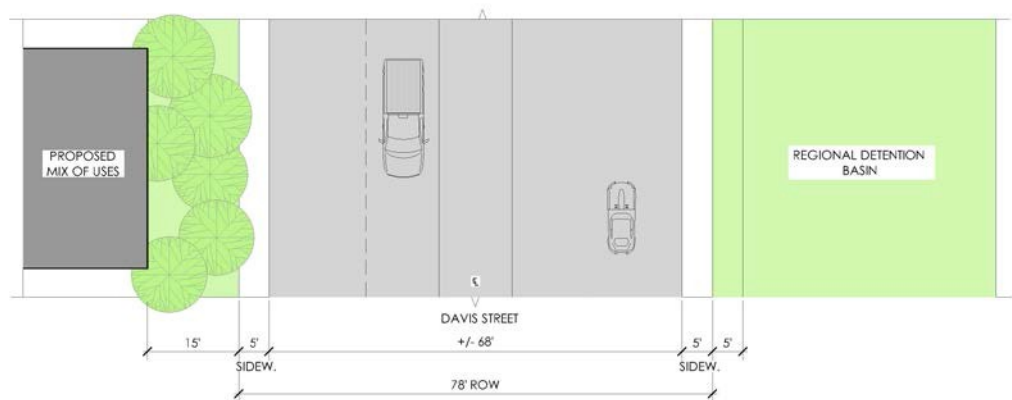


Figure 4-15 Davis Street Plan C (at detention basin)

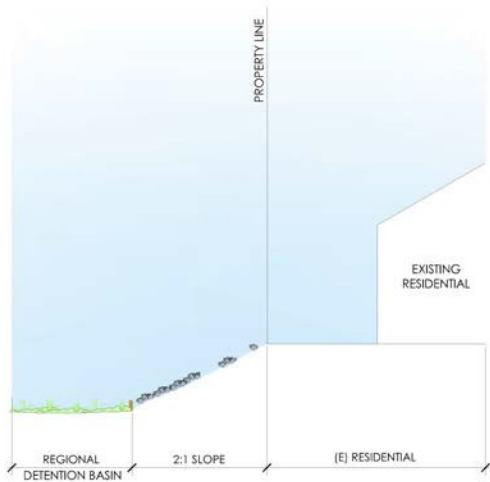


Figure 4-16A Detention Basin Section F



Figure 4-16B Detention Basin Plan F

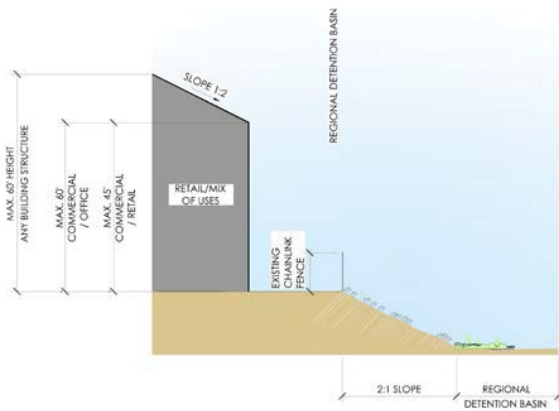


Figure 4-17A Detention Basin Section H

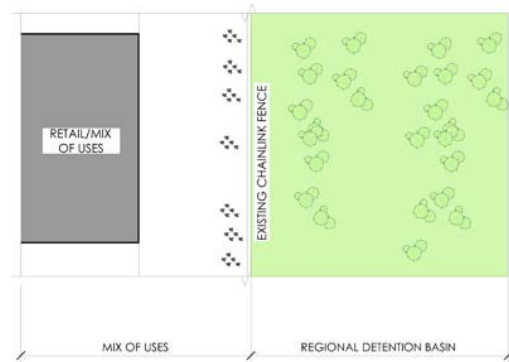


Figure 4-17B Detention Basin Plan H

Slope planting

Drought-tolerant groundcovers, shrubs and grasses will be planted on the slopes for erosion control and to be consistent with the overall planting design.

60 State Highway Edge

When viewed from State Highway 60, there is existing retail and restaurants and the proposed option for a retail automotive component will be set back from the property line per the prescribed Moreno Valley standards. A combination of the existing landscape buffer and the proposed layout for the project will fit in and complement the existing use for this traffic corridor.

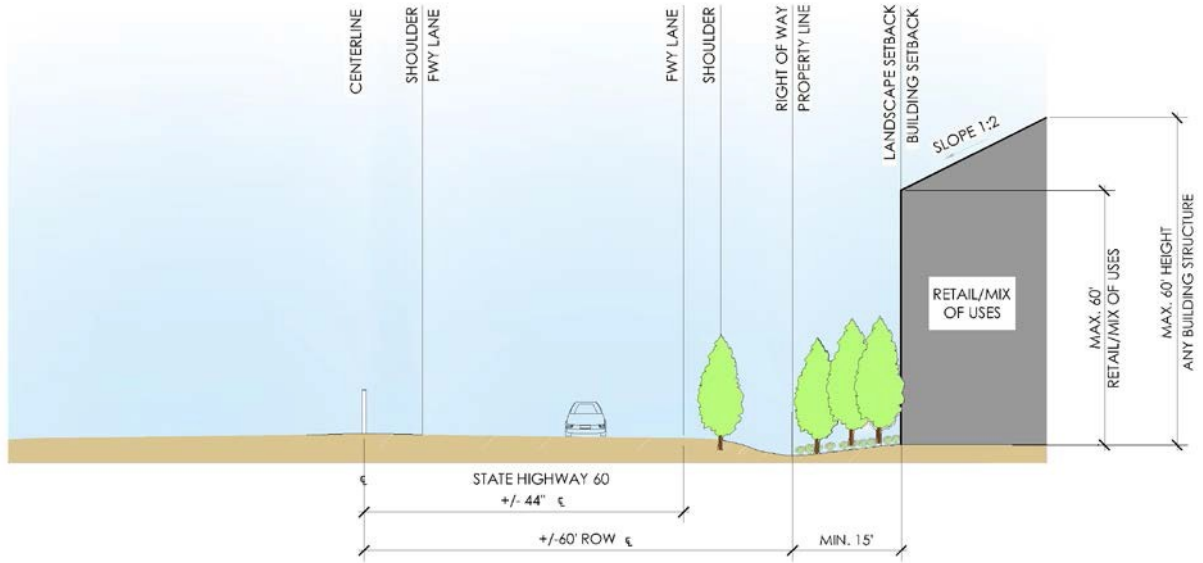


Figure 4-18 State Highway 60 Edge Section G

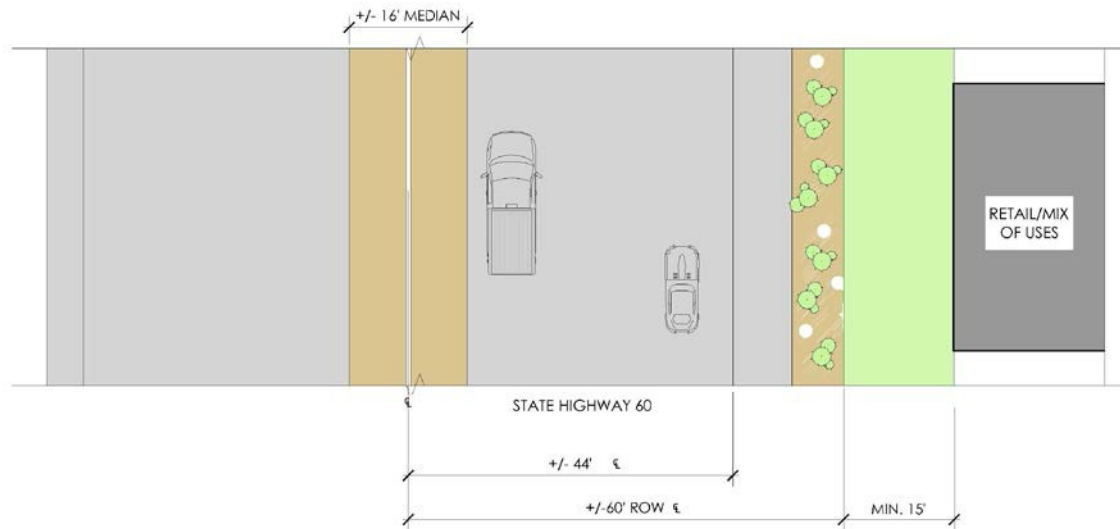


Figure 4-19 State Highway 60 Edge Plan G

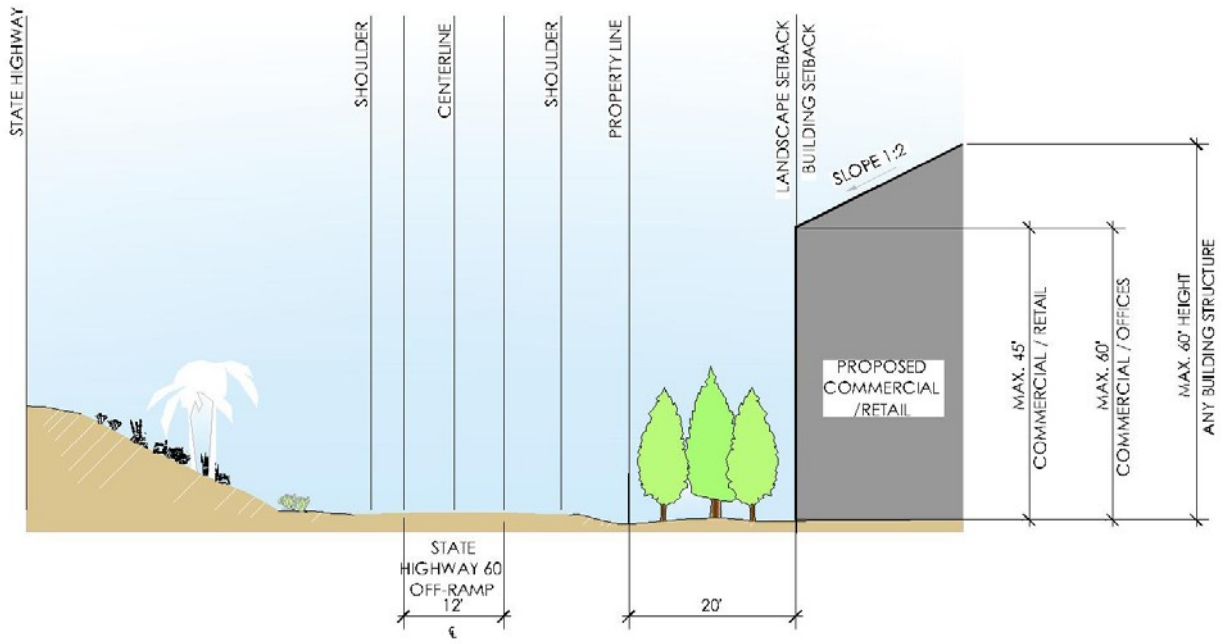


Figure 4-20 State Highway Off-ramp 60 Edge Section J

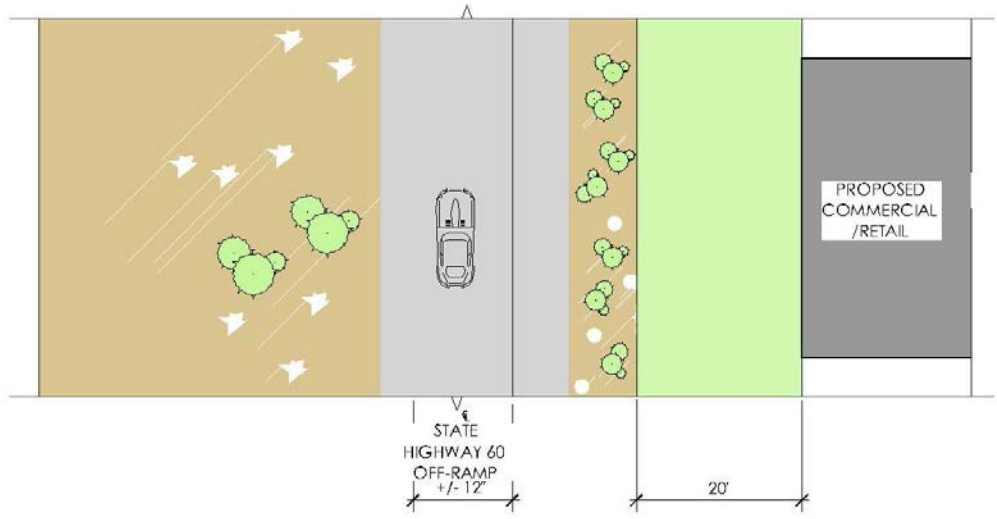


Figure 4-21 State Highway Off-ramp 60 Edge Plan J

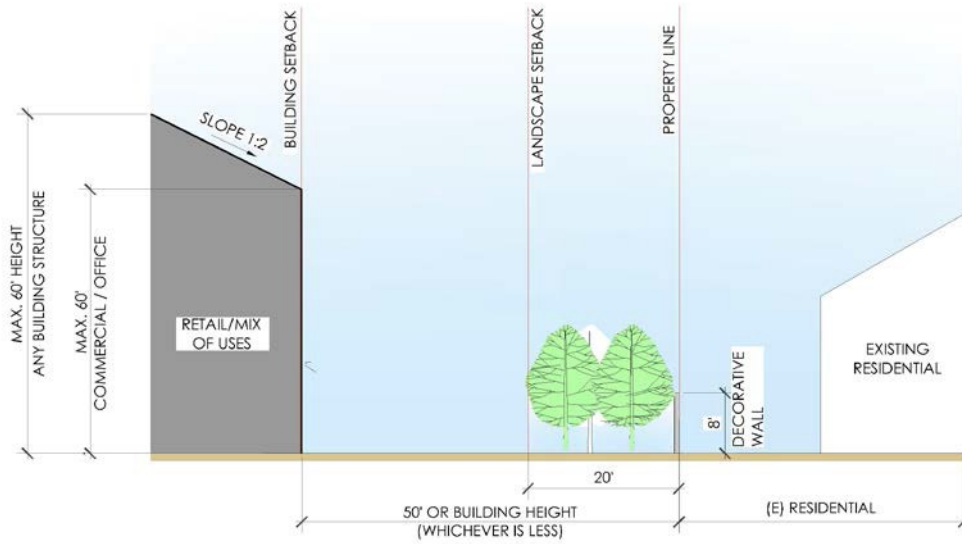


Figure 4-22 Eastern Edge - Section K

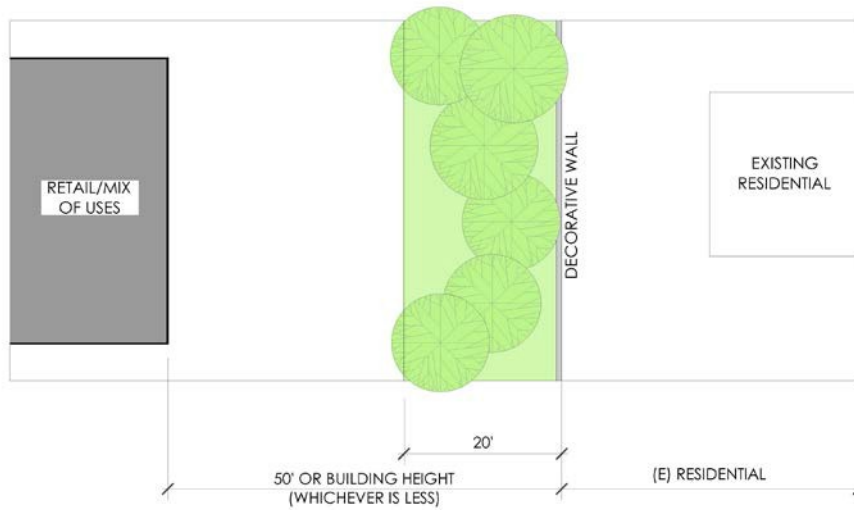


Figure 4-23 Eastern Edge - Plan K

4.2.5 Screening Criteria for Interior Roadways

All roadways interior to the Mix of Uses shall be lined with sidewalks, landscaping, and setbacks from the street as prescribed by the City of Moreno Valley planning standards and elaborated in this specific plan.

4.2.6 Entry Theme

Entrances to the "MVF" shall be enhanced with landscaping, project monument signage and hardscape features. The landscape design will utilize plant materials and planting techniques that require a low to moderate amount of maintenance. The plant palette for the entries is composed of landscape materials with characteristics that accent year-round attractiveness and seasonal interest.

The landscape concept for The "MVF" shall be introduced through the entry treatments. Medium accent trees combined with low evergreen and flowering accent shrubs will be incorporated consistently throughout the project entries. The foreground will feature a combination of ground cover and annual color.

The entry signage and elements shall be visually clear to vehicular and pedestrian users, and shall allow the use of digital signage subject that it meets the City of Moreno's requirements.

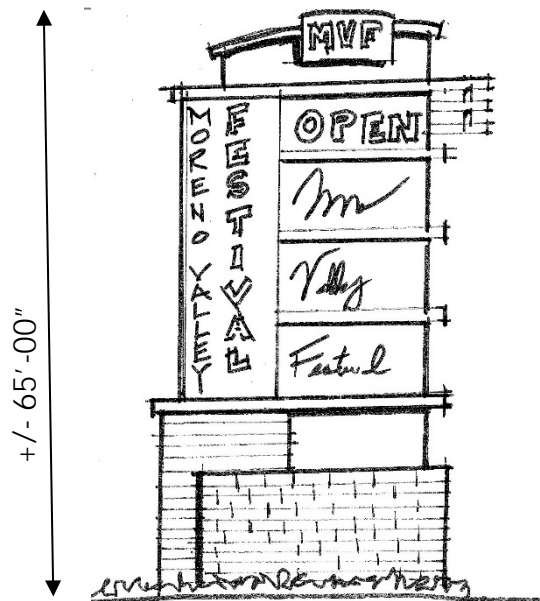


Figure 4-24 Entry Concept

Primary Entry - Heacock Street & Hemlock Avenue

The primary entry statement will be located at the Heacock Street/Hemlock Avenue intersection. The following design elements will be included on the southeast corner:

- A project monument sign constructed of concrete with a sandblasted finish.

- Signage will incorporate the project's name, logo and "festival" theme flags.
- Planting will consist of drought-tolerant shrubs, groundcovers and trees designed to be consistent with the overall theme of the project.
- An 8 foot wide sidewalk will be contiguous at the street corners. Accent lighting will be provided to illuminate the wall and landscaping.

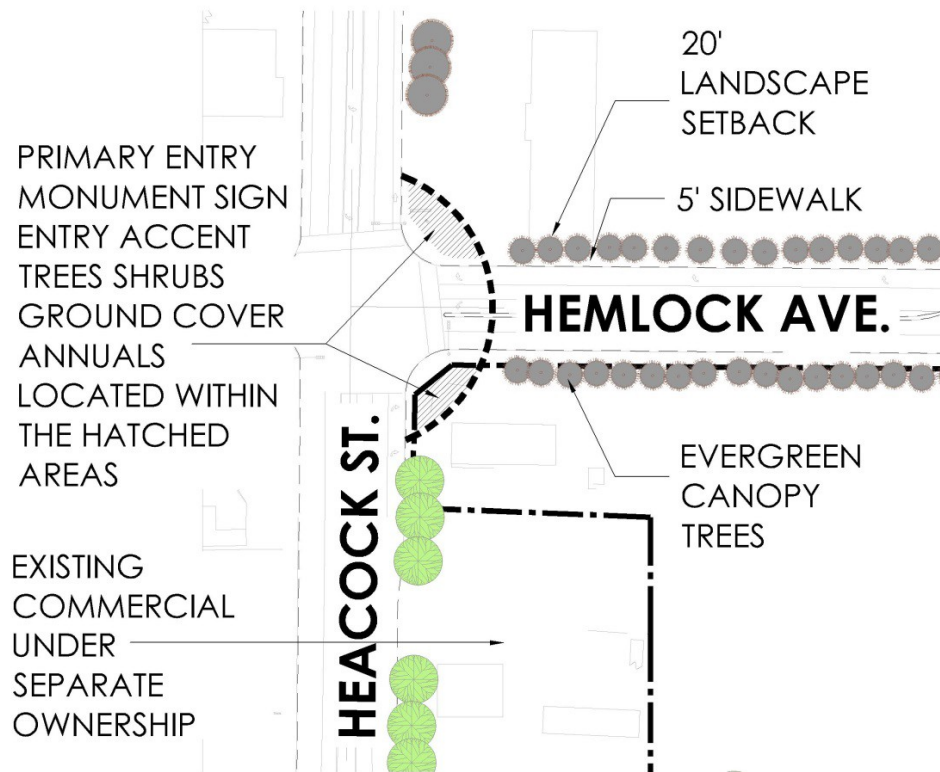


Figure 4-25 Entry Plan

Secondary Entry - Hemlock Avenue & Davis Street

The project's secondary entry statement will be located on the northwest and northeast corners of the Hemlock Avenue/Davis Street intersection. The entry will be designed to create a sense of arrival and serve as a landmark for the development. The design for the intersection's corners will follow the same guidelines as described for the Heacock Street/Hemlock Avenue entry with the following exceptions:

- The project monument sign will be located on the northeast corner in combination with two architectural towers.
- Evergreen accent trees will be planted behind the monument wall.

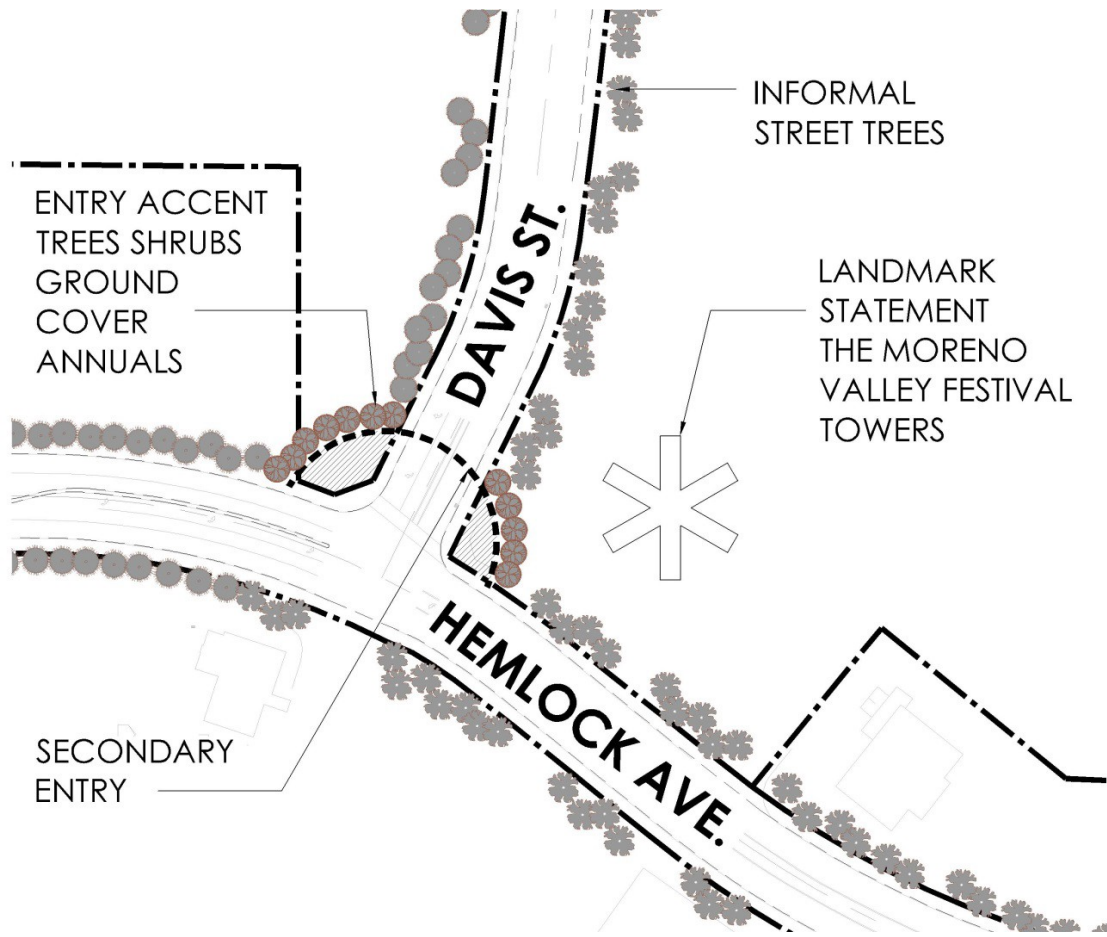


Figure 4-26 Secondary Entry Plan



Figure 4-27 Tower Element

Tower Element

- The architectural towers will serve as a "landmark" and incorporate the following details:
 - *Brick/Stone masonry tapered bases*
 - *Main tower body built of metal framing with stucco finish*
 - *Hanging multi-colored banners*
 - *Metal bandings (bronze colors) accentuating tower heights and supporting flag pole*

Minor Entries - Ironwood Avenue & Davis Street

The project entries at Davis Street/Ironwood Avenue and Nita Drive & Hemlock Avenue will feature similar design elements as described for the Heacock Street/Hemlock Avenue entry.

Variations in the entry treatments for the individual corners are as follows:

Ironwood Avenue / Davis Street

- The project monument signs with complementary landscaping will be located on both the southeast and southwest corners of the intersection, per 7.1 Entry Monument Signage, and Municipal Code, Chapter 9.09.206 Monument signage.
- The plant palette will consist of drought-tolerant groundcovers and shrubs consistent with the overall project theme.
- Flowering accent trees will be planted behind the monument walls.

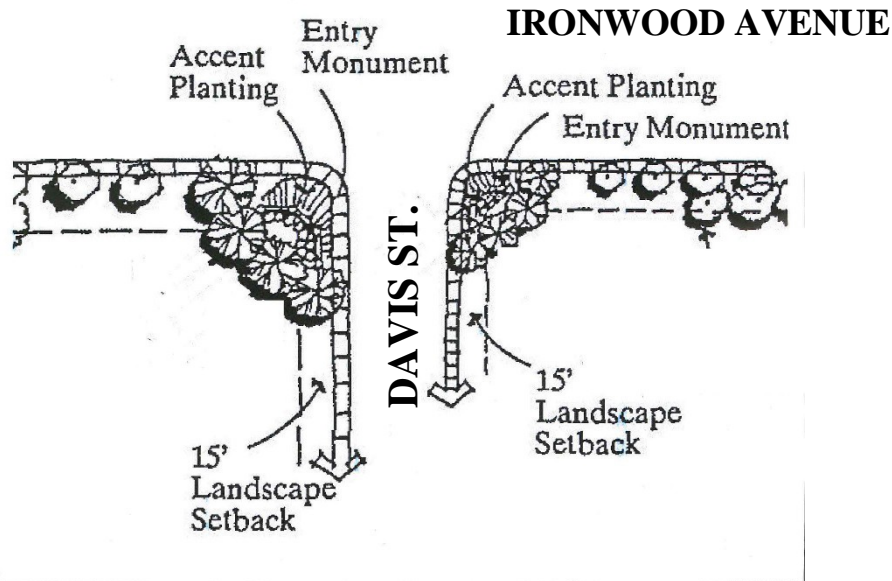


Figure 4-28 Minor Entries

Nita Drive/Hemlock Avenue

- The entry statement, located on the northwest corner, will feature a project monument sign and landscaping.
- The project monument sign will employ single concrete panel, oriented out towards the intersection.
- A plant palette consisting of drought-tolerant groundcovers and shrubs in concert with the overall project theme.
- Flowering accent trees will be planted behind the wall.

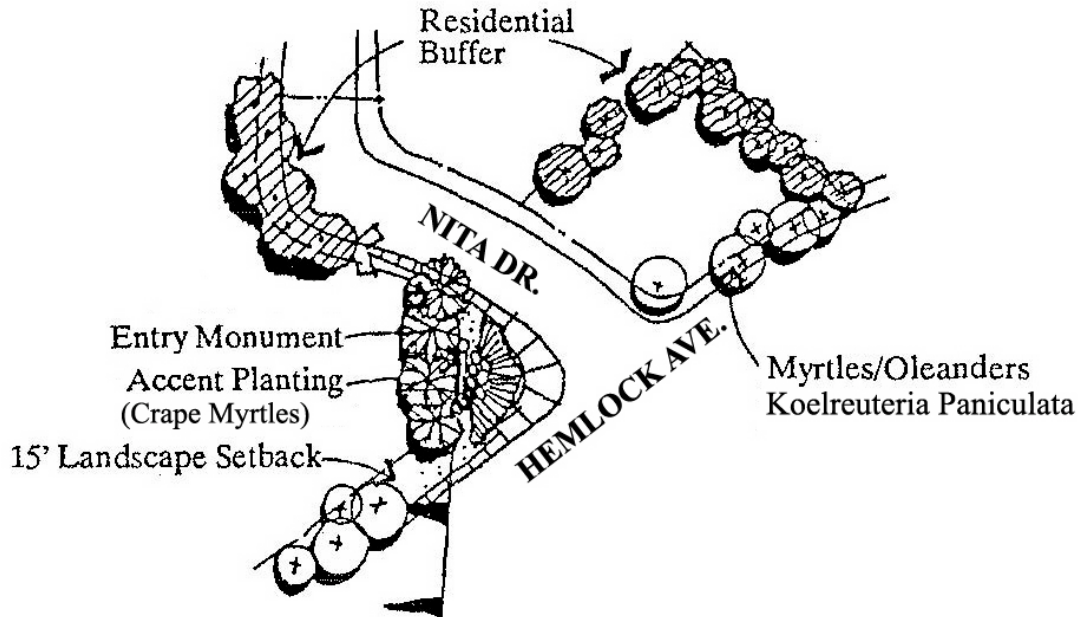


Figure 4-28 Nita Drive & Hemlock Ave

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

Buffers

A landscape buffer system is required along the eastern, southern, and northern boundaries of the project site and will be implemented by the master developer. The following guidelines identify the buffer system treatments:

When Mix of Uses, commercial, retail or business park uses are adjacent to developed residential areas, landscape buffers and WQMP basins are recommended to be present as buffers for potentially incompatible uses. Refer to sample cross section exhibits below for guidelines.

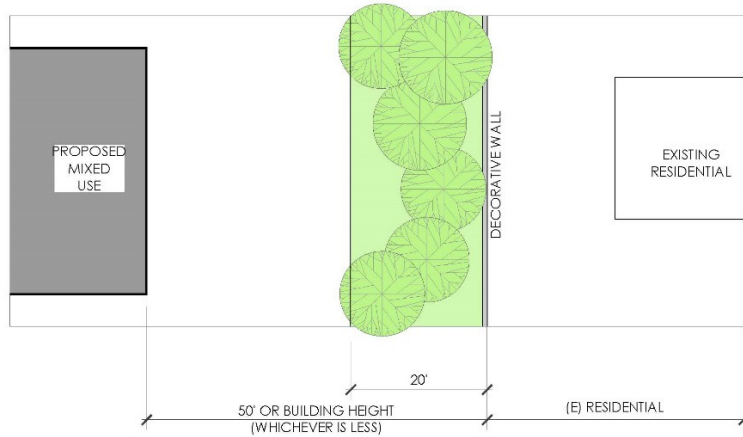


Figure 4-29 Buffers at Incompatible Residential Uses

Residential Buffer

The existing wood fence along the residential edge will be replaced with an 8-foot-high decorative wall to provide visual and acoustical buffering. This is only applicable where existing residential areas meet with the Mix of Use areas.

Detention Basin

The detention basin will be preserved as an open space, serving as a flood control facility and visual open space for adjacent residents and tenants. Implementation and final design of all landscape treatments and fencing will occur as permitted by the Riverside County Flood Control and Water Conservation District and the parks department requirements.

The basin is structured to function as a bio-detention basin, and the City will undertake actions to plant drought tolerant grasses and wildflowers to supply year-round dust control and seasonal color.

4.2.7 Off-site Maintenance

The City is responsible for the public streets (curb-to-curb), sidewalks, and trails and they will continue to be maintained by the City.

Parkways, slopes, private drainage facilities, and common areas will be maintained by property owners.

4.3 Off-site Lighting

4.3.1 Objectives

Exterior lighting is to be arranged to enhance the safety and security of motorists, pedestrians and cyclists.

- A night time character that reinforces the image of “MVF” as a quality business location created by strategic lighting.
- Lighting is an important element contributing to the identity and unity of the “MVF.”
- To reinforce identity and unity, all exterior lighting is to be consistent in height, spacing, color and type of fixture throughout the building site and compatible throughout The “MVF.”
- Street lighting on public streets shall meet the requirements of the City Standard Plans.

The master developer will be responsible for installation of light fixtures during the project's next development phase. Street lights per City standards will be installed on all public roads according to the City's recommendations where they do not already exist.

The following guidelines apply to the three types of specialty lighting provided by the master developer:

- Ground level direct burial lighting will be positioned to illuminate entry monuments.
- Landscape accent lighting will be from ground level fixtures concealed in the landscaping. Dramatic up-lighting will be created by means of this illumination for the project entries.
- Tower accent lighting will be provided in the five towers. Translucent fabric at the top of the towers will be up-lighted.

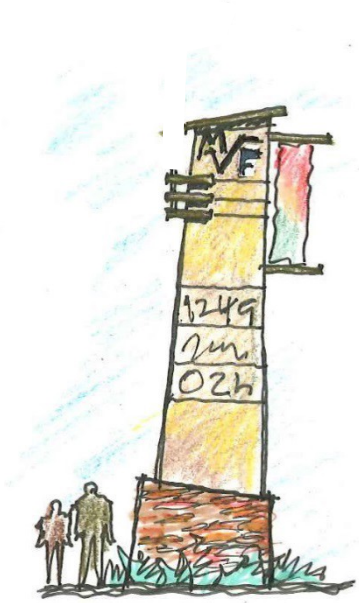
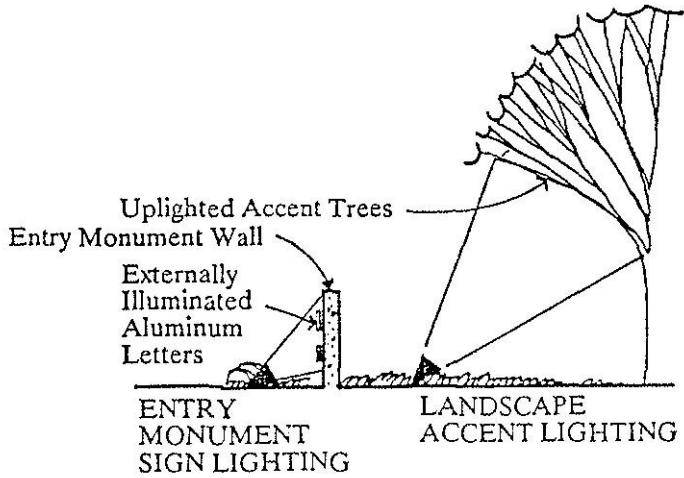


Figure 4-30 Tower, Landscape and Monument Signage

4.4 Off-site Utilities

4.4.1 Telephone, CATV and Similar Service Wires and Cables

All telephone, CATV and similar service wires and cables shall be installed underground.

4.4.2 Electrical Transmission Lines

Electrical transmission lines less than 66kV shall be installed underground.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

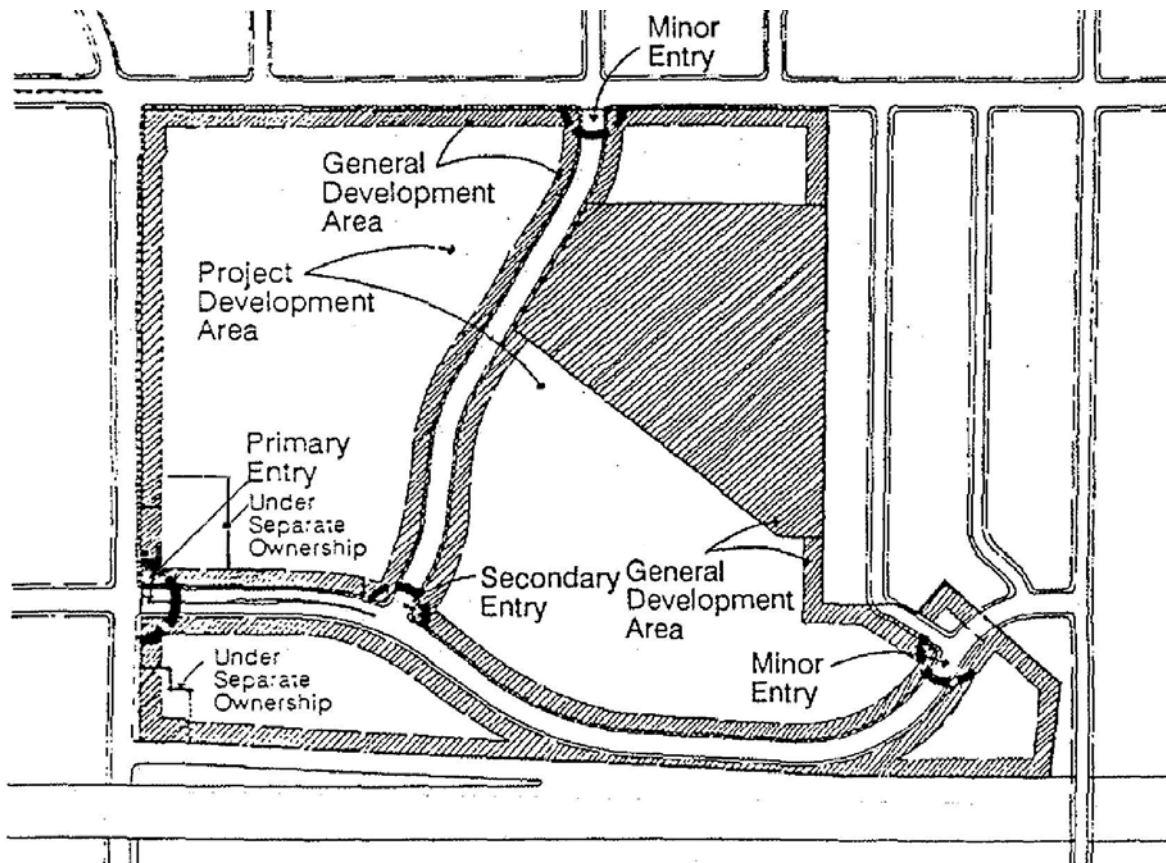
5.1 ON-SITE DESIGN STANDARDS

5.2 On-site Design Standards and Guidelines

The general Development Guidelines describe features that facilitate implementation by the master developer. In order to manage the orderly and consistent development of the "MVF," the following design standards and guidelines will be applied to all development in the Specific Plan area.

5.2.1 Design Standards

These Design Standards and Guidelines serve to foster an eco-friendly, high-quality development and establish a distinctive character for the "MVF" project. In reviewing development proposals, these guidelines will be the primary tools used to evaluate proposed site design, architecture, landscaping, and other project features such as lighting and site amenities. The developer is responsible for implementation of street improvements and utility systems as well as landscaping, signage and lighting as addressed in the following guidelines and consistent with the existing infrastructure. The areas of responsibility of the master developer are indicated on the sketch below. Improvements for those areas identified on the sketch as being under separate ownership, will be implemented by the respective property owners in association with their projects.



Note: Parcels under separate ownership are not a part of the specific plan
Figure 5-1 General Development Area

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

5.2.2 Introduction

The Project Design Guidelines establish guidelines and standards for the individual project developer. The objective of these guidelines is to create projects that contribute to the overall design continuity of the development while maintaining their own sense of individuality. The following general guidelines which address site, architectural and landscape design apply to all development within the "MVF" project:

- Vehicular and pedestrian entries to the project should be clearly identifiable to visitors through the use of signage, hardscaping and landscaping.
- Circulation within sites shall be designed to minimize conflicts between service vehicles, automobiles and pedestrians.
- Neighboring lots should share entry drives wherever possible to create a greater uninterrupted expanse of landscaping.
- Visibility of parking areas along roadways shall be minimized through the use of landscaped berms and screen shrubs wherever possible.
- Service zones (trash enclosures, loading and outdoor storage areas) shall be located in areas that are least visible to the public. An appropriate screening method shall be used if service zone is exposed to public view.
- All buildings and walkways shall be accessible to the handicapped according to requirements in Title 24 of the California Administrative Code.
- A secondary sidewalk shall be provided within individual sites and connect with the master circulation system, creating a continuous and pleasant link between projects.
- Consideration should be given to ensure safe pedestrian access through parking areas, and from the public street walkways to building entrances.
- Security measures shall be considered in the project's site design, particularly in pedestrian areas. The use of tall, dense shrubbery should be avoided along walkways and adequate lighting should be provided.

5.2.3 Uses shall be developed in Accordance with the Specific Plan

All properties within the "MVF" shall be developed in conformance with this Specific Plan.

5.2.4 Uses shall be developed in Accordance with City of Moreno Valley Municipal Codes

All development will be consistent with the Specific Plan objectives and design guidelines. Details of specific development projects will be determined by subdivisions and site development plans. In the event of a conflict between the

Specific Plan and the City of Moreno Valley Municipal Code, the Specific Plan will prevail. If the Specific Plan is silent on a particular subject, the Municipal Code shall apply.

5.1.4.1 Zoning Regulations

Introduction

This section outlines the zoning regulations that define implementation of each phase of The "MVF." Tables are used where comparison of different land uses is important or to clarify a concept.

The application of these regulations will not replace the standards as required in State Laws, and will not replace applicable City Ordinances. Need to modify the diagram & legend below:

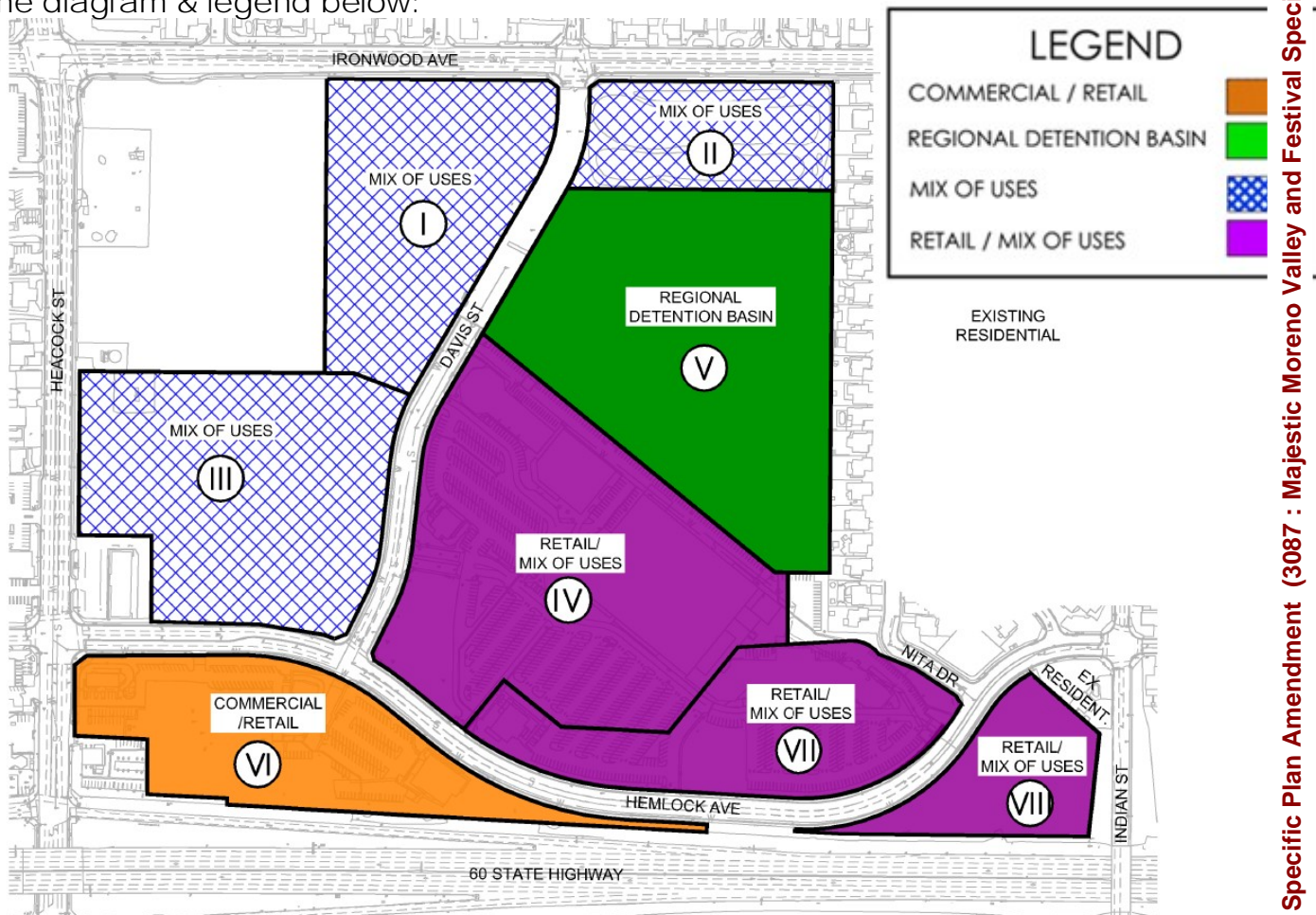


Figure 5-2 Site Planning Development Areas I-VIII

5.1.4.2 Site Development

The site planning development in The "MVF" will consist of planning areas (See Figure 5-2) as opposed to Phases which were integral to the previous Specific Plan 205, as shown on the Land Use Plan (Exhibits 14.2,7,8 &9):

- **Planning Area I** has strong potential for Mix of Uses development including commercial, retail, office and business park and medical and related uses. The boundaries for this Planning Area include:
 - Close proximity to the existing detention basin across Davis Street to the East
 - Existing residential development to the North.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

- Easy access to the existing Ironwood truck route to the North.
 - Close proximity to areas II, III & IV.
- **Planning Area II** has strong potential for Mix of Uses development including commercial, retail, office and business park and medical and related uses. The boundaries for this Planning Area include:
 - Adjacent to the existing residential to the east
 - Adjacent to the detention basin to the south.
 - Borders Ironwood Ave to the North and Davis St. to the west.
- **Planning Area III** has strong potential for Mix of Uses development including commercial, retail, office and business park and medical and related uses. The boundaries for this Planning Area include:
 - Adjacent to **Planning Area I**.
 - The existing retail use across the mid-way of Davis Street to the east.
 - Proximity to Hemlock Ave on the Southeast corner of the planning area.
- **Planning Area IV** is currently developed as a retail center. This area was developed under Phase I of Specific Plan 205 Amendment #3. The existing obsolete or underutilized uses may be demolished and/or repurposed as part of the future development. The area has potential for Retail/ Mix of Uses development including commercial, retail, office and business park, medical and related uses. The boundaries for this Planning Area include:
 - Adjacent to detention basin to the North of the area.
 - Southern border is Hemlock Ave.
 - Western border is Davis Street.
- **Planning Area V** is the existing City Owned detention basin. With the exception of regular maintenance, City installed ground cover and planting will remain in its native state an act as a buffer between the proposed uses of the development area. Access to the basin will be restricted. The boundaries for this Planning Area include:
 - Northern border is **Planning Area II**.
 - Southern border is **Planning Area IV**.
 - Eastern border is existing residential.
 - Western border is Davis Street.
- **Planning Area VI** was developed under Phase II of the Specific Plan 205 Amendment #3 for retail commercial use. The area is currently being considered for additional retail commercial development. The boundaries for this Planning Area include:
 - Borders Hemlock Ave. to the North
 - Borders Heacock St. to the West.
 - Good visibility from the 60 State Highway.
- **Planning Area VII** was developed under Phase I of the Specific Plan 205 Amendment #3. The area is currently developed as a commercial / retail business center and is intended to retain the commercial, retail and business center type uses. The area consists of existing usable retail stores,

commercial offices, parking and landscaping areas. The boundaries for this Planning Area include:

- Adjacent to Planning Area IV to the north and west of the area.
 - Southern border is Hemlock Ave.
 - Good visibility to the 60 State Highway.
- **Planning Area VIII** has good visibility to the 60 State Highway and is designated for Retail/ Mix of Uses. Due to the small and irregular size of this parcel, the opportunities for development will be smaller in scale and options for use will be limited. The boundaries for this Planning Area include:
 - Adjacent to Indian Street to the East.
 - Adjacent to residential to the East and across Hemlock Ave to the North.
 - Existing retail across the street to the North.
 - Northwestern border is Hemlock Ave.

Lot and Building Dimensions and Setbacks

Setbacks (as measured from the property line):

Ironwood Avenue

- Landscape: 20 feet
- Building: 30 feet

Hemlock Avenue (west of Davis Street)

- Landscape: 20 feet
- Building: 20 feet

Hemlock Avenue (east of Davis Street)

- Landscape: 15 feet
- Building: 20 feet

Heacock Street

- Landscape: 20 feet
- Building: 20 feet

Davis Street

- Landscape: 15 feet
- Building: 15 feet

Eastern Project Boundary

- Landscape: 20 feet
- Building: 50 feet (or equal to the building height, whichever is less)

Southern Project Boundary

- Landscape: 20 feet
- Building: 20 feet

Where the rear of the building faces a major road, the setback from the road shall be equal to the street frontage setback.

Building Height

Building heights shall be variable depending on the building use and set-back lines. The list below identifies the guidelines representing the allowable building heights and levels for different building uses.

Building Use	Maximum Height
Commercial Retail	45 feet
Commercial Offices	60 feet
Business Park	55 feet
Other Uses	35 feet

The maximum height of any structure shall be sixty (60') feet. There shall be an additional two (2') foot setback for each foot of additional building height.

The maximum heights noted are to the top of roof level and exclude the parapet height.

5.1.4.3 Table Representing Types of Uses Permitted to Planning Areas

**Table 1
Land Use Matrix - List of Permitted and Conditionally Permitted Uses**

Development Types Corresponding Zone District	Planning Area							
	1	2	3	4	5	6	7	8
Auto-Related Uses (CC- Community Commercial)								
Automobile Sales, New and Used (CC Zone)	C	C	C				C	C
Automobile Service Stations (CC Zone)	C	C	P	C		P	C	C
Auto Repair, Minor Service (CC Zone)	P	P	P	P		P	P	P
Auto Repair, Paint and Major Service (CC Zone)	C	C	P	C		P	C	C
Auto Rentals (CC Zone)	P	P	P	P		P	P	P
Auto Related, Accessory Uses (CC Zone)	C	C	P	C		P	C	C
Auto Supply Stores (CC Zone)	P	P	P	P		P	P	P
Car Wash (CC Zone)	P	P	P	P		P	P	P
Parking Lot & Parking Structure (CC Zone)	P	P	P	P		P	P	P
Indoor, Entertainment, Fitness, & Sports Facilities (CC- Community Commercial)								
Theaters and Auditoriums (CC Zone)	P	P	P	P		P		
Athletic Clubs, Gymnasiums, and Spas (CC Zone)	P	P	P	P		P	P	P
Recreational Facilities, Commercial Indoor/Outdoor (CC Zone)	P	C	P	C		P	P	P
Business Park (LI-Light Industrial & BP-Business Park)								
Light Industrial (LI Zone)	P	P	P	P			P	
Manufacturing & Assembly (LI Zone)	P	P	P	P				
Research & Development (BP-Zone)	P	P	P	P			P	P
Wholesale & Limited Distribution (LI Zone)	P	P	P	P			P	P
Nursery, Wholesale and Distribution (LI Zone)	P	P	P	P				P
Parcel Delivery Terminals (LI Zone and BP-Zone)	P	P	P	P				P
Transfer, Moving, & Storage (LI Zone)	P	P	P	P				P
Office, Business Services, & Professional (CC-Community Commercial, O-Office & OC -Office Commercial)								
Banks, including ATMs & drive-thru (CC, O, and OC Zones)	P	P	P	P		P	P	P
Business Offices (CC, O, and OC Zones)	P	P	P	P		P	P	P
Business & Office Equipment Sales and Supply Stores (CC Zone)	P	P	P	P		P	P	P
Computer Sales and Repairs (CC and OC Zones)	P	P	P	P		P	P	P
Copy Shops (CC, O, and OC Zones)	P	P	P	P		P	P	P
Day Care Centers (CC, O, and OC Zones)	P	P	P	C		P	P	P
Finance, Insurance, and Real Estate (CC, O, and OC Zones)	P	P	P	P		P	P	P
Laboratories, Medical, & Dental (CC, O, and OC Zones)	P	P	P	P		P	P	P
Medical Offices (CC, O, and OC Zones)	P	P	P	P		P	P	P
Medical Clinics/Medical Care (CC, O, and OC Zones)	P	P	P	P		P	P	P

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

**Table 1
Land Use Matrix - List of Permitted and Conditionally Permitted Uses (continued)**

Corresponding Zone District and Sample Development Types	Planning Area							
	1	2	3	4	5	6	7	8
Retail, Commercial, & Food Related (CC- Community Commercial)								
Medical Equipment (CC and OC Zones)	P	P	P	P		P	P	P
Personal Grooming (CC and OC Zones)	P	P	P	P		P	P	P
Personal Services (CC and OC Zones)	P	P	P	P		P	P	P
Public Buildings (CC, O, and OC Zones)	P	P	P	P		P	P	P
Veterinary Office (CC)	P	P	P	P		P	P	P
Bakeries (CC Zone)	P	P	P	P		P	P	P
Barbers & Beauty Colleges (CC Zone)	P	P	P	P		P	P	
Bars (CC Zone)	P	P	P	C		P	P	
Bars with Live Entertainment (CC Zone)	P	C	P	C		P		
Bowling Alley (CC Zone)	P	P	P	P		P		
Building Material Sales, incl. Outdoor Storage (CC Zone)	P	C	P	C		P	P	P
Business Equipment Sales, Includes Repairs (CC Zone)	P	P	P	P		P	P	
Business Supply Stores (CC Zone)	P	P	P	P		P	P	
Catering Service (CC Zone)			P	P		P	P	
Churches (CC Zone)	P	P	P	C		P	P	
Communication Facilities (CC Zone)			P	P		C	P	
Computer Sales & Repairs (CC Zone)	P	P	P	P		P	P	
Convenience Stores (CC Zone)	P	P	P	P		P	P	
Convenience Stores with Alcohol Sales (CC Zone)	C	C	P	C		P	P	
Dancing, Art, Similar Schools (CC Zone)	P	P	P	P		P	P	
Dry Cleaning & Laundry (CC Zone)	P	P	P	P		P	P	
Electronics & Sales (CC Zone)	P	P	P	P		P		
Fast Food/Fast Casual Restaurant (CC Zone)	P	P	P	P		P	P	P
Fast Food/Fast Casual Restaurant with Drive-thru (CC Zone)	P	P	P	P		P	P	P
Floor Covering Stores (CC Zone)	P	P	P	P		P	P	P
Food Delicatessen (CC Zone)	P	P	P	P		P	P	P
General Commercial (CC Zone)	P	P	P	P		P	P	P
Hardware & Home Furnishings (CC Zone)	P	P	P	P		P	P	P
Heavy Equipment Sales & Rentals (CC Zone)			P	P		P		P
Hospital (CC Zone)			P	C		P	P	P
Ice Cream & Yogurt (CC Zone)	P	P	P	P		P	P	P
Indoor Storage, Mini Warehouses (CC Zone)			P	P		P	P	P
Jewelry Stores (CC Zone)	P	P	P	P		P	P	P
Liquor Stores (CC Zone)	C	C	P	C		P		
Medical Equipment Sales & Supplies (CC Zone)	P	P	P	P		P	P	P
Mortuary, Excluding Cremation (CC Zone)	P	P	P	C		P		
Offices, Administrative & Professional (CC Zone)	P	P	P	P		P	P	P

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

Table 1
Land Use Matrix - List of Permitted and Conditionally Permitted Uses (continued)

Corresponding Zone District and Sample Development Types	Planning Area							
	1	2	3	4	5	6	7	8
Personal Services, Nail Salons/Spas/Barbers/Beauty (CC Zone)	P	P	P	P		P	P	P
Pharmacies, with and without Drive-Thru (CC Zone)	P	P	P	P		P	P	P
Postal Services (CC Zone)	P	P	P	P		P	P	P
Recreational Facilities, Commercial (CC Zone)	P	P	P	C		P	P	P
Rental Services, Furniture, Office, Home (CC Zone)	P	P	P	P		P	P	P
Sit-down Restaurants (CC Zone)	P	P	P	P		P	P	P
Skating Rinks (CC Zone)	P	P	P	P		P	P	P
Specialty Retail (CC Zone)	P	P	P	P		P	P	P
Stationary Stores (CC Zone)	P	P	P	P		P	P	P
Supermarkets (CC Zone)	P	P	P	P		P	P	P
Tire Stores & Tire Repair (CC Zone)	P	P	P	P		P	P	P
Trade & Vocational Schools (CC Zone)	P	P	P	P		P	P	P
Weight Reduction Centers (CC Zone)	P	P	P	P		P	P	P

KEY: P = Permitted Uses C = Conditionally Permitted Use Blank Box = Not Permitted

Notes:

- (1) Where Live entertainment is present, such uses are subject to activity entertainment permit.
- (2) Permitted as part of a mixed use commercial or retail center.

Explanation of General Categories as provided for in table 9.02.020 of the municipal code.

1. Auto-Related Uses

The auto-related uses designation refers to those activities that involve vehicle repair, servicing, cleaning, fuel sales, and the sale of new vehicles. Auto-related uses may also include new automobile sales centers, auto service stations, auto tuning businesses, car wash businesses (including hand car washing), and parking structures that serve the other businesses located within the Planning Area only. The off-site parking requirements for new development within this land use designation must conform to Title IX of the Municipal Code, City of Moreno Valley Zoning Ordinance. Overnight parking shall only be permitted on a project basis and will be subject to the approval of the City. A more detailed list of permitted and conditionally permitted land uses in this land use designation is provided in Table 2-2 at the end of this section.

2. Indoor, Entertainment, Fitness and Sports Facility

This land use designation includes those businesses that are predominantly involved in participant sports and health activities conducted entirely within an enclosed building. Typical uses include studio-style facilities such as dance/ballet, yoga, martial arts, gymnasiums, spas, athletic clubs, fitness studios, sports bars, billiard halls, indoor carting, and video and arcade type entertainment uses. In addition, theaters are included in this land use designation. These future uses must also meet the City's off-street parking requirements.

3. Business Park

The Business Park land use designation provides for a range of general business activities. This land use designation will permit typical back office, research & development, wholesale, storage, and light industrial operations that include warehousing services and wholesale activities related distribution of food and other products. These future uses must also meet the City's off-street parking requirements. Activities under this classification shall be conducted in enclosed buildings. Retail sales from the premises may occur though parking must be provided based on the square footage. The Specific Plan Amendment assumes that buffers and site treatments will be required as a means to mitigate any impact related to the business park activity.

4. Office Business and Professional Services

This land use designation applies to those uses that may include, but not be limited to, business administrative, management services, consulting, professional/personal services, clerical staffing, and data processing/storage. These uses may also typically include general office uses, corporate headquarters, branch offices, financial institutions, call centers, medical/dental health services, laboratories/clinics; professional and design offices, and research. Other permitted activities include, but may not be limited to, chemical and biotechnology research and development, food, computer software companies, soils and other materials testing, or medical laboratories.

These future uses must also meet the City's off-street parking and landscaping requirements.

5. Retail, Commercial and Food Related

Business included in this category will be exclusively engaged in retail sales. Potential land uses engaged in retailing activities may include, but not be limited to, home electronics, discount centers, department stores, specialty retail sales, grocery stores and markets, pharmacies, appliance and home goods, and home supply and hardware stores. Other uses included in this category include personal services that may include, but are not limited to hair salons, nail and makeup studios, shoe repair, tailors, etc. These future uses must also meet the City's off-street parking and landscaping requirements. This use classification includes establishments primarily within buildings, providing other businesses with services such as maintenance, repair and service, testing, rental, etc. This use classification does not include massage or tattoo establishments, which are separately classified herein.

6. Open Space

The open space designation applies only to Planning Area V, a 12.9 acre area located in the in the northeastern portion of the Specific Plan Amendment Area. The intent of this designation is to preserve this storm water detention basin as a permanent open space. Planning Area V is intended to remain as is and used as a buffer to the residential and other development areas.

5.1.4.4 Prohibited Uses

The following uses are prohibited within The “MVF” development:

- Adult business establishments (as identified in the Municipal Code Section 9.09.030).
- Any hospital or other facility that is licensed by the California Department of Public Health, or by the California Department of Mental Hygiene, not including a family care, foster home or group home that serves six or fewer persons or assisted living facility.
- Any home or other facility for home care that is licensed by the California Department of Social Welfare, or by the Riverside County Department of Public Welfare, not including a home or facility that serves six or fewer children or aged persons, nor a large family day care home that services seven to twelve children.

5.1.4.5 Detention Basin

According to the originally approved SP 205, Phase I included development of the twelve (12) acre recreation area/flood control basin. The current specific plan shall not include the development of the detention basin.

The primary purpose of this site is for a flood control basin which will be maintained by the Riverside County Flood Control and Water Conservation District, unless such responsibility is offered by the City. The City owned detention basin will normally be dry and will serve to retain excess storm flow once the flow has exceeded the capacity of the existing outlet channel under Highway 60 at the southeast corner of the site. There is a sub-drain down the center of the basin so that small drainage flows can be maintained below the surface of the area.

5.1.5 Subdivision Map Act

Lots created within the “MVF” Specific Plan area shall comply with the Subdivision Map Act and be in conformance with the Specific Plan.

5.1.6 Water Quality Management Plan

All development within the “MVF” shall be subject to applicable laws of the State of California regarding water quality.

5.1.7 Trash and Recyclable Materials

All development within the “MVF” shall provide enclosures (or compactors) for collection of trash and recyclable materials subject to water quality standards and best management practices (BMP).

Screening and buffering within individual projects will be necessary in some locations to provide separation between different land uses and to conceal unattractive views.

Design criteria for landscape screening methods are as follows:

- Dense shrubs and vines shall be used in combination with architecturally compatible walls to screen trash enclosures and service areas. Planting

areas should be provided on three sides of the enclosure walls with a minimum width of three (3') feet.

- Trash enclosure shall be located a minimum of thirty-five (35') feet from adjacent residential structures.
- Landscape screening shall be opaque up to a minimum height of six (6') feet at maturity.
- Loading areas shall be recessed and screened wherever possible to minimize visibility of service vehicles from nearby properties or streets.
- Landscaping or a durable noncombustible enclosure shall be used to conceal transformers, mechanical ducts, and site equipment.
- Trash enclosures shall be designed in general compliance with City Public Works standards, and shall be located in areas which are not prominent to building or site orientations.
- The design of attached structures shall incorporate the same architectural detailing and coloration as the main building they are accessory to.
- Split-face concrete block (natural grey or matching color of building elevation) shall be allowed at free-standing trash enclosures.

5.1.8 Waste Hauling

Construction and other waste disposal shall be hauled to a City-approved facility.

5.1.9 Water Quality Site Design

5.1.9.1 General Standards

Refer to the National Pollution Discharge Elimination System (NPDES) Permit Board Order R8-2010-0033 for complete and current information on water quality management standards. Current requirements can be obtained by visiting the State Water Resource Control Board website at www.swrcb.ca.gov.

5.1.9.2 Water Quality Management Plan

Most developments are required to implement a Water Quality Management Plan (WQMP) in accordance with the NPDES Permit Board Order R8-2010-0033. The WQMP for the Santa Ana Region of Riverside County was approved by the Santa Ana Region Water Quality Control Board on October 22, 2012. Projects identified as a 'Priority Development project' are required to prepare a Project-Specific WQMP.

The MS4 Permit mandates a Low Impact Development (LID) approach to storm water treatment and management of runoff discharges. The project site should be designed to minimize imperviousness, detain runoff, and infiltrate, reuse or evapotranspire runoff where feasible. LID Best Management Practices (BMPs) should be used to infiltrate, evapotranspire, harvest and use, or treat runoff from impervious surfaces, in accordance with the Design Handbook for Low Impact Development Practices. The project should also ensure that runoff does not create a hydrologic condition of concern. The Regional Water Quality Control Board continuously updates impairments as studies are completed. The most current version of impairment data should be reviewed prior to preparation of the Preliminary and Final Project-Specific WQMP.

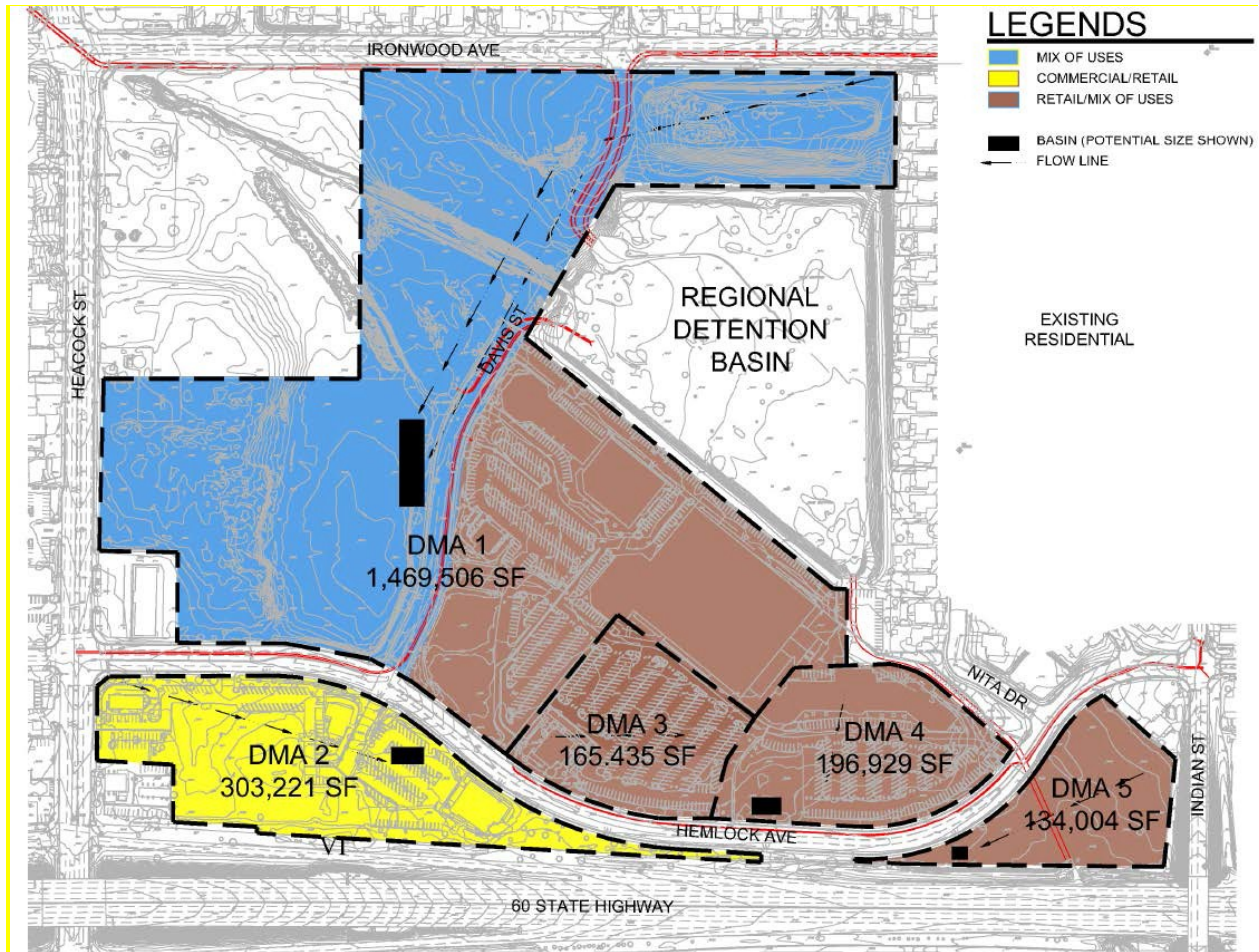


Figure 5-4 Water Quality Management Exhibit

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

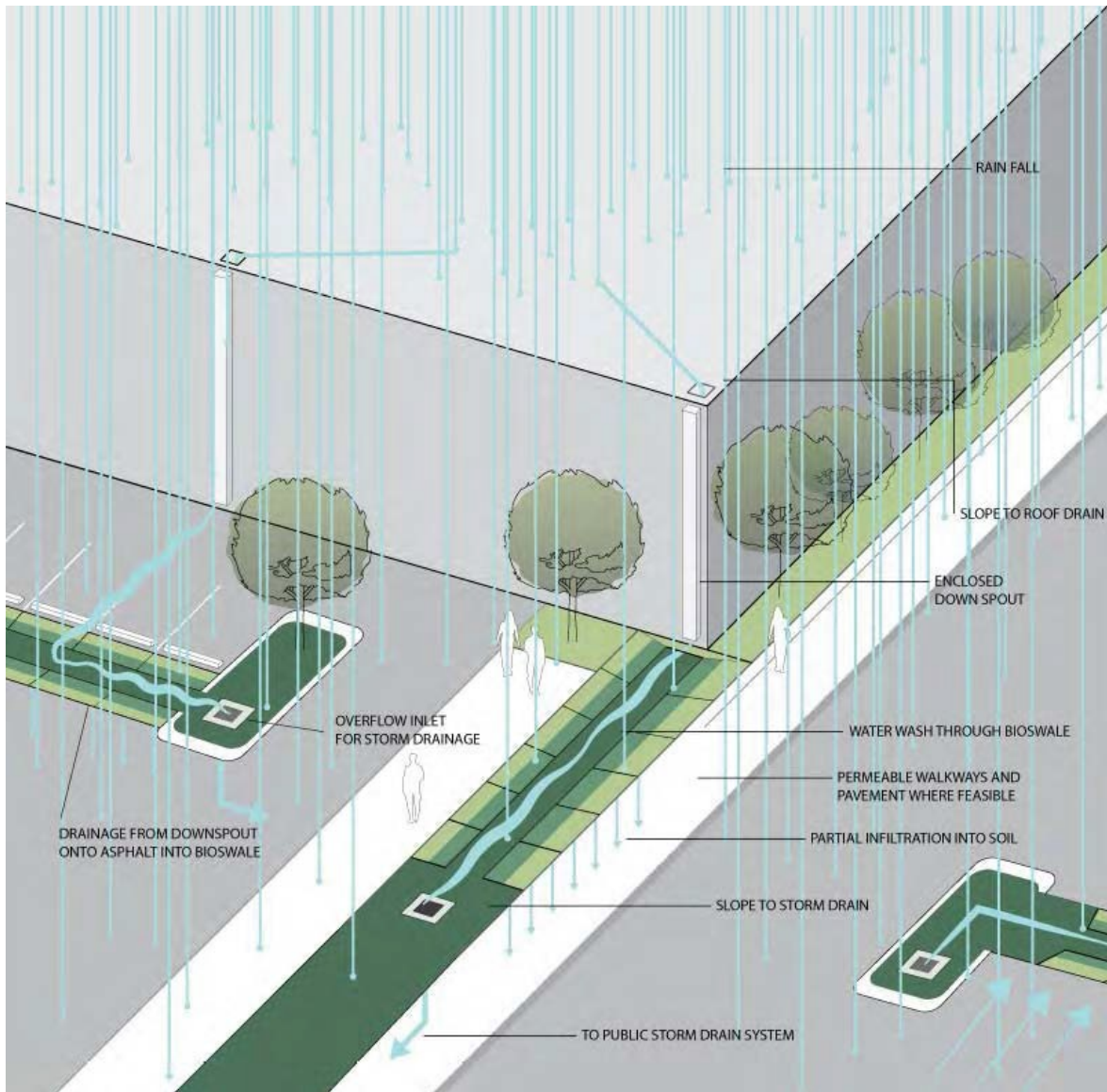


Figure 5-5 Water Quality Management Diagram

5.1.9.3 Site Design BMPs

Site Design BMPs are intended to create a hydrologically functional project design that attempts to mimic the natural hydrologic regime. In accordance with the Riverside County WQMP, project proponents shall implement Site Design concepts that achieve each of the following:

- Minimize Urban Runoff
- Minimize Impervious Footprint
- Conserve Natural Areas
- Minimize Directly Connected Impervious Areas (DCIAs)

Methods of accomplishing the Site Design concepts include:

- Maximize the permeable area.
- Incorporate landscape buffer areas between sidewalks and streets.
- Maximize canopy interception and water conservation by preserving existing native trees and shrubs, and planting additional native or drought tolerant trees and large shrubs.
- Use of natural drainage systems.
- Where soil and conditions are suitable, use perforated pipe or gravel filtration pits for low flow infiltration.
- Construct ponding areas or detention facilities to increase opportunities for infiltration consistent with vector control objectives.
- Minimize the use of impervious surfaces, such as decorative concrete, in the landscape design.
- Sites must be designed to contain and infiltrate roof runoff, or direct roof runoff to vegetative swales or buffer areas, where feasible.
- Where landscaping is proposed, drain impervious sidewalks, walkways, trails, and patios into adjacent landscaping.
- Increase the use of vegetated drainage swales in lieu of underground piping or imperviously lined swales.
- Parking areas may be paved with a permeable surface, or designed to drain into landscaping prior to discharging to the MS4.
- Where landscaping is proposed in parking areas, incorporate landscape areas into the drainage design.



Figure 5-6 Example of Water Quality Feature

5.1.9.4 Source Control BMPs

Source Control BMPs are also required to be implemented for each project as part of the Final WQMP. Source Control BMPs are those measures which can be taken to eliminate the presence of pollutants through prevention. Such measures can be both non-structural and structural.

Potential non-structural Source Control BMPs include:

- Education for property owners, operators, tenants, occupants, or employees.
- Activity restrictions.
- Irrigation system and landscape maintenance.
- Common area litter control.

- Street sweeping private streets and parking lots.
- Drainage facility inspection and maintenance.

Potential structural Source Control BMPs include:

- Stenciling and signage
- Landscape and irrigation system design
- Protect slopes and channels
- Properly design fueling areas, trash storage areas, loading docks, and outdoor material storage areas

5.1.9.5 Treatment Control BMPs

The Treatment Control BMP strategy for the project is to select Low Impact Development (LID) BMPs that promote infiltration and evapotranspiration, including infiltration basins, bio detention facilities, and extended detention basins. Generally infiltration BMPs have advantages over other types of BMPs, including reduction of the volume and rate of runoff, as well as full treatment of all potential pollutants potentially contained in the storm water runoff. It is recognized however that infiltration may not be feasible on sites with low infiltration rates, or located on compacted engineered fill. If the BMP is considered in a fill condition, and the infiltration surface of the BMP cannot extend down into native soils, or if the BMP is considered in a cut condition, and there is no practicable way to verify infiltration rates at the final BMP elevation, infiltration BMPs will not be used. Prior to final design, infiltration tests shall be performed within the boundaries of the proposed infiltration BMP and at the bottom elevation (infiltration surface) of the proposed infiltration BMP to confirm the suitability of infiltration. In situations where infiltration BMPs are not appropriate, bio detention and/or bio treatment BMPs (including extended detention basins, bio swales, and constructed wetlands) that provide opportunity for evapotranspiration and incidental infiltration will be considered. Harvest and use BMPs will also be considered as a Treatment Control BMP to store runoff for later non-potable uses. Ponds may be used to collect storm water runoff for harvest and use.

5.1.9.6 Infiltration Basin

An infiltration basin is a flat earthen basin designed to capture the design capture volume. The storm water infiltrates through the bottom of the basin into the underlying soil over a 72 hour drawdown period. Flows exceeding the design capture volume must discharge to a downstream conveyance system. Infiltration basins are highly effective in removing all targeted pollutants from storm water runoff. The use of infiltration basins may be restricted by concerns over groundwater contamination, soil permeability, and clogging at the site. Where this BMP is being used, the soil beneath the basin must be thoroughly evaluated in a geotechnical report since the underlying soils are critical to the basin's long term performance. To protect the basin from erosion, the sides and bottom of the basin must be vegetated, preferably with native or low water use plant species.

In addition, these basins may not be appropriate for the following site conditions:

- Locations where spills may occur
- Sites with very low soil infiltration rates
- Sites with high groundwater tables or excessively high infiltration rates, where pollutants can affect groundwater quality
- Sites with unstabilized soil or construction activity upstream
- On steeply sloping terrain

5.1.9.7 Biodetention Facility

Biodetention facilities are shallow, vegetated basins underlain by an engineered soil media. Healthy plant and biological activity in the root zone maintain and renew the macro-pore space in the soil and maximize plant uptake of pollutants and runoff. This keeps the BMP from becoming clogged and allows more of the soil column to function as both a sponge (retaining water) and a highly effective and self-maintaining biofilter. In most cases, the bottom of a biodetention facility is unlined, which also provides an opportunity for infiltration to the extent that the underlying onsite soil can accommodate it. When the infiltration rate of the underlying soil is exceeded, fully bio treated flows are discharged via underdrains. Biodetention facilities therefore will inherently achieve the maximum feasible level of infiltration and evapotranspiration and achieve the minimum feasible (but highly bio treated) discharge to the storm drain system.

These facilities work best when they are designed in a relatively level area. Unlike other BMPs, biodetention facilities can be used in smaller landscape spaces on the site, such as:

- Parking islands
- Medians
- Site entrances

Figure 5-7 Example of Biodetention Facility



Landscape areas on the site can often be designed as bio detention facilities. This can be accomplished by:

- Depressing landscape areas below adjacent impervious surfaces, rather than elevating those areas
- Grading the site to direct runoff from those impervious surfaces into the bio detention facility, rather than away from the landscaping
- Sizing and designing the depressed landscape area as a bioretention facility as described in the Riverside County Low Impact Development BMP Design Handbook.



Figure 5-8 Example of Water Quality Feature

5.1.9.8 Extended Detention Basin

The extended detention basin is designed to detain the design volume of storm water and maximize opportunities for volume losses through infiltration, evaporation, evapotranspiration, and surface wetting. Additional pollutant removal is provided through sedimentation, in which pollutants can attach to sediment accumulated in the basin through the process of settling. Storm water enters the basin through a forebay where any trash, debris, and sediment accumulate for easy removal. Flows from the forebay enter the top stage of the basin which is vegetated with native grasses and interspersed with gravel-filled trenches which together enhance evapotranspiration and infiltration. Water that does not get infiltrated or evapotranspired is conveyed to the bottom stage of the basin. At the bottom stage of the basin, low or incidental dry weather flows will be treated through a media filter and collected in a sub drain structure. Any additional flows will be detained in the basin for an extended period by incorporating an outlet structure that is more restrictive than a traditional detention basin outlet. The restrictive outlet extends the drawdown

time of the basin which further allows particles and associated pollutants to settle out before exiting the basin, while maximizing opportunities for additional incidental value losses.

5.2 Site Planning Guidelines

5.2.1 Overview

The “MVF” Specific Plan has an overall, coordinated design character that emphasizes a unified neighborhood quality image and a clean contemporary design image. This image is expressed in site planning, architecture, landscaping, and lighting. Architectural design is to be compatible in character, massing and materials throughout The “MVF,” while allowing for individual identity and creativity in each project. Landscaping, building design, lighting, and utilities are to be closely coordinated along roadways. Criteria for occupancy, building heights, site planning, architecture, landscaping, and lighting are given in further detail in the following sections.

5.2.2 Design Objectives

The objective of the guidelines is to promote the planned image of a quality Mix of Uses development serving the “MVF” residents, users, and visitors in the area. Each site will be developed in a manner that emphasizes a pleasant and contemporary environment, and produces an effect that is consistent and compatible with the adjacent sites and development throughout the “MVF.”

Development standards for individual projects pertaining to permitted uses, setbacks, building heights and parking requirements are addressed in Chapter 4. It is necessary to provide the appropriate buffers separating between different project building uses within the same planning area. The buffers shall be visually appealing and create segregation between the uses that still blend in the overall “MVF” image.

The following guidelines pertain to site design and are organized according to the permitted land use within the “MVF” plan.

Commercial

- Building masses and setbacks should vary along streetscapes to prevent monotony.
- Buildings and landscaping should be situated as to allow good visibility of signage.
- Circulation design should allow for easy ingress and egress from primary streets. All minimum distances between curb cuts shall comply with City of Moreno Valley street standards.
- Parking areas should be readily visible upon entering and within close proximity of building entries. Parking design requirements shall comply with Title 9 Planning and Zoning standards Chapter 9.11.
- The pedestrian experience shall be enhanced by landscaped walkways, crosswalks and accent paving. Adequate lighting, bike racks and trash receptacles shall also be provided.
- Pedestrian walkways within all commercial projects should be wider than standard with a minimum width of (6') six feet.

- The inclusion of seating in public spaces consisting of benches, chairs or planter edges is encouraged.

Office

- Spatial relationships between buildings should be considered in order to create entry plazas and to successfully integrate outdoor spaces into the project site.
- Building clusters are encouraged to create a campus setting, allowing for larger expanses of landscaped open space.
- Views and solar orientation should be considered for the building's orientation on the site while considering the environmental impacts and surrounding space.
- The scale of buildings should be compatible with nearby residential neighborhoods.
- Visitor parking shall be readily visible upon entering and within close proximity to building entries.
- Employee parking should be located in the rear of the buildings, wherever possible.

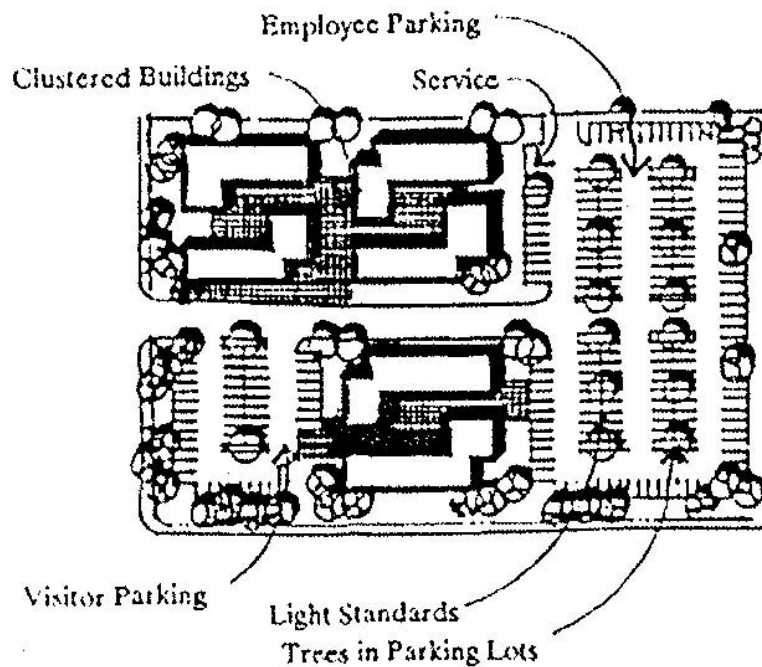


Figure 5-9 Office Design Standards

Business Park

- A variety of building sizes and setbacks should be provided in order to avoid long monotonous building facades and to create diversity.
- Building setbacks should be provided proportionate to the scale of the structure and in consideration of existing development adjacent to it. Larger structures may require more setback area for a balance of scale.
- Access to the Business Park zones shall be controlled and visually pleasing.

- Business Park service areas shall not be visible to the public and shall be located on the sides and/or rear of buildings. Screening of outdoor storage, work areas, and equipment shall be incorporated.
- Where Business Park uses are adjacent to non-Basin uses, appropriate buffering techniques such as setbacks, screening, and landscaping need to be provided to mitigate any negative effects of operations.
- The maximum allowable levels shall be one story and a partial mezzanine. The mezzanine area shall not exceed one-third of the first floor area.

Retail

- The entrances to the Retail areas shall be welcoming and clearly identified.
- It is recommended to have the Retail areas clustered in a plaza with a shared visitor car parking area.
- Building location on the site shall allow convenient vehicular access to visitor's parking, on-site circulation, and viewing from the surrounding street.
- Retail loading and unloading areas shall not be visible to the public and shall be located on the sides and/or rear of buildings.
- The maximum allowable levels shall meet the California Building Code requirements and the Specific Plan requirements stated in this document.
- Pedestrian Site access from surrounding uses shall be considered. Landscape and signage shall be used to enhance the pedestrian experience along the route to the retail areas.
- The inclusion of landscape furniture in public spaces consisting of benches, chairs, planters, and soft landscape are encouraged.

5.2.3 Sustainable Design

Building in an ecological and resource-efficient manner has many advantages for the environment as well as for building users. Sustainable design reduces pollution and conserves natural resources. The architects and engineers that make contributions to the "MVF" must understand this and strive to lessen the impact their designs have on the environment. The following sustainability goals have been set for buildings at the MVF:

- Design buildings to accommodate renewable energy systems where feasible.
- Create building forms and landscape that protect residents, users, visitors, patrons, and employees from unpleasant climate conditions.
- Use water resources responsibly with a constant effort, to minimize the use of potable water.
- Incorporate life cycle planning and decision making.

The design of each building at the “MVF” will pursue these goals, by incorporating design features such as, but not limited to, the following:

Water conservation:

- Low flow faucets and fixtures.
- Rain water collection (where practical).
- Native landscape.
- Direct and capture low-use irrigation and rainfall runoff to landscape areas.

Energy conservation:

- Building orientation.
- Glazing, overhangs, and landscaping to capture and control natural daylight.
- High performance glazing.
- Use of atriums, skylights and internal courtyards to provide additional daylighting.

Natural resource conservation:

- Use of renewable materials where feasible
- The use of building materials with recycled content where feasible

5.2.4 Building Location

Buildings are to be located on each site in a manner that is efficient, appropriate to site conditions, supportive of the overall architectural composition, and compatible with nearby projects throughout the “MVF.”

- Buildings shall be located to enhance project visibility and identity, while maintaining compatible relationships with adjacent projects and street views.
- Buildings shall be oriented so that loading and service areas are screened from view from streets and public areas.
- Buildings shall be arranged to provide convenient access to entrances and efficient on-site circulation for vehicles and pedestrians.
- Buildings shall be arranged to provide landscape outdoor plazas or entries.
- Customer parking shall be convenient to public building entries, as shown below.

5.2.5 Site Access

Vehicular access to retail areas will remain for the existing retail portion of the development. The new retail portion will be developed per the City of Moreno Valley development standards.

- Project access and circulation shall allow for both vehicles and pedestrians by separating autos and foot traffic, by creating pedestrian entrances to projects and by using enhanced paving treatments, bollards or pergolas to identify pedestrian pathways through parking areas and along buildings (Per Municipal Code 9.11.080).

- Projects shall minimize impacts on adjacent streets by consolidating access points. Access points should be consolidated to take advantage of planned or existing median breaks.

5.2.6 Vehicular Circulation

Onsite vehicular circulation should be clear and direct.

- Drive aisles should make a loop around the structures and avoid dead end parking. In the case of straight drive aisles, provide at least ten (10) feet of setback between the last parking stall and the property line (Per Municipal Code 9.11.080).
- Dead-end parking aisles which exceed eight standard parking stalls in length, and serving greater than sixteen (16) standard stalls for dual lanes, shall provide turnaround facilities (i.e., hammerhead, cul-de-sac, etc.) adequate to accommodate emergency vehicles.

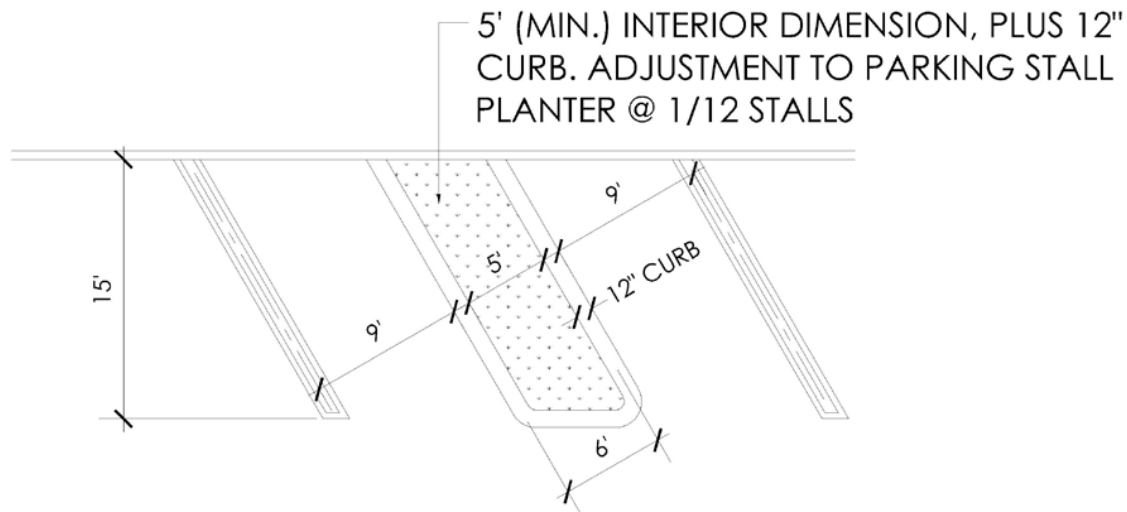
5.2.7 Parking

Landscape development in parking areas shall be designed to provide safety and comfort to the drivers and pedestrians and enhance the visual quality of the City. The design shall reduce auto noise, lights and glare, and ambient temperature. The design shall also minimize visual disruption from the surrounding streets and adjacent developments, per Municipal Code Section 9.11.080.

- All spaces will be double striped and shall be nine (9') feet wide and eighteen (18') feet long;
- The maximum length of straight aisles shall not exceed three hundred (300) feet. Parking rows shall not be longer than one hundred eighty (180) feet.
- Parking lot design shall include openings in curbs to convey water runoff into landscape areas for water quality, retention and absorption. Pervious surfaces are recommended where feasible and required for parking areas provided in excess of city requirements.
- Landscape finger planters shall have a minimum interior dimension of five (5) feet by sixteen (16) feet, exclusive of curbs, step-outs and other hard surfaces. A finger planter with parking on one side has a minimum curb-face-to-curb-face dimension of seven (7) feet. An island with parking on both sides has a minimum curb-face-to-curb-face dimension of eight (8) feet.
- Diamond planters have a minimum of twenty-five (25) square foot interior area (exclusive of perimeter curbing) with minimum interior dimensions of five (5) feet by five (5) feet. The minimum exterior area (including perimeter curbing) is thirty-six (36) square feet.
- Where double rows of parking are provided, diamond or island planters are provided at an interval of one planter every three pairs of parking stalls. Minor adjustments are allowed in cases where this exact interval would be infeasible.
- A finger planter is provided at an interval of every twelve (12) parking stalls along any row of parking. Minor adjustments are allowed in cases where this exact interval would be infeasible.

- Planter Curbs and Step-Outs. Planters shall be separated from parking spaces by a six-inch wide concrete curb. Where a planter (finger or island) is located on the side of a parking space, a twelve (12) inch wide concrete step-out is required along the long dimension of the parking space. A step-out is required, in addition to a six-inch curb, resulting in a combined concrete surface measuring eighteen (18) inches in width.
- Trees shall be planted at the equivalent of one tree per thirty (30) linear feet of building dimension that is visible from the parking lot or public right-of-way. Trees may be massed for pleasing aesthetic effects.
- Parking lot trees shall be a minimum of fifteen (15) gallon size, twenty-five (25%) percent of the required trees shall be twenty-four (24") inch box or larger. One-half (1/2) of the twenty-four (24") inch box trees shall be placed in the street frontage or side yard setback.
- The selection of parking lot trees should emphasize the provision of summer shading of pavement and vehicles. Within a maximum of ten (10) years, parking lot trees shall shade a minimum of fifty (50) percent of parking space pavement during the summer months, between one and four in the afternoon. A maximum of fifty (50) percent of the parking lot trees may be deciduous. Avoid trees with excessive leaf litter, sap or fruit that could damage vehicles.
- Parking lot trees shall be planted at a cleared distance from light standards so the trees will not interfere with the lighting pattern of the light fixture. Light standards shall be shown on conceptual plans and subsequent planting plans.
- Parking lot trees shall be planted to align with the ends of parking lot stripes (between cars) and away from light standards, in order to create adequate shade canopies, and avoid damage to tree trunks.
- Landscaped areas in the parking lot shall be planted with shrub masses to discourage pedestrians from crossing landscaped areas to reach building entrances. All soil surfaces in the planting areas shall be covered with shrubs and/or groundcovers.
- Car overhang onto sidewalk permitted only when a minimum eight (8') foot sidewalk exists.
- Off-street parking shall be provided to accommodate all vehicles associated with the permitted use of each site. On-street parking is prohibited along Heacock Street, Ironwood Avenue and Hemlock Avenue.
- Designated spaces must be positioned in convenient locations for handicap, carpool, alternate fuel vehicles, motorcycles and bicycles as required by the State of California and the City of Moreno Valley.
- Parking areas for motorcycles and bicycles are to be designed for orderly, uncluttered parking. Bicycle parking areas are to be provided with racks and locking capabilities per Municipal Code.
- The view of parking areas from public streets shall be softened by means of grading and/or landscaping.
- Parking is prohibited in any required landscape areas.

- Parking lots shall comply with the accessible parking standards required by the City of Moreno Valley.



60 DEGREE COMPACT SPACE WITH PLANTER

Figure 5-11 Parking Configurations at 60 Degree Compact Space with Planters

5.2.8 Pedestrian Circulation

Safe, clear pedestrian circulation must be provided between buildings, parking areas, and entries on all sites. Where a pedestrian walkway into the site from the public sidewalk is provided, it should be located at a driveway and in conformance with the street tree interval.

5.2.9 Truck Parking

All new and existing truck loading areas are or shall be screened from public view from adjacent streets per this Specific Plan.

5.2.10 Service Areas

Service, storage, maintenance, loading, refuse collection areas and similar facilities are to be located out of view of public roadways and buildings on adjacent sites, or screened by a fence, wall, landscaping, berming or a combination of screening components. Service areas may not extend into required building and landscape setback zones. Service areas should be located and designed so that service vehicles have clear and convenient access and do not disrupt vehicular and pedestrian circulation. No loading or unloading is permitted from public streets.

Trash/waste enclosure shall be located at a minimum of thirty-five (35) feet from any residential structures. Trash/waste enclosures shall be constructed to include a solid roof, provide a minimum three feet landscaped planter on three sides of the enclosure walls, and accommodate climbing vines and screening shrubs within the planter area. Design of a trash enclosure should use materials and colors aesthetically compatible with the project, per Municipal Code Title 9, Chapter 9.08.150 – Screening Requirements.

5.2.11 Grading and Drainage

All project grading shall conform to the Municipal Code. Site grading and drainage shall be designed so that surface drainage is collected and treated before leaving the site. Site grading shall be designed to be compatible with streetscape grades and to minimize the need for handrails or pedestrian ramps within the site. Concrete swales in parking lots should be located at the edge of parking spaces and/or curb. Swales are prohibited in the middle of drive aisles. Directing drainage to curb and gutters is preferred over concrete swales. Run-off from roofs, site, and impervious areas shall be directed to planter areas to minimize run-off.

5.2.12 Walls & Fences

Walls and fences must be designed as an integral part of the overall architectural or landscaping design concept. When the walls / fencing are provided within designated edge treatment areas, they shall follow the guidelines below:

- Along the Ironwood Avenue and Heacock Street boundary, 8' high solid fencing shall be used to restrict access and view to the residential areas and provide a sound buffer from traffic noise.
- The fencing shall be of a durable decorative material (concrete or CMU).
- Plot Plans shall include all site fencing details.
- Where the project immediately abuts the residential area at the east boundary of the project, the developer will build an eight (8') foot decorative block wall.

Materials

Walls are to be constructed of materials compatible with the overall design character of the buildings. Walls shall be cast-in-place concrete or CMU where they are located. Fencing walls abutting the residential developments shall be concrete or CMU. Interior fencing separating similar building types and uses may be wrought iron or tubular steel. Chain link fencing is permitted only where it is not visible from streets, sidewalks, public parking areas or public building entries, in the industrial, commercial, and retail uses.

Design features may include:

- Varied heights, wall plane offsets, and angles.
- Pilasters or distinctive elements.
- Trim, reveals.
- Minor changes of material and finishes where appropriate.
- Trellis/vine panels, landscape pockets.



Figure 5-13 Community Fencing Arrangement Example

Walls within Street-side Landscape Setback

Low-profile parking lot screen walls or garden walls are permitted in street-side landscape area, and shall not exceed three feet in height.

Height

Screen walls shall not exceed the height necessary to screen vehicles and loading areas. Pilasters and distinctive elements may exceed this maximum. Walls or fences in the residential landscaping area visible from the street and not intended for screening purposes shall be limited to a height of 3' 0". Refuse enclosures shall have walls not less than 6'-0" high. Planting areas for vines, shrubs, and trees shall be provided at the rear and sides of all enclosures.

Gates Visible From Public Areas

Pedestrian and vehicular access gates visible from public areas (i.e., parking lots, streets, sidewalks, etc.) shall be constructed of a durable material, such as tubular steel and be aesthetically pleasing and consistent with the design of the development.

Prohibited Materials

Barbed wire, wire, integrated corrugated metal, electronically charged fences, and exposed plastic vinyl fences are prohibited.

5.3 On-site Architecture

Architectural design should express the character of a mixed use, commercial, and retail development center in a manner that is progressive and enduring. Individual creativity and identity are encouraged, but care must be taken to maintain design integrity and compatibility among all projects in order to establish a clear, unified image throughout the "MVF."

Design continuity can be accomplished through the sensitive massing of structures and limited use of materials and colors. This design strategy will provide a unifying thread throughout the various land uses while still allowing variety and individual expression to occur.

The Architectural design standards propose general guidelines that would enhance the integrity of the entire “MVF” development.

5.3.1 Architectural Standards

General building design guidelines for Mix of Uses, commercial, and retail uses are as follows:

- Distinctive architectural design shall be encouraged to create individual building identity. However, buildings must be compatible with adjacent development projects to achieve a sense of architectural continuity. Detailing may vary but all materials are to be durable, aesthetically pleasing and low maintenance.
- The building's scale should be a major determining factor in the architectural design and detailing. Long expanses of building walls may be ameliorated by employing a system of overlapping forms and heights.
- The architectural concept must be consistent throughout the individual project with consideration given to all sides. Distinctive hardscape and colorful landscaping should be used to identify and accentuate building entries.

5.3.1.1 Architectural Theme

The previous “MVF” theme was based upon examples of east coast markets and made many nautical architectural references. We find that this reference is not the most appropriate reference for this development. The intent of this specific plan is to develop the areas with more appropriate design features. Clean lines and a neighborhood friendly design are the focus of our concept. Our focus is on a pedestrian friendly development whether it is developed as commercial, retail, business park, medical or a hotel, it will provide the community with a connection on the human scale through detailing and finishing.



Figure 5-14 Architectural Character



Figure 5-15 Possible Retail Development Example



Figure 5-16 Possible Commercial Development Example

The designs are intended to be contemporary but allow for cultural specific design concepts to represent the diverse demographics of Moreno Valley, and loosely follow the modernist axiom "form follows function". Signage that complements the buildings will be used to establish identity from the State Highway, and entries for major tenants will be differentiated to heighten their importance relative to the in-line shops. The building forms and colors of the "MVV", while primarily designed for their visual impact from the State Highway, will also provide the architectural detail and articulation to capture the

pedestrians' interest. The use of trellises, canopies, and awnings are encouraged to mitigate tall building masses, and effect a more human scale.

A broader interpretation of the "MVF" style is anticipated for the outlying pad buildings. A varied and creative use of the design elements and materials illustrated in this manual will add to the festive appeal of the retail centers. It should also be recognized that pad tenants are often representing retail chains for which an established corporate image has already been developed. These tenants will adhere to the standards established for the overall development, yet retain their individual commercial identity.

The following guidelines apply to the architectural forms and materials in the "MVF" development:

Building Walls

- Tilt-up concrete, concrete block masonry, precast concrete panels and plaster are all appropriate substrates and finishes. Tilt-up concrete should be painted; concrete block should be sandblasted; split-face block should be plastered or painted; plaster should be uniformly textured with spray, sand and float finishes only.
- Concrete should be naturally colored grey or white concrete; plaster may be white, grey or light earth tones of primary hue.
- Use of glazed or unglazed ceramic tile, stone or metal panels are also permitted as facade and base treatments.
- Finish colors and materials shall be light, warm, and natural earth palette colors that match and blend with the surrounding environment. The colors and materials shall be selected from the approved list that shall be provided by the designated Owner design agent.

Accents

- Horizontal or vertical banding of tile or painted reveals is encouraged to add interest.
- Storefronts should be colored; mullions used in grid patterns are encouraged.
- Clerestory windows and skylights are encouraged as design elements to be expressed externally and internally.
- Colored tile panels and stucco forms may be used as an alternate to steel framing.
- Finish colors and materials shall be light, warm, and natural earth palette colors that match and blend with the surrounding environment. The colors and materials shall be selected from the approved list that shall be provided by the designated Owner design agent.
- Cantera Stone in a variety of colors.
- Murals.

Roofs

- Gable, hip, pyramidal and parapet roofs are permitted with pitches ranging from 3:12 to 5:12. Mansard roofs are discouraged.

- Metal standing seam and flat concrete tile roofs are acceptable. Spanish tile, wood shakes and flat clay tile shall also be permitted.
- Metal roofs should be painted to match the theme of the development. Concrete tile roofs should be limited to neutral colors.
- Roof tops should be designed to be visually attractive when viewed from adjacent buildings or roadways. Roof mounted equipment shall be concealed from public view to the extent possible. If exposed, equipment shall be screened by roof structure or architecturally integrated screening.
- Finish colors and materials shall be light, warm, and natural earth palette colors that match and blend with the surrounding environment. The colors and materials shall be selected from the approved list that shall be provided by the designated Owner design agent.

Canopies

- Exposed metal decking, plasters soffits and steel structures are permitted. Vinyl awnings and accent colors are encouraged; natural wood is encouraged.
- Columns may be plaster, sonotube concrete or concrete masonry.
- Finish colors and materials shall be light, warm, and natural earth palette colors that match and blend with the surrounding environment. The colors and materials shall be selected from the approved list that shall be provided by the designated Owner design agent.

Arcades

- Metal standing seam roofs as well as open steel and wood trellises, expanded metal and wood trellises, or fabric awnings may be used to create visual counterpoints and added interest.
- Colonnades of plaster, block, concrete and/or steel framing may be used to mitigate long expanses of wall.
Finish colors and materials shall be light, warm, and natural earth palette colors that match and blend with the surrounding environment. The colors and materials shall be selected from the approved list that shall be provided by the designated Owner design agent.

5.3.1.2 Signage

Retail commercial uses have specific signage requirements and designs which must be approved by the City of Moreno Valley. A detailed, comprehensive sign program shall be submitted for each proposed development application within the Specific Plan. The sign program shall describe sizes, colors, materials, and lettering styles for all project signs. Individual project signs shall be submitted to the master developer for review and approval. Three (3) copies of developer approved and signed plans shall be submitted to the City for review and approval.

The following sketches are provided to illustrate the proposed quality and design continuity in the "MVF" development, while permitting both individual creativity and commercial marketability for the tenant:



Figure 5-17 Retail / Commercial Example

5.3.1.3 Architectural Character

The Architectural character, especially for the retail elements, should portray a high quality image in a manner that is both progressive and timeless

Appropriate Characteristics for Retail elements:

- Style that enforces neighborhood retail market image.
- Spaces that encourage connection to foot traffic from the existing residential neighborhoods
- Opportunities for outdoor dining
- Clean, smooth, efficient lines which emphasize horizontality
- Distinctive, but compatible image



Figure 5-18 Example of Appropriate Characteristics for Retail

Inappropriate Characteristics for Retail elements:

- Trendy styles
- Tricky, complicated, arbitrary forms
- Sharp contrast with surroundings
- Dull unarticulated and flat elevations with sharply contrasting non-harmonious color schemes.



Figure 5-19 Example of Inappropriate Characteristics for Retail

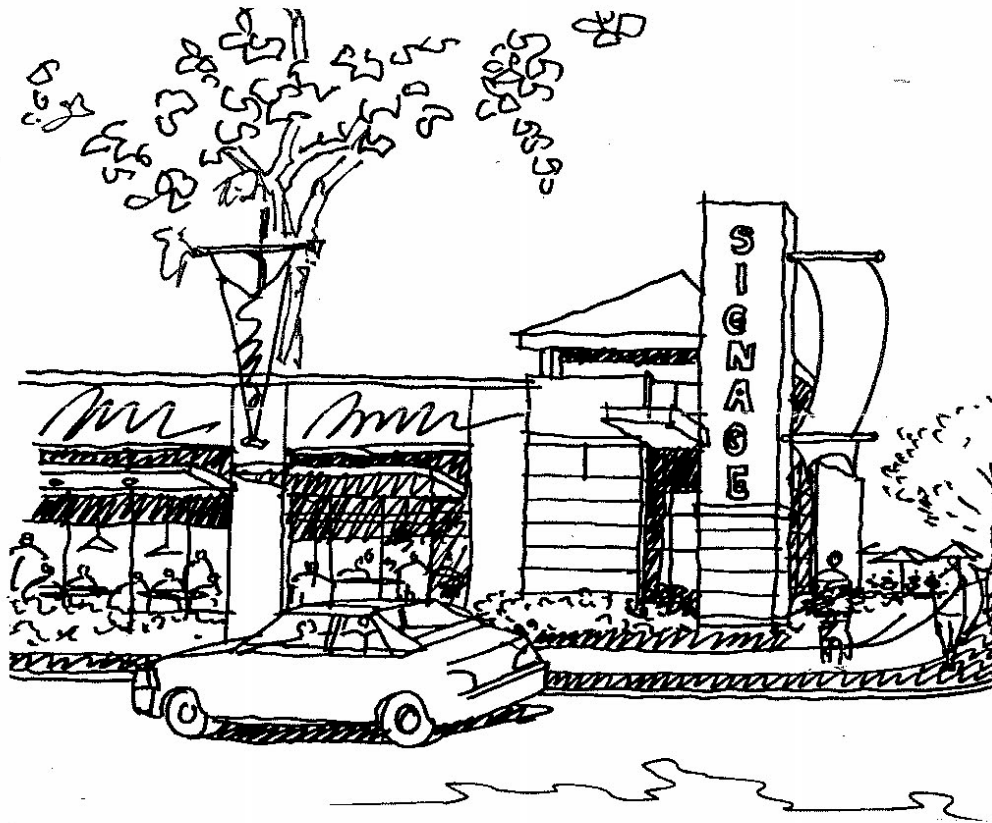


Figure 5-20 Example of Appropriate Characteristics for Retail

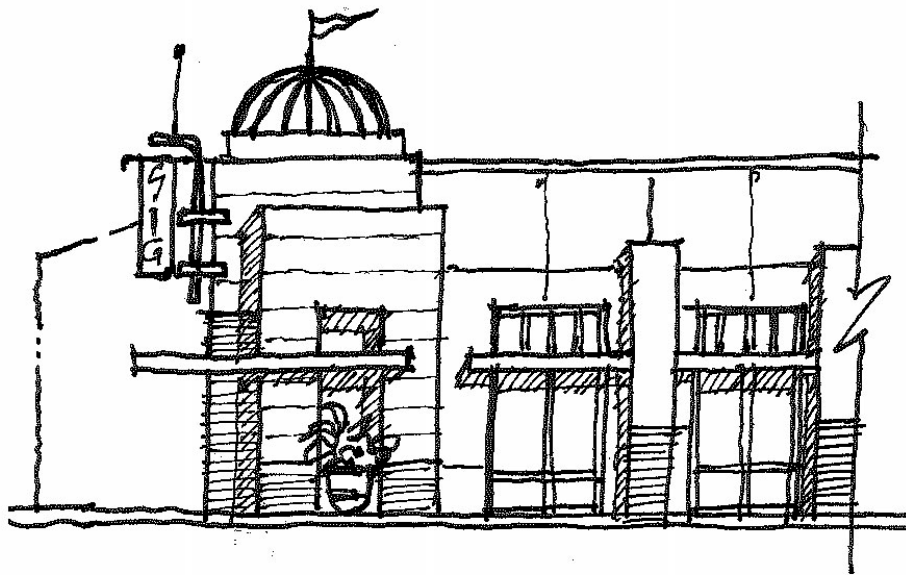


Figure 5-21 Example of Appropriate Characteristics for Retail

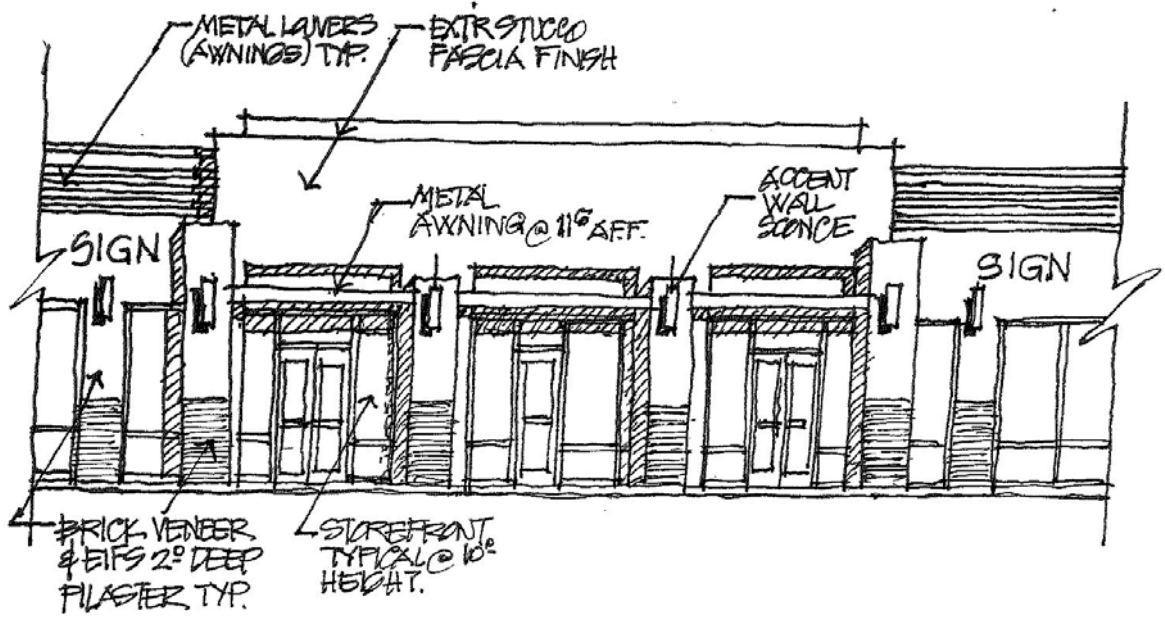


Figure 5-22 Example of Design Detailing for Retail

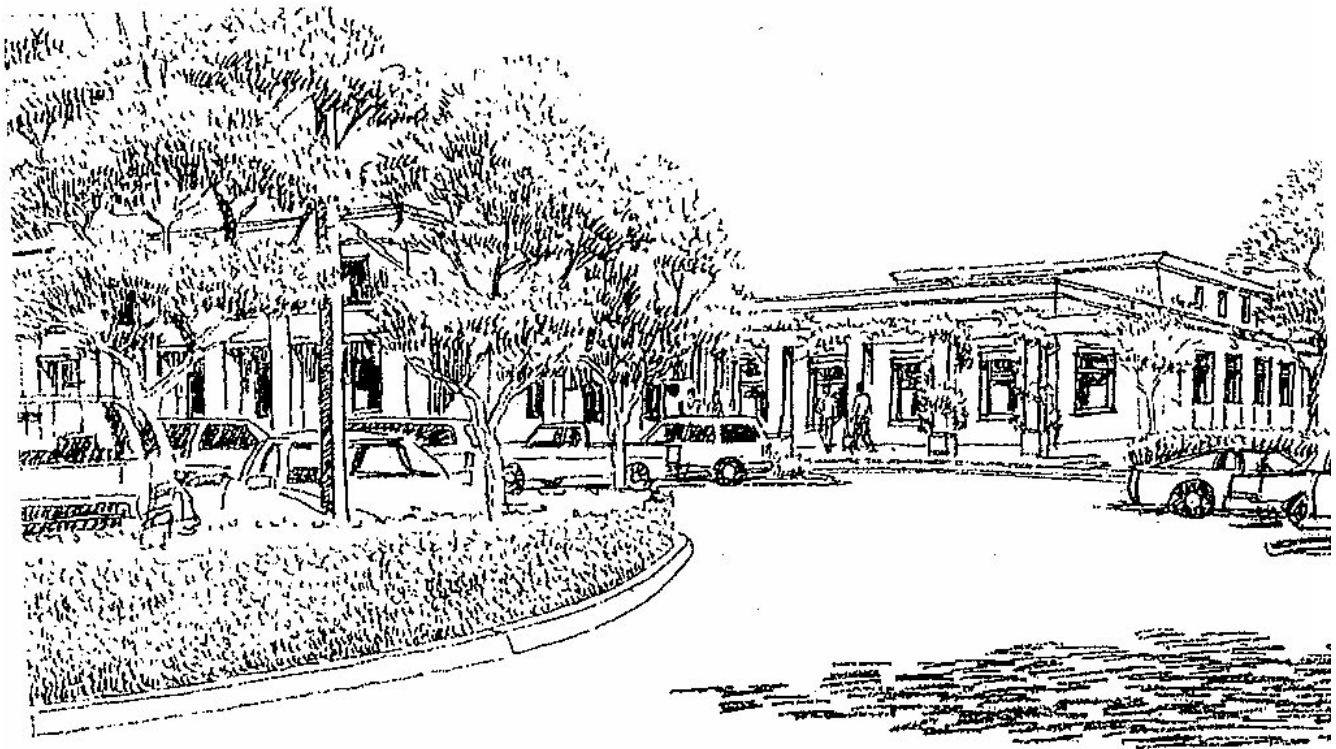


Figure 5-23 Example of Design Aesthetic for Retail

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

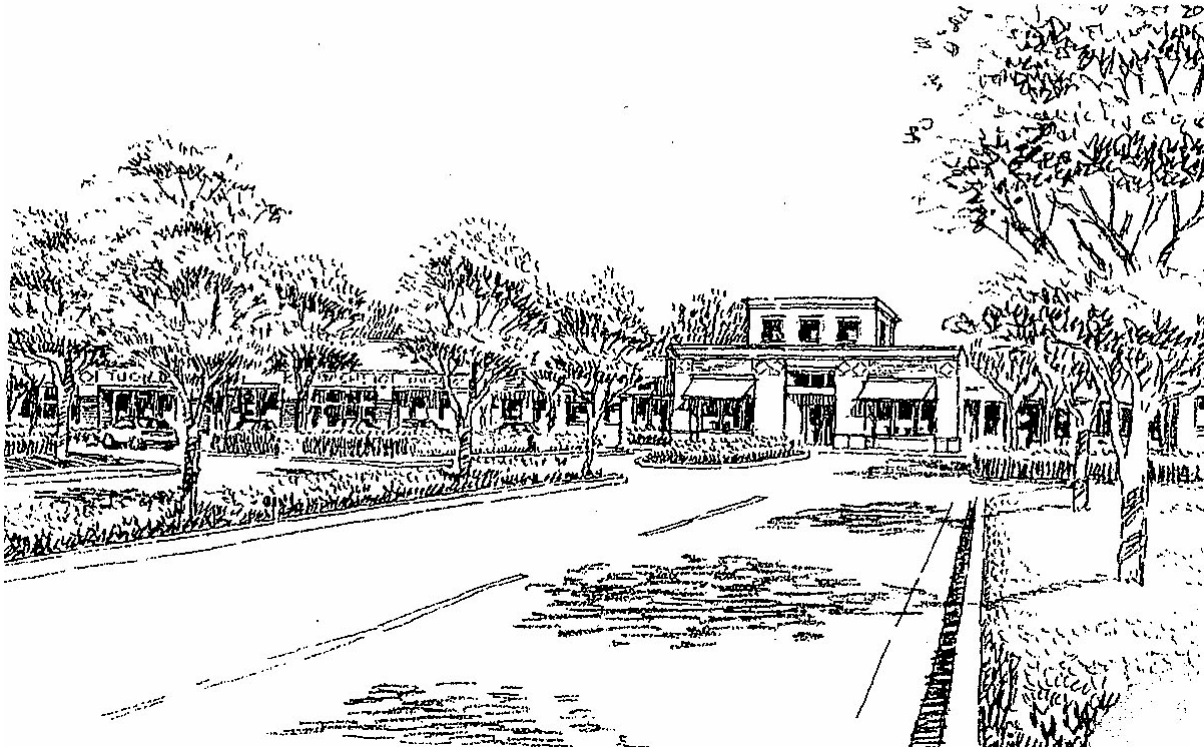


Figure 5-24 Example of Design Aesthetic for Retail

5.3.1.4 Exterior Building Materials

Exterior finishes shall be durable, attractive, consistent, and complementary in color and style:

Walls

- STUCCO: Spray machine finish color to match specifications provided by owner specified design agent.
- MASONRY: Split-face concrete masonry units in natural grey or a tone of beige color.
- METAL: Decorative and shear wall metal panels are permitted. Metal panel and structural specifications shall match the Owner's specified design agent.

Roofs

- Concrete, built up, membrane, composition shingle or flat clay tile roof materials should match specifications provided by the Owner's specified design agent.

Accents

- PAINT: To match specifications provided by the Owner's specified design agent.
- DECORATIVE PATTERN TILES: To match specifications provided by the Owner's specified design agent.
- VENEERS: Brick and Stone veneers to match specifications provided by the Owner's specified design agent.

Paving

- FIELD: Natural concrete in broom, sandblasted or exaggerate finish, and brick pavers.
- ACCENT: Stamped concrete in 6x6 or 12x12 grid patterns color to match specifications provided by owner specified design agent.

*Substitutions and additions to the above materials and colors may be permitted with review by owner specified design agent and the City of Moreno Valley.

5.3.1.5 Design Details

Detailing should be clean, clear and straightforward. Details should reinforce overall design unity, interest and scale.

Appropriate Treatment

- Coordinated mullions and details
- Expression and alignment of structural connections
- Finishes commensurate with building materials
- Coordinated entry spaces and landscaping
- Use of Cantera Stone / Hard Foam / Stucco Cornices and Water Scuppers

Inappropriate Treatment

- Insufficient or excessive detailing
- Inadequate interface between materials
- No indication of scale
- Lack of interest

5.3.1.6 Ground-Mounted Equipment

All exterior ground-mounted equipment-including, but not limited to, mechanical equipment, electrical equipment, emergency generators, boilers, storage tanks, risers, electrical conduit, gas lines, cellular telephone facilities, and satellite dishes must be screened from on-site and off-site view, per Municipal Code, Chapter 9.08 - General Development Standards. Wall-mounted equipment is not allowed.

Appropriate Treatment:

- Ground equipment hidden by screen walls or landscaping
- Screen walls of same or similar material as building walls
- Vines, shrubs, trees on rear and sides of enclosure



Figure 5-25 Example of Appropriate Ground Mounted Equipment Screening

Inappropriate Treatment:

- Screen material contrasting with adjacent surfaces
- Wood or chain link fencing
- No planting areas for vines, shrubs, and trees, at the rear or sides of walled enclosures



Figure 5-26 Example of Inappropriate Ground Mounted Equipment Screening

5.3.1.7 Roof-Mounted Equipment

All roof-mounted equipment including, but not limited to, mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, skylights, vents, exhaust fans, smoke hatches, and ducts must be below the top of the parapet or equipment screen. Roof access shall be through roof hatches, not exterior ladders. Roof hatches shall be located so that guardrails at parapets are not required.

Appropriate Treatment

- Rooftop screens should be provided to screen the equipment and align with the Architectural theme.
- All roof mounted mechanical equipment shall be screened from the ground elevation view to a reasonable sight distance. Above ground utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments.

Inappropriate Treatment

- Rooftop equipment extending above parapet or screen
- One-sided rooftop screens that do not hide the equipment from view from secondary streets or from adjacent sites
- Rooftop screens too close to parapet
- Rooftop screens not related to building geometry
- Wood rooftop screens

5.3.1.8 Ancillary Structures

On a case by case basis, additional buildings may be required to house functions for the proper operation of the facility. The design guidelines found herein apply to all structures regardless of the time of construction, location on site, or use they contain.

5.3.1.9 Building Appurtenances

On a case by case basis, the proper functioning of a facility may require a piece of equipment, ductwork, shaft, conveyance mechanism, etc. to be physically added to the side of the main building. These appurtenances must comply with the guidelines stated herein to allow for aesthetic continuity.



Figure 5-27 Example of Building Appurtenance

5.4 On-site Landscaping

5.4.1 Objectives

Landscaping is an important element contributing to the identity and unity of the “MVF.” As such, all landscaping for the project shall:

- Promote a pleasant, distinctive, environment,
- Augment internal cohesion and continuity within the “MVF”;
- Enhance the structured urban design concept of the “MVF,” and;
- Promote water conservation.

The landscaping design concept is focused toward:

- Providing a clean, contemporary visual appearance,
- Coordinating the landscaping treatment along State Highway and surface streets to emphasize the circulation system,
- Coordinating streetscapes within the “MVF” to unify its general appearance, and
- Coordinating on-site landscaping design continuity among individual development sites within the “MVF.”

The following guidelines present parameters for general landscape design, water conservation, streetscapes, and on-site landscaping.

General landscape criteria for the “MVF” are listed in Section 5.4.3. Project developers must adhere to those criteria as well as the guidelines for individual

parcel development. Each individual project site within the "MVF" development has been divided into two distinct landscape zones:

- The Transition Zone which includes the property between the landscape setback and buildings or parking lots within individual developments.
- The Interior Zone which includes all other landscape areas located on individual parcels.

Landscape guidelines for the two zones differ and it is advisable for project developers to be aware of the requirements before submitting a landscape plan for review by the City of Moreno Valley. Landscape requirements for the Transition Zone have been established to insure a sense of continuity between individual parcels and the general development areas. All areas within this zone must "Incorporate a minimum of sixty percent (60%) of the same trees in the general development area adjacent to the parcel. Guidelines for the Interior Zone allow for the individual project's identity to be reinforced through the use of a variety of plant materials. However, in order to strengthen The "MVF" landscape theme, plant materials within this zone shall be selected from the "Project Plant List" in Section 5.4.4. A simplified palette of plant materials, including evergreen and deciduous trees, should be used in order to maintain the desired landscape theme for each individual lot.

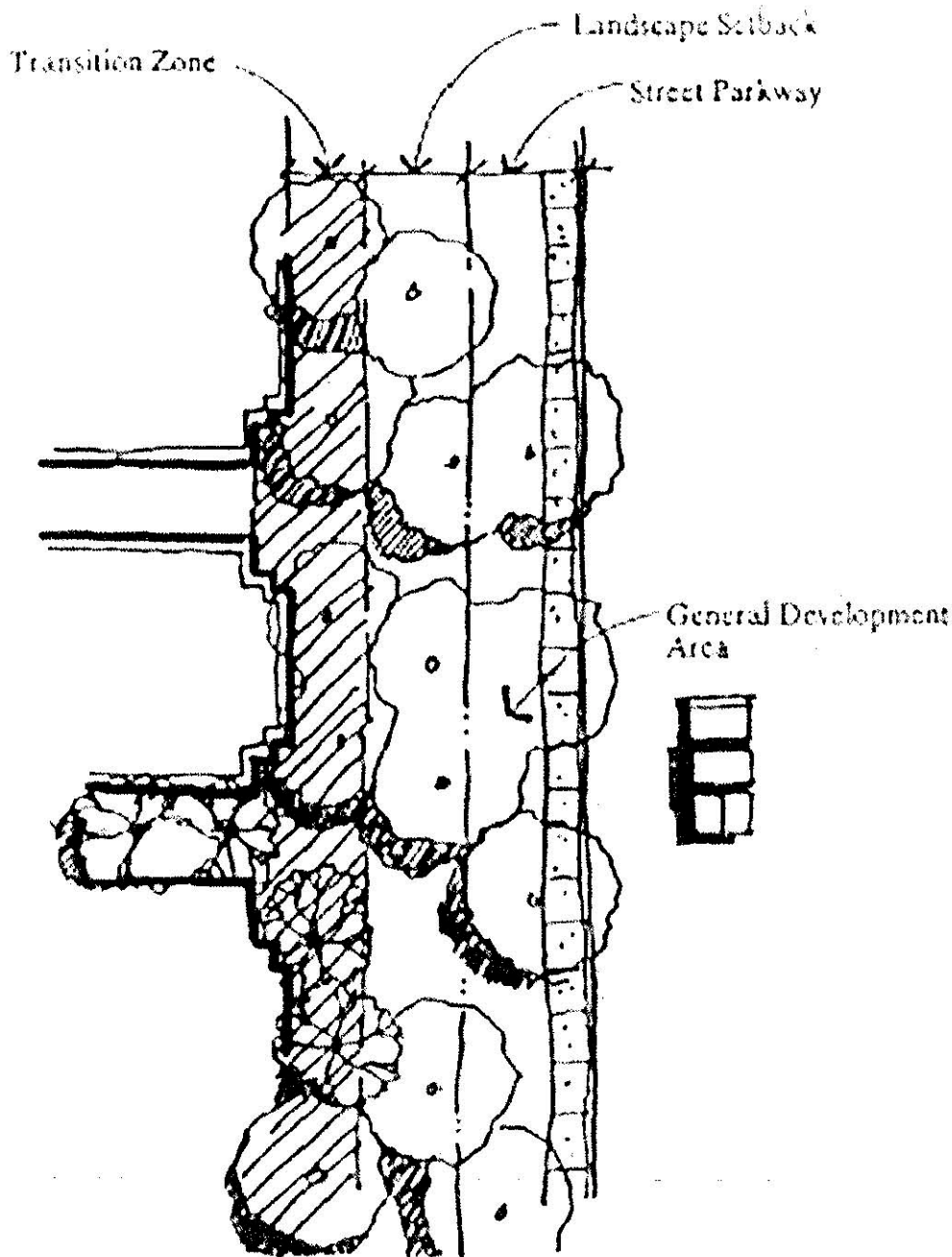


Figure 5-33 Onsite Landscaping Standards

5.4.2 Water Conservation Measures

The "MVF" employs an aggressive approach to water conservation. Every element of the landscape program has been evaluated to determine how to achieve the project's landscape goals while maintaining maximum water efficiency. From the formulation of the overall landscape concept, through each level of the design process, to the day-to-day maintenance practices of the installed materials, conservation of limited water resources is a primary focus. At maturity, the landscaping at the "MVF" project will provide a strong, clean,

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

simple design element, demonstrating the “MVF” commitment to the creation of a sustainable neighborhood environment.

The landscape program will incorporate the following design elements and practices to minimize the use of limited water resources:

Project Design:

- Design project so that pads, streets and other paved areas drain to landscape areas, medians and parkways.
- Maximize water harvesting, detention and treatment techniques throughout the project.
- Direct rooftop and parking area runoff to bio-swales, basins or landscaped areas

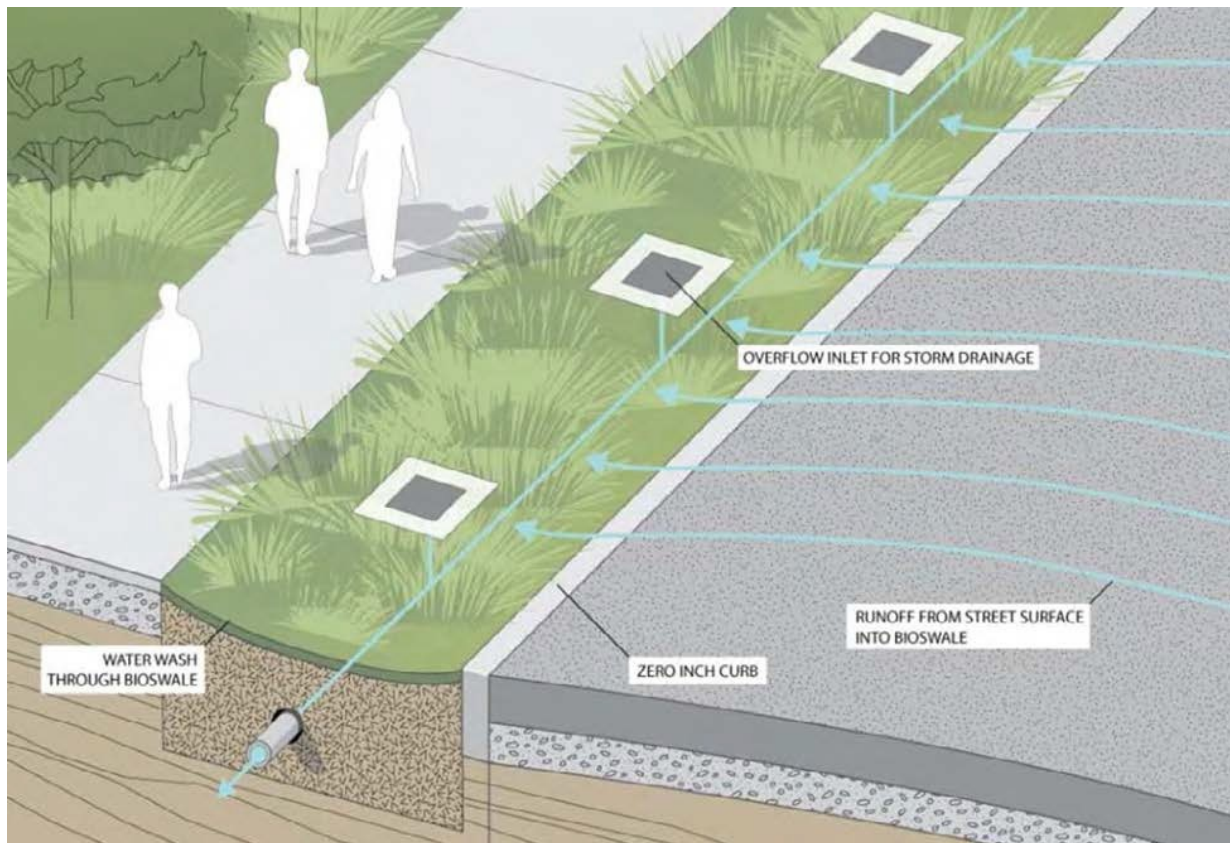


Figure 5-34 Off-site Water Management Plan



Figure 5-35 Example of Bio-swale

5.4.3 Landscape Criteria

Onsite landscaping is to be coordinated in a manner that enhances overall continuity of development in the “MVF,” while providing for the individual identity and needs of each project within. The design must address the following criteria.

- Landscaping should be used to reinforce site planning principles, such as using trees to define parking lots and drive aisles.
- Plant materials for on-site landscaping are to be selected from the Plant Selection List, Section 5.4.4.
- Flexibility in the choice of plant materials is limited along street frontages and site perimeters to enhance landscaping coordination along common frontages, but increases toward the site interior to accommodate individual design.
- Landscaping in parking areas shall comply with the standards contained in the Municipal Code.
- Planting areas for vines, shrubs, and trees is required at the rear and sides of walled enclosures, including trash enclosures.
- Comprehensive planting, including trees, is required along all screen walls, buildings and site perimeters.
- All projects which include designated truck loading areas shall screen such areas from view from adjacent public streets and from onsite visitor parking and building entry areas. Such screening shall be accomplished with solid block walls and opaque metal gates.
- Landscaping within truck loading areas, not visible from public view, shall be designed to be sustainable without artificial irrigation, relying on rainfall

and runoff from adjacent impervious surfaces (i.e. truck yards and building roofs); landscaping is not required for gated truck courts.

- The landscape design shall also incorporate sustainable techniques to capture and direct rainfall runoff to these landscape areas. These areas may include slopes, water quality basins and drainage facilities. Rock or organic mulch shall be placed between plantings to provide coverage and erosion protection.
- Landscaping in visitor parking areas and any other areas visible from public view shall have a higher level of landscape treatment and shall utilize an automatic irrigation system to maintain the desired level of landscape appearance. The landscape design shall incorporate sustainable design techniques to capture and direct rainfall runoff to landscape areas, reducing the need for supplemental irrigation.

5.4.4 Landscape Planting

All trees to be 15 gallon, minimum, unless otherwise noted.

Evergreen Trees

- Pinus Halepensis
 - Acacia Baileyana
 - Geijera parviflora
 - Pinus canariensis
 - Schinus molle
 - Tristania conferta
 - Schinus molle
 - Quercus ilex
 - Rhus lancea
 - Pinus eldarica
 - Rhapsiolepis 'Majestic Beauty'
 - Washingtonia robusta
 - Chilopsis linearis
 - Magnolia grandiflora
- Aleppo Pine
 - Bailey Acacia
 - Australian Willow
 - Canary Island Pine
 - California Pepper Tree
 - Brisbane Box
 - California Pepper
 - Holly Oak
 - African Sumac
 - Mondell Pine
 - Indian Hawthorn
 - Mexican Fan Palm
 - Desert Willow
 - Southern Magnolia

Deciduous Trees

- Bauhinia variegata
 - Eucalyptus nicholii
 - Koelreuteria paniculata
 - Liquidambar styraciflua
 - Cinamomum camphora
 - Jacaranda mimosifolia
 - Albizia julibrissin
 - Lagerstroemia indica
 - Platanus racemosa
 - Platanus acerifolia
 - Cercidium 'Desert Museum'
 - Gleditsia triacanthos
 - Cercis occidentalis
- Purple Orchid Tree
 - Red Ironbark
 - Golden Rain Tree
 - American Sweetgum
 - Camphor Tree
 - Jacaranda
 - Mimosa
 - Crape Myrtle
 - California Sycamore
 - London Plane Tree
 - Palo Verde
 - Honey Locust
 - Western Redbud

Shrubs

- Escallonia fradesi
 - Heuchera spp.
 - Lantana spp.
 - Ligustrum japonicum 'Texanum'
 - Dietes iridioides
 - Nandina domestica-dwarf cultivars
 - Rhapsiolepis indica 'Clara'
 - Leucophyllum texanum
 - Salvia greggii
 - Rosmarinus 'Tuscan Blue'
 - Dodonaea viscosa
 - Callistemon 'Little John'
 - Muhlenbergia rigens
 - Muhlenbergia capillaris
- NCN
 - Coral Bells
 - Lantana
 - Texas Privet
 - Fortnight Lily
 - Dwarf Heavenly Bamboo
 - Indian Hawthorn
 - Texas Ranger
 - Autumn Sage
 - Rosemary
 - Hopseed Bush
 - Bottle Brush
 - Deer Grass
 - Pink Muhly

- Westringia fruticosa
 - Bougainvillea spp
 - Aloe spp.
 - Encelia farinosa
- Coast Rosemary
Bougainvillea
- Brittlebush

Ground Covers

- Leymus condensatus 'Canyon Prince'
 - Myoporum parvifolium
 - Trachelospermum jasminoides
 - Baccharis pilularis 'Twin Peaks'
 - Senecio mandraliscae
 - Rosmarinus officinalis 'Prostratus'
 - Bougainvillea spp.
- Lyme Grass
NCN
Star Jasmine
Dwarf Coyote Brush
NCN
Prostrate Rosemary
Bougainvillea

5.4.5 Minimum Landscape Areas

If parking or access drives are located between any building and a public street frontage, a 15-foot minimum landscaping area is required between the parking or drive aisle and the building. On other sides of the building, a 10-foot minimum landscaping area is required between the parking or drive aisle and the building, except in loading areas.

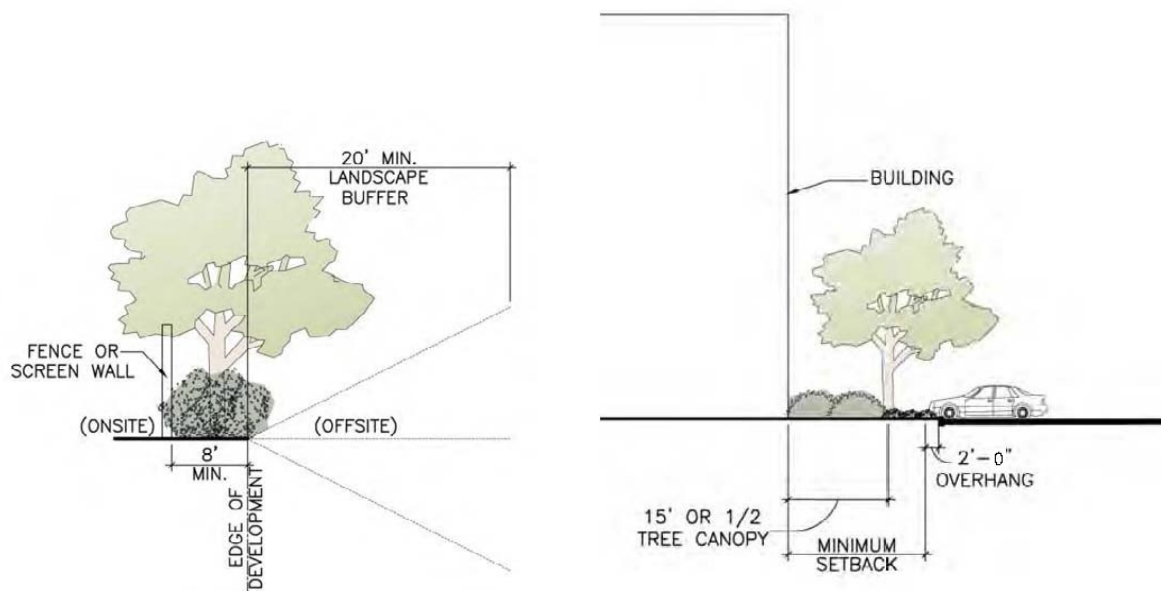


Figure 5-36 Minimum Landscape Areas

1. A minimum landscape zone of 15 feet is required along building perimeters facing a roadway frontage.
2. A minimum landscape zone of 10 feet is required along all other building perimeters except loading areas.
3. A minimum landscape zone of 5 feet is required along all internal property lines.
4. A minimum flat landscape zone of 8 feet is required next to screen walls facing the street (Figure 5-44).

Note: If perpendicular parking spaces are located adjacent to the minimum landscape zone, then a 2'-0" minimum parking overhang is required in addition to the above measurements (17' 0", 12'-0" and 7'-0" respectively).

Trees along screen walls, buildings and site perimeters should be planted at 15 feet or half (1/2) the tree canopy spread from the face of building.



Left: Landscape Setbacks on Slopes

Right: Landscape Setbacks from Face of Building.

Figure 5-37 Landscape Setbacks

5.4.6 Furnishings

5.4.7 Site Furnishings

Site furnishings such as benches, tables, trash receptacles, planters, tree grates, kiosks, drinking fountains, and other pedestrian amenities should be integral elements of the building and landscape design, and placed at building entrances, open spaces and other pedestrian areas to create a pedestrian friendly environment. Site furnishings should not block pedestrian access or visibility to plazas, open space areas and/or building entrances and should be made of durable, weather-resistant materials.

5.5 On-site Lighting

5.5.1 Objectives

Exterior lighting is to be provided to enhance the safety and security of motorists, pedestrians and cyclists.

Lighting is intended to create a nighttime character that contributes to the identity and unity of the "MVF" as a quality business and retail location.

To reinforce identity and unity, all exterior lighting is to be consistent in height, spacing, color and type of fixture throughout the building site.

5.5.2 General On-site Lighting Parameters

A consistency in design elements should be reflected in all project components, including lighting. Individual project developers may select their own light fixtures but are encouraged to use those recommended in the following guidelines:

- Onsite lighting includes lighting for parking areas, vehicular and pedestrian circulation, building exteriors, service areas, landscaping, security and special effects.
- All exterior on-site lighting must be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent lots.
- Lighting fixtures are to be of clean, appropriate design.
- Lighting must meet all requirements of the City of Moreno Valley.
- Adjustable outdoor lighting fixture mounts are prohibited. All fixtures shall be permanently installed to maintain shielding requirements (except landscape and ornamental lighting), per Municipal Code, Chapter 9.08 General Development Standards.
- Lights mounted on the roof and to the roof parapet are not permitted.
- Wall-mounted light fixtures used to illuminate vehicular parking lots are not permitted, per Municipal Code, Chapter 9.08 General Development Standards.
- Wall-mounted utility lights that cause off-site glare are not permitted. "Shoebox" lights are preferred.
- Billboard lighting pointed upward is prohibited, per Municipal Code, Chapter 9.08 General Development Standards.
- All site, landscape or building exterior lighting should be of a configuration, style and finish color that complements the architectural theme and materials established by the building architecture.
- Parking lot light fixtures and screening shall comply with Moreno Valley Municipal Code Title 9 Planning & Zoning, Chapter 9.08 General Development Standards.
- Small scale walkway or building entry lighting is encouraged for safety and aesthetic purposes. Sandblasted concrete bollards or a fixture compatible with the selected parking lot fixture may be used where deemed appropriate.

- High intensity lighting should not be substituted for site or landscape lighting or general building exterior illumination, but should be limited to rear service areas or other similar locations.
- Lighting should be designed to avoid light spillover into adjacent properties. The use of shielded light fixtures will be necessary on parcels that adjoin residential neighborhoods.
- Pole bases may be round or square. Pole bases in planting areas may be no higher than 6 inches above grade.
- Both luminaires and poles are to be white with a clear bulb, per Municipal Code, Chapter 9.08 General Development Standards.
- All luminaires shall be metal halide or L.E.D.

5.5.3 Driveways and Parking Area Lighting

- Pole height at Driveways 25' Maximum
- Pole height at Parking Area 20' Maximum

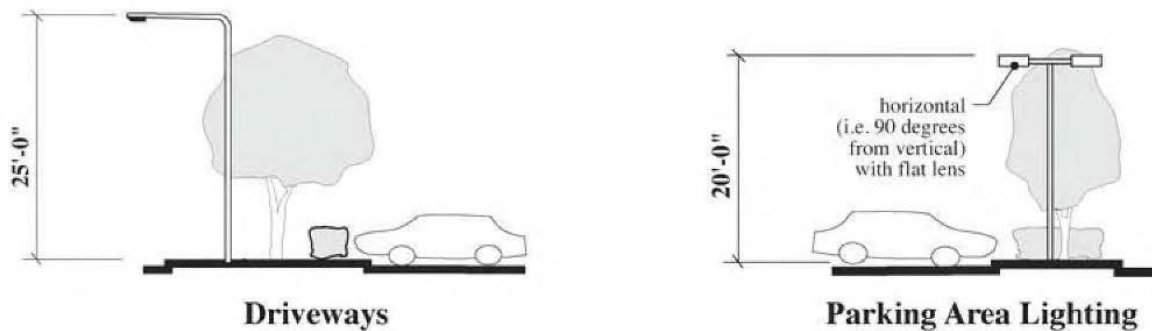


Figure 5-38 Parking Area Lighting

5.5.4 Pedestrian Circulation Lighting

- Pedestrian walkways and building entries will be illuminated to provide lighting for pedestrians and to clearly identify a secure route between parking areas and points of entry to the building.
- Walkway lighting must have cut-off fixtures mounted at a uniform height no more than eight (8) feet above the walkway.
- Building entries may be lit with soffit, bollard, step or comparable lighting.

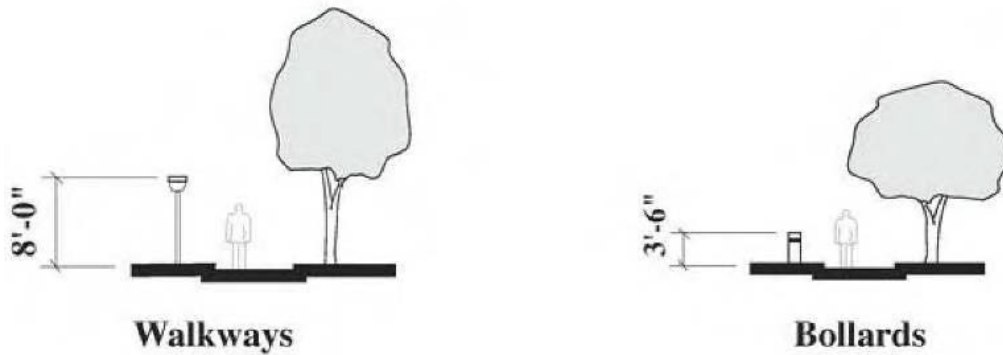


Figure 5-39 Pedestrian Area Lighting

- Step or bollard lighting shall be used to clearly illuminate level changes and handrails for stairs and ramps.
- Bollards may be used to supplement and enhance other pedestrian area lighting. Bollard height shall not exceed forty-two (42) inches.
- Courtyards, arcades and seating areas shall be illuminated to promote pedestrian use and safety. A variety of lighting may be used to create interest and special effects in coordination with the character and function of the area.
- Pedestrian lighting shall be subdued warm-white Mercury, LED, or incandescent lamps.

5.5.5 Architectural Lighting

- Architectural lighting effects are encouraged to promote nighttime identity and character.
- All exterior architectural lighting shall utilize indirect or hidden lighting sources. Acceptable lighting includes wall washing and overhead down lighting.
- Building entry areas should be lit so as to provide a safe and inviting environment.

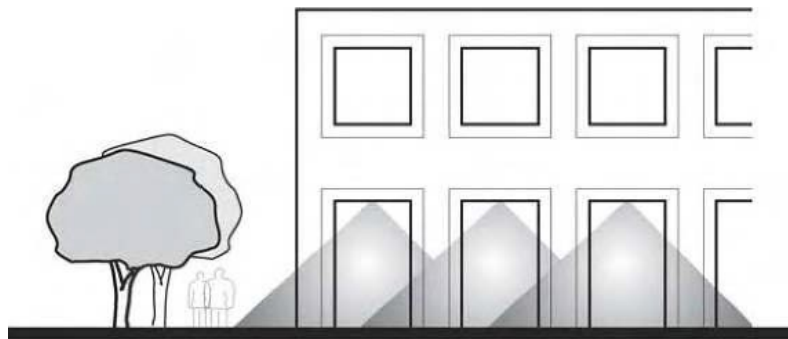


Figure 5-40 Illumination from building

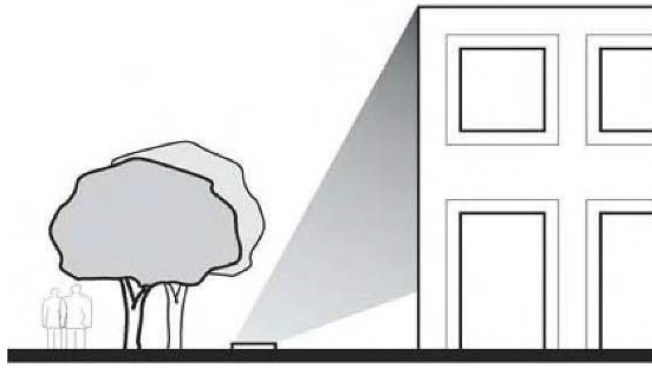


Figure 5-41 Illumination onto building

5.5.6 Service Area Lighting

Service area and security lighting must be visible only within the limits of the service area.

- Wall-mounted, security-type, service area lighting fixtures may be used only in screened service areas and only if direct light is kept within these areas. In all other areas, wall-mounted service lighting must consist of cutoff type fixtures.
- Service area and security lighting may not be substituted for pedestrian, architectural or parking area lighting.
- Freestanding fixtures shall be painted the same as parking area fixtures. Any wall-mounted fixtures should be compatible with the wall.

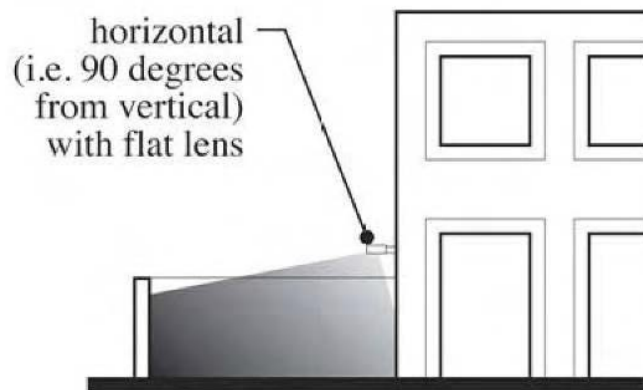


Figure 5-42 Service Area Lighting

5.5.7 Accent Lighting

Unique lighting may be used to feature architectural elements, landscaping, entries and pedestrian areas, provided it is compatible with all other lighting. Accent lighting used in landscaping and pedestrian areas shall employ light sources such as Metal Halide, Quartz or L.E.D in order to accurately render plants, vegetation, and skin colors.

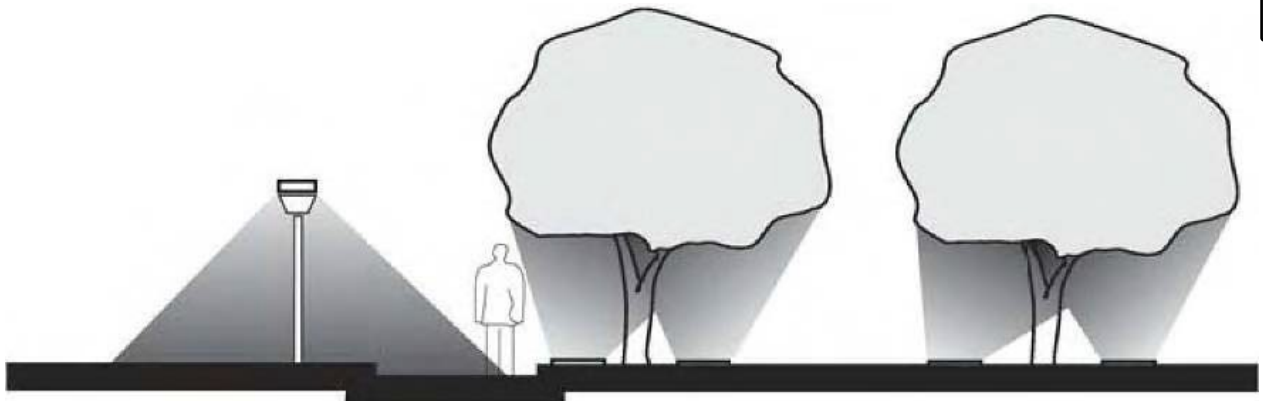


Figure 5-43 Pedestrian Path Lighting



Figure 5-44 Pedestrian Seating Area Lighting

5.6 On-site Utilities

5.6.1 Utility Connections and Meters

All utility connections and meters shall be coordinated with the development of the site and should not be exposed, except where required by the utility. Utility connections should be integrated into the building or screened by landscape.

5.6.2 Pad-Mounted Transformers and Meter Box Locations

Pad-mounted transformers and/or meter box locations shall be screened from view from surrounding properties and public rights-of-way. Utilities shall be located underground, wherever possible.

5.6.3 All Equipment shall be Internal to Buildings

All equipment shall be internal to buildings to the greatest extent possible. When unfeasible, all such equipment shall be screened and not prominently visible from public rights-of-way.

5.6.4 Utilities (including backflow preventers, detector check assemblies, transformers, etc.)

All utilities are to be installed underground. Easements for underground utilities that preclude the planting of trees may not be located where the design guidelines require the planting of trees. Any necessary above ground equipment such as detector check assemblies, backflow preventers, transformers, etc., shall be screened from view from public areas by landscaping.

Domestic water service shall be extended through development sites in an easement to EMWD. The water line and easement shall be placed in easily accessible locations, such as drive aisles. Fire service and domestic water services and meters shall tie into this line. This line may become part of a loop system and the property owner may need to tie into the public mainline to provide a loop water system to provide adequate water volumes to fire hydrants.

6.1 SUSTAINABILITY

It is the intent for this development to be a model of sustainability. While this goal is measured in many different ways and the elements of sustainability are constantly evolving, it remains the intent of the "MVF" to be on the forefront of environmentally sensitive development. The following are some ways individual projects can incorporate elements of sustainability:

- Promote public transportation as an alternate form of transportation.
- Encourage carpooling and provide charging stations for electric cars.
- Promote the riding of bicycles, through the provision of bike racks / storage.
- Implement the most current storm water management programs, including on-site water capture methodologies.
- Reduce the 'heat-island' effect by incorporating lighter paving materials where possible and light roofing materials on all structures.
- Employ adequate shielding features to ensure zero light spill offsite.
- Incorporate drought tolerant plant materials throughout.
- Minimize water use in restrooms, showers and changing rooms.
- Recommend that developers apply beyond code-required commissioning in order to ensure all mechanical and electrical equipment are operating efficiently and are not wasting energy.
- Incorporate on-site renewable energy.
- Employ a recycling program.
- Divert construction waste from landfills, per Municipal Code, Chapter 8.80 - Recycling and Diversion of Construction and Demolition Waste.
- Incorporate recycled materials where feasible.
- Ensure high indoor air quality standards.
- Incorporate low-emitting adhesives, paints, coatings, and flooring systems.
- Increase the amount of day-light into the interior spaces.
- Increase the amount of interior space with exterior views.
- Incorporate the best available technologies or best management practices where feasible.
- Utilize onsite electric power sources as much as possible to minimize the use of portable, mobile power generators.
- Apply water conservation measures, as discussed in Section 5.4.2 - Water Conservation Measures.

7.1 SIGNAGE

Refer to **Appendix 1 – Signage Package** reflecting the general design approach and objective for reference. All signage in this Specific Plan shall conform to an approved Sign Program on file with the City of Moreno Valley.

7.2 Entry Monument Signage

One type of monument sign will be incorporated into all of the entry treatments. The design criteria for this sign are as follows:

- The maximum height of the front wall panel will be maximum 7 feet, with each end panel sloping to a minimum height of 4 feet. The length of the entire wall will be maximum 30 feet.
- The front panel will display the project's name and logo. Horizontal reveals will be featured as accents.
- Sign lettering will be a contrasting color which complements the natural tones of the stone and signage elsewhere in the development.
- The project's logo will be a raised form on the finished surface.

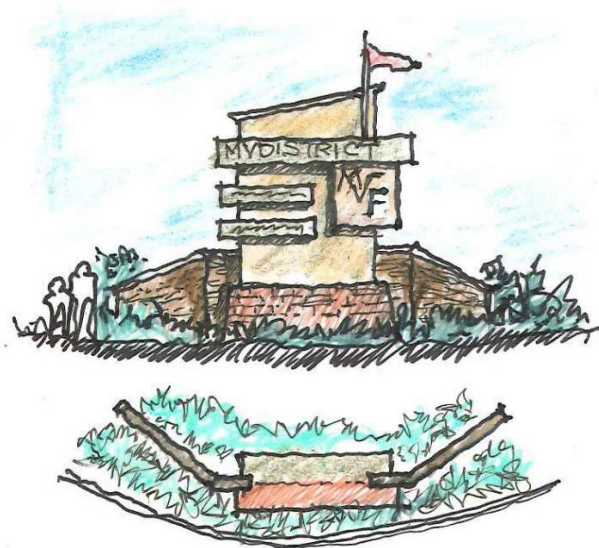


Figure 7-1 Entry Monument Signage

7.3 Temporary Marketing Signage

Temporary marketing signage will utilize durable, yet inexpensive materials and construction techniques.

The signs will be built according to the following guidelines:

- Temporary signs shall not be located in public rights-of-way, in streetside landscape areas or in required parking spaces and shall, in all ways, comply with appropriate provisions of the city's sign ordinance, per Municipal Code, Chapter 9.12 – Sign Regulations.
- The temporary marketing sign(s) will be 8 inches deep with a maximum height of 16 feet 6 inches and a maximum width of 9 feet.
- Signs will be constructed of wood with plywood sign faces, set on a wooden base. The entire sign will be painted white.

- All temporary signs, including “coming soon” signs shall be regulated by the city’s sign ordinance.

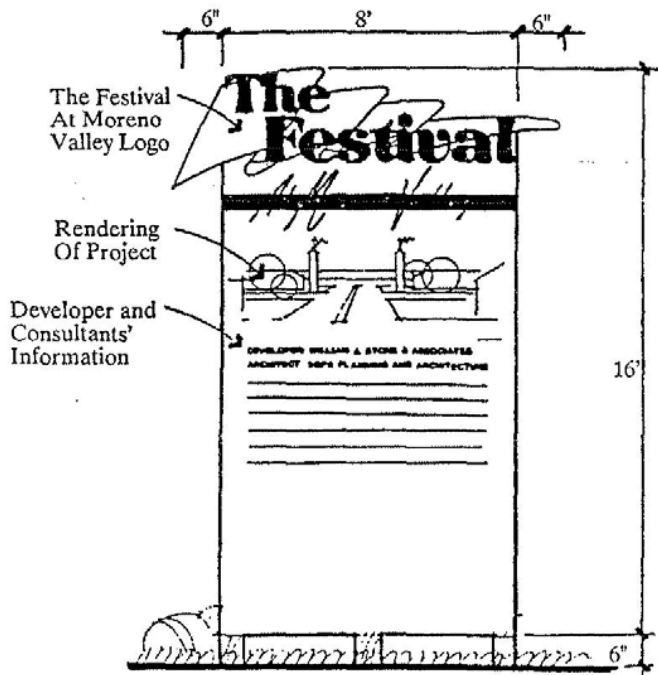


Figure 7-2 Temporary Signage

7.4 Regulatory Signage

All regulatory signage (traffic control, public safety, etc.) shall comply with Municipal Code standards, Chapter 9.12.

7.5 State Highway Signage

There will be two (2) State Highway Monument Signs identifying the “MVF” and visible from both eastbound and westbound traffic on the 60 State Highway. The signs should be located within six hundred sixty (660) feet from a State Highway right-of-way and will not exceed forty-five (45) feet in height and one hundred fifty (150) feet in sign area, per Municipal Code, Chapter 9.12 – Sign Regulations. The design criteria for these signs shall be set forth in an exhibit to this document or along with an application for permits from the City in the future.

Attachment: Exhibit A to Ord 935 Specific Plan Amendment (3087 : Majestic Moreno Valley and Festival Specific Plan)

8.1 PROJECT PHASING

8.2 Infrastructure Phasing

Each project within the "MVF" will be supported by the requisite infrastructure as needed, subject to federal, state and local codes.

Each plot plan will include proposals for specific infrastructure improvements needed to support each proposed building.

These improvements shall be consistent with the overall infrastructure plans serving the "MVF."

9.1 PROPERTY MAINTENANCE

9.2 On-site Improvements

On-site improvements shall be maintained by the property owner or tenant, pursuant to private contractual terms.

9.3 Common Area Improvements

Major slopes, landscape areas, community entries, community signage, etc., shall be maintained by an owner assigned design review agent or through a Business Improvement District (BID).

9.4 Streets

Public streets (curb-to-curb), public sidewalks shall be maintained by the City of Moreno Valley.

10.1 IMPLEMENTATION

10.2 Purpose and Intent

This section contains the procedures for the processing of discretionary development applications to implement the terms of the “MVF” Specific Plan. The City will review all development within the project to ensure compliance with the provisions of the Specific Plan.

10.3 Approvals required

All development within the “MVF” is subject to the approval of a Plot Plan or a Conditional Use Permit, in conformance with these procedures. Modifications to the development standards contained in the Specific Plan may be requested by any property owner and may be approved by the City through the variance processes described in Section 11.3.3 herein.

10.4 Development Review Process

10.4.1 Subdivisions

All proposed subdivisions within the “MVF” shall be processed in accordance with the provisions of the State of California Subdivision Map Act and the Municipal Code.

10.4.2 Plot Plans

- Unless a Conditional Use Permit is required, a development proposal within the “MVF” shall be subject to the approval of a Plot Plan as described herein. Property and building maintenance activities such as painting, site or building repairs, parking lot resurfacing/restriping, and landscape maintenance and repair, etc. are exempt from these regulations.
- The Plot Plan process is intended to ensure that all development proposals comply with all applicable standards and guidelines contained in this Specific Plan, and are not detrimental to public health, safety or welfare.
- Plot Plan applications shall be submitted to the City in conformance with the procedures contained in the Municipal Code.
- A Plot Plan shall be approved within 90 days if all of the following findings are made:
 - The proposed project is consistent with the goals, objectives and policies of the General Plan,
 - The proposed project complies with this Specific Plan and other applicable regulations, and
 - The proposed project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity;
 - The project conforms with any applicable provisions of any city redevelopment plan;
 - The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.
 - Public Notice of plot plan public hearing and the proposed environmental determination shall be provided. Noticing shall be in

10.4.3 Variances

Alternatives to development standards and regulations contained herein may be approved through the following variance procedures. Variance applications may be processed along with Plot Plan applications, or as separate applications.

10.3.3.1 Administrative Variances

- The purpose of an administrative variance is to provide an administrative procedure for adjustments to certain regulations in this Specific Plan in order to prevent hardships that might result from a strict or literal interpretation and enforcement of those regulations.
- The standards and procedures for the submittal, review and approval of an Administrative Variance shall be as contained in Section 9.02.090 of the Municipal Code.

10.3.3.2 Other Variances

- All other variance applications shall be processed in accordance with Section 9.02.100 of the Municipal Code.

10.3.4 Appeals

- Any interested party may appeal any administrative decision to the Planning Commission subject to the provisions of Section 9.02.240 of the Municipal Code.
- Any interested party may appeal any decision of the Planning Commission to the City Council subject to the provisions of Section 9.02.240 of the Municipal Code.
- The decision of the City Council is final.

10.4 Other Uses

All uses established within the “MVF” shall be consistent with the General Plan and this Specific Plan. The Community Development Director shall be responsible for all consistency determinations pursuant to Section 9.01 of the Municipal Code.

10.5 Additional Items

Items not addressed in the Specific Plan shall be subject to the regulations of the Municipal Code.

10.6 Specific Plan Amendments

Any proposal to amend this Specific Plan shall be processed in the same manner as the original approval subject to the provisions of Chapter 9.13 of the Municipal Code.

11.0 DEFINITIONS

Overhead power lines 12kV/115 kV: Power lines that distribute or transmit electrical power into and through the “MVF” project. All 12 kV distribution lines will be installed underground, while 115 kV transmission lines must remain aboveground due to the heat generated by electrical energy flows in the lines.

Accessory Structure: A separate building, the use of which is incidental to that of the main building on the same lot or premises, and which is used exclusively by the occupant of the main building.

Ancillary Structures: See accessory structure.

Bio-detention Facilities: Soil and plant-based filtration devices that remove pollutants through a variety of physical, biological, and chemical treatment processes. These facilities normally consist of a grass buffer strip, sand bed, ponding area, organic layer of mulch layer, planting soil, and plants.

Class II bikeways: A striped lane located along the right shoulder of a roadway designated for use by bicyclists.

CNG/LNG: Abbreviation for Compressed Natural Gas (CNG) and Liquefied Natural Gas (LNG).

Collector Roads: A street which is intended to serve intensive residential land use, multiple-family dwellings, or to convey traffic through a subdivision to roads of equal capacity or greater. It may also serve as a cul-de-sac in industrial or commercial use areas but shall not exceed six hundred sixty (660) feet in length when so used. Minimum right-of-way width shall be sixty-six (66) feet, per Municipal Code, Chapter 9.15.

Cut-off fixtures: A lighting fixture designed to eliminate light rays from escaping above a horizontal plane.

Detention basins: A drainage feature that has been designed to allow large flows of water to enter but limits the outflow by having a small opening at the lowest point of the outlet structure.

Facades: An exterior side of a building, usually, but not always, the front.

Fenestration: The design of openings in a building or wall, generally including windows, doors, louvers, vents, openings, skylights, storefronts, etc.

Floor area ratio: A measure of the intensity of development of a particular site. The ratio is calculated by dividing the building area by the parcel area, using the same unit of measure (acres, square feet, etc.)

Heavy truck: A truck weighing 26,001 and 33,000 pounds unloaded.

Impervious paved surface: Artificial surfaces such as pavement (roads, sidewalks, driveways and parking lots) that are covered by impenetrable materials such as asphalt, concrete, brick, and stone. Also includes building rooftops and other structures that prevent water from penetrating into the ground surface.

Infiltration Basin: A shallow impoundment that is designed to infiltrate storm water. Infiltration basins use the natural filtering ability of the soil to remove pollutants in storm water runoff.

Jobs/housing balance: The ratio between the number of housing units and the number of full-time jobs in an identified geographic area. The ratio is calculated by dividing the number of full-time jobs by the number of housing units.

Luminaire: A light fixture generally affixed to a pole used in exterior areas to illuminate streets, driveways, walkways, and parking areas.

Medium trucks: A Truck weighing 19,500 and 26,000 pounds or more unloaded.

Multi-Use Trails: A planned city-wide system of trails that accommodate pedestrian, equestrian and bicycle users. See the Parks, Recreation and Open Space Element of the City's General Plan.

Native landscape: The use of plant materials found to grow naturally in an area that are adapted to a particular environment and are able to live on natural rainfall, thereby reducing the need for mechanical irrigation.

Off-project: Refers to areas outside of the "MVF." Generally applies to infrastructure improvements needed to implement the "MVF" project that will extend beyond the "MVF" boundary.

Off-site: Refers to those portions of the property that are not within building sites, including common areas, open space, public areas, streetscapes, etc.

On-site: Refers to individual building sites within the "MVF."

Specific Plan: Refers to the "MVF" Specific Plan which covers 2,610 acres of land in eastern Moreno Valley, and provides the land use regulations for the development of a master planned development.

Subdivision Map Act: The body of law (Government Code Section 66410-66499.58) that regulates the subdivision of land in California.

Truck Routes/Truck Route Ordinance: Streets that have been officially designated by the City for use by vehicles with a gross vehicle weight of three tons or more. See Chapter 12.36 of the Municipal Code.

MVF: The project name for the development to be established under the “MVF” Specific Plan.

Sergio has several comments on signage. Need to get back to the signage company.

FESTIVAL PLAZA

SIGN SIGNAGE TABLE AND CONTENTS

24138 HEMLOCK AVE. MORENO VALLEY CA.

SIGNAGE TYPE	PAGE DESCRIPTION	QUANTITY OF SIGNS
SIGNAGE PAGE INDEX	DESCRIPTION OF SIGNAGE CONTENTS	2
SIGNAGE LOCATION	SITE LOCATION PLAN/SIGN LOCATIONS	1
SIGN TYPE A	FREEWAY PYLON	5
SIGN TYPE B	STREET PYLON	5
SIGN TYPE C	ENTRY MONUMENT	
SIGN TYPE D	TENANT MONUMENT	

PROJECT TITLE	FESTIVAL PLAZA
24138 HEMLOCK AVE. MORENO VALLEY, CA. 91767	
JOB NUMBER 502544	
SALES CLAUDE BELLENA	
MANAGER G. ROHMERTSON	DATE 11/17/17
SCALE AS NOTED	
PLANS 5/9/16/17/18/19/20/5/20/44/5/20/44	
FILE 5/20/44-026	
REVISION 001	
REVISIONS	
DATE BY DATE BY	DATE BY
ORIGINAL OR	ORIGINAL OR

APPROVAL
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 • Encore signs shall be a general display(s) by the customer.
 • Sketch may vary from specified colors, materials, dimensions, quantity, size and placement of signs every day.

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PRINTED NAME _____	TITLE _____

All electrical signs shall comply with National Electrical Code (Article 600) and manufactured according to industry standards. All signs shall be UL listed and appropriately labeled.

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Ontario, California 91762
805-931-3187
www.encoreimage.com

SIGN	SCOPE OF WORK / DESCRIPTION	PROJECT TITLE										
A	<p>MANUFACTURE AND INSTALL (1) SET OF INTERNALLY ILLUMINATED CHANNEL LETTERS</p>	<p>FESTIVAL PLAZA 24130 HEMLOCK AVE MORENO VALLEY, CA 92550</p> <p>JOB NUMBER 502244</p> <p>SALES CLAUDELEENA DRAWN BY C.ROHNSON DATE 11/11/17 SCALE AS NOTED</p> <p>PROJECT SIGNOFF/FESTIVAL PLAZA/502244/502244 FILE 502244-00K DESIGN# 002</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #e91e63; color: white;">REVISIONS</th> <th style="background-color: #e91e63; color: white;">DATE</th> <th style="background-color: #e91e63; color: white;">BY</th> <th style="background-color: #e91e63; color: white;">DATE</th> <th style="background-color: #e91e63; color: white;">BY</th> </tr> </thead> <tbody> <tr> <td style="background-color: #e91e63; color: white;"> </td> <td style="background-color: #e91e63; color: white;"> </td> <td style="background-color: #e91e63; color: white;"> </td> <td style="background-color: #e91e63; color: white;"> </td> <td style="background-color: #e91e63; color: white;"> </td> </tr> </tbody> </table>	REVISIONS	DATE	BY	DATE	BY					
REVISIONS	DATE	BY	DATE	BY								

APPROVAL

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- The customer shall provide accessibility to remote transformers and/or ballasts to facilitate installation, final inspection and service.
- Dedicated sign circuits with a ground wire to be provided within 6' of the display(s) by the customer.
- Signs shall be color specified, color photos are for visual reference only, size and placement of signs may vary.

SIGNATURE _____ DATE _____

PRINTED NAME _____ TITLE _____


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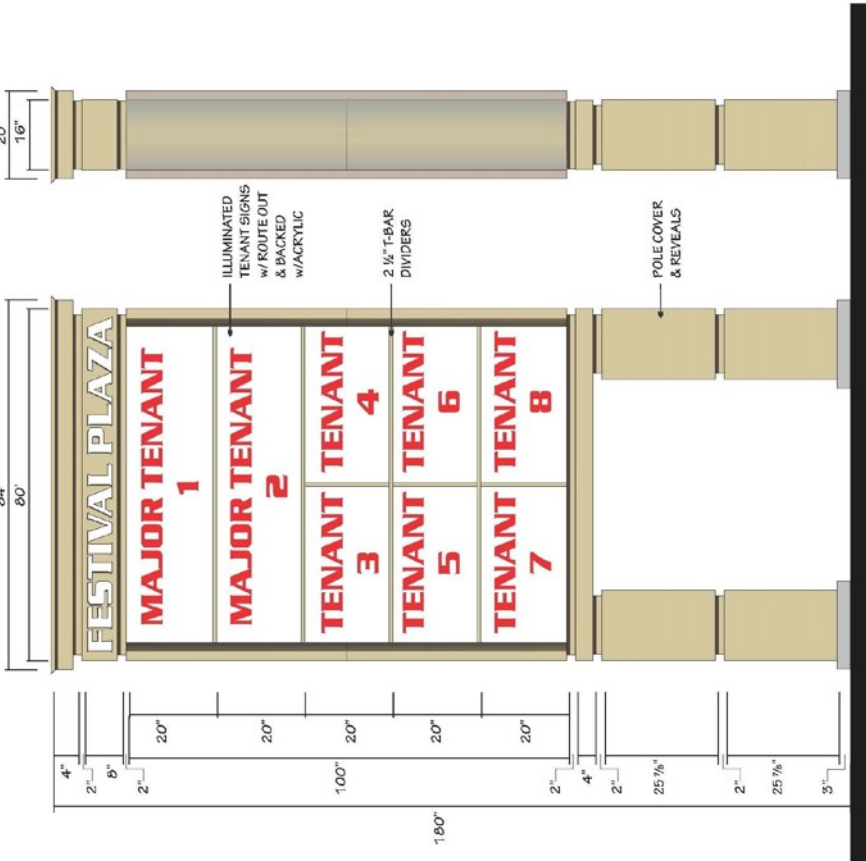
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303 West Main Street
Oroville, California 95763
Phone: 916-831-1187
Fax: 916-831-1187
STATE LICENSE #942727
www.encoreimage.com

PROJECT TITLE	
FESTIVAL PLAZA	
24130 HELOCK AVE. MORENO VALLEY, CA 799	
JOB NUMBER	50244
SUBS	CAUCHELEVA
DRAWN BY	GROHNSON
SCALE	AS NOTED
FILE	50244.DWG
REVISIONS	004
DATE	BY
APPROVAL	
<p>This project requires the customer review and approval before fabrication begins. Encore Image will not be responsible for errors or omissions that have not been reviewed by the customer.</p> <ul style="list-style-type: none"> The customer shall provide accessibility to venue transformers and/or ballasts for sign illumination, final inspection and service. Dedicated sign circuits with a ground wire to be provided within 6' of the display(s) by the customer. Signs are to be fabricated, color, photos are for visual reference only, size and placement of signs may vary. 	
SIGNATURE	DATE
PRINTED NAME	TITLE
<p>All electrical signs shall comply with National Electrical Code (Article 600) and manufactured according to Underwriters Laboratories (UL) 48 standard and appropriately labeled.</p>	
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 <p>303 West Main Street Oceanside, California 91742 800-793-1187 Fax 909-988-4376 www.encoreimage.com</p>	



DAYTIME VIEW

SCALE: 1/2" = 1'



NIGHT VIEW


SCALE: 3/16" = 1'

(1) ONE NEW PROPOSED STREET SIGN

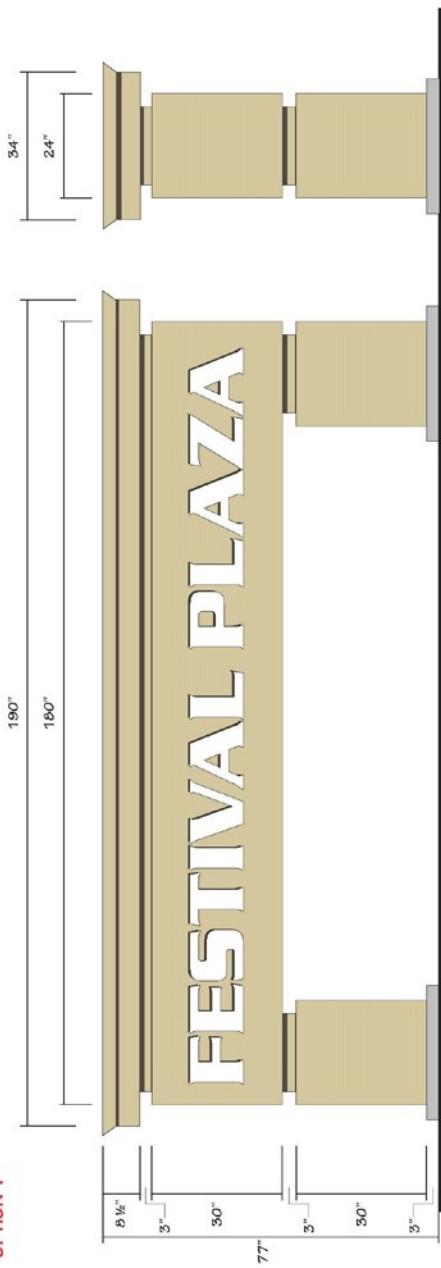
MFR. & INSTALL:
(1) ONE SET OF D/I ILLUMINATED STREET PYLON SIGN

TENANT CABINET:
ILLUMINATED ALUMINUM CABINET w/ALUMINUM ROUTE OUT PANELS BACKED w/ACRYLIC FOR SHOW-THRU COPY

POLE COVERS & REVEALS:
FABRICATED ALUMINUM COLOR TBD

PROJECT TITLE			
FESTIVAL PLAZA			
24135P-HEDGECKANE, MORENO VALLEY, CA ZP			
JOB NUMBER 50244			
SALES CLAUDELENA			
DESIGNER	G. EDWARDS		
DATE	MTE 11/11/17		
SCALE	AS NOTED		
PANEL 3840X1080X60MM-PJ034502445024			
FILE	50244-LJK		
VERSION	005		
REVISIONS			
DATE	BY	DATE	BY
ORIGINAL	OK		
APPROVAL			
This good drawing is for customer review and approval before fabrication begins. It is not to be used for fabrication. Any problems or discrepancies that could have been reasonably prevented by the proper review of this document.			
<ul style="list-style-type: none"> The customer shall provide acceptability for installation, final inspection and service. Dedicated sign circuits with a ground fault interrupter (GFI) to be provided and displayed by the customer. Sketch may vary from specified colors. Photos are for visual reference only. Size and placement of sign may vary. 			
SIGNATURE	DATE	DATE	
PRINTED NAME	TITLE		
<p>(U) All electrical signs shall comply with National Electrical Code (Article 400) and manufactured according to Underwriters Laboratories U.L. 48 standard and appropriately labeled.</p> <p>(C) COPYRIGHT 2017</p> <p>This drawing, and all images herein, are the sole property of Encore Image and may not be reproduced, displayed or used in any way without the written permission from an officer of Encore Image Inc.</p>			
 <p>303 West Main Street Ontario, California 91762 PO Box 9297 800-791-1187 Fax 909-916-5374 5151 C Street www.encoreimg.com</p>			

OPTION 1




SCALE: 1/2" = 1'-0"

(C) (5) FIVE NEW PROPOSED ENTRY MONUMENT SIGN

MFR. & INSTALL:
(5) FIVE SETS OF D/F ILLUMINATED ENTRY MONUMENT SIGNS

CABINET:
ILLUMINATED ALUMINUM CABINET w/ALUMINUM ROUTE OUT PANELS
BACKED w/ACRYLIC FOR SHOW-THRU COPY

POLE COVERS & REVEALS:
FABRICATED ALUMINUM COLOR TBD



NIGHT VIEW

SCALE: NTS

PROJECT TITLE

FESTIVAL PLAZA
241300 HERMOSA AVE
MORENO VALLEY, CA
ZIP

JOB NUMBER 502944

SALES CLAUDE ELLENA
DRAWN BY G. BROWN DATE 11/17/17
SCALE AS NOTED

PROJECT NUMBER 99420266/FESTIVAL PLAZA/502-944502944
FILE 502944.dwg
DESIGN 009

REVISIONS	
DATE	BY

APPROVAL

This proof drawing is for customer review only. Encore Image will not be responsible for problems or discrepancies that could have been identified by the customer prior to the receipt of this document.

- The customer shall assume responsibility to ensure transformers and/or bell boxes for installation, final inspection and service.
- Dedicated sign circuits with a ground fault interrupter (GFI) shall be provided (display) by the customer.
- Sketch may vary from specified colors. Photo one for visual reference only. Size and placement of signs may vary.

SIGNATURE _____ DATE _____

PRINTED NAME _____ TITLE _____

All electrical signs shall comply with National Electrical Code (Article 600) and manufactured according to Underwriters Laboratories U.L. 48 standard and appropriately labeled.

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303 West Main Street
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Ontario, California 91762
800-791-1187
Fax: 951-943-6376
www.encoreimage.com

OPTION 2

77"
52"
217"
204"

36"
24"

© OPTION 2 FOR NEW PROPOSED TENANT MONUMENT SIGN
SCALE: 3/8" = 1'-0"

Figure 12-2 Monument Sign Example

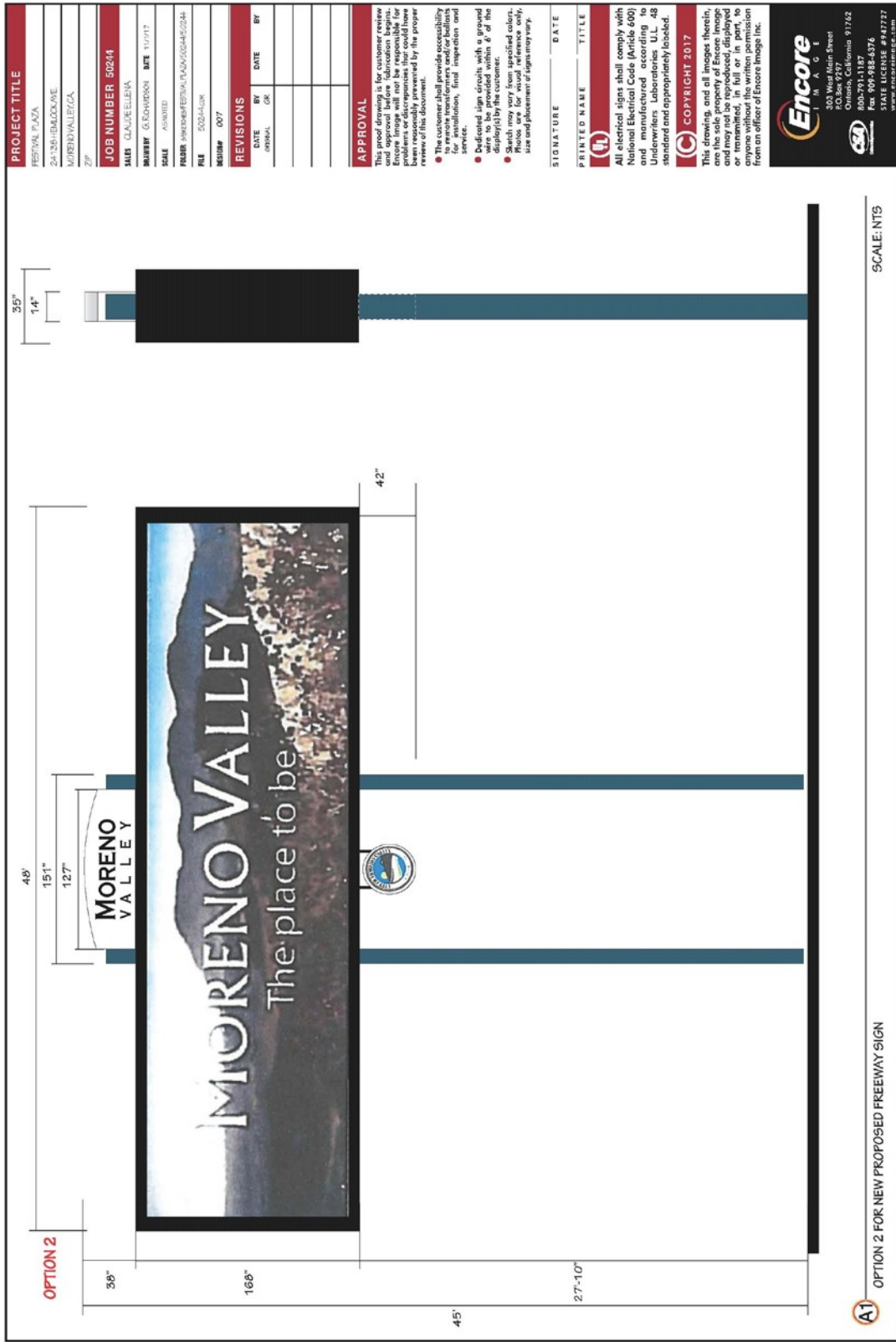


Figure 12-3 Billboard Sign Example

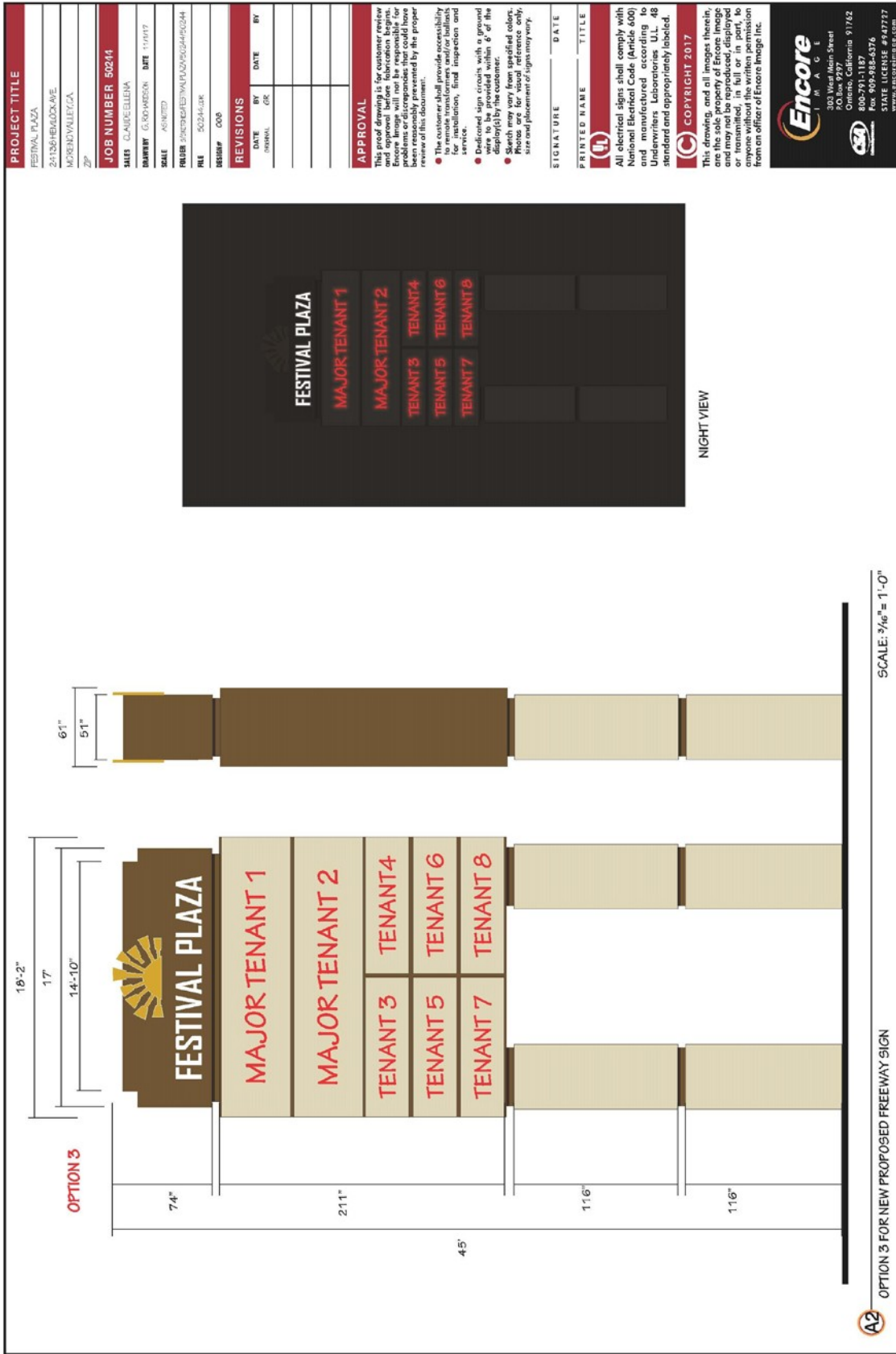
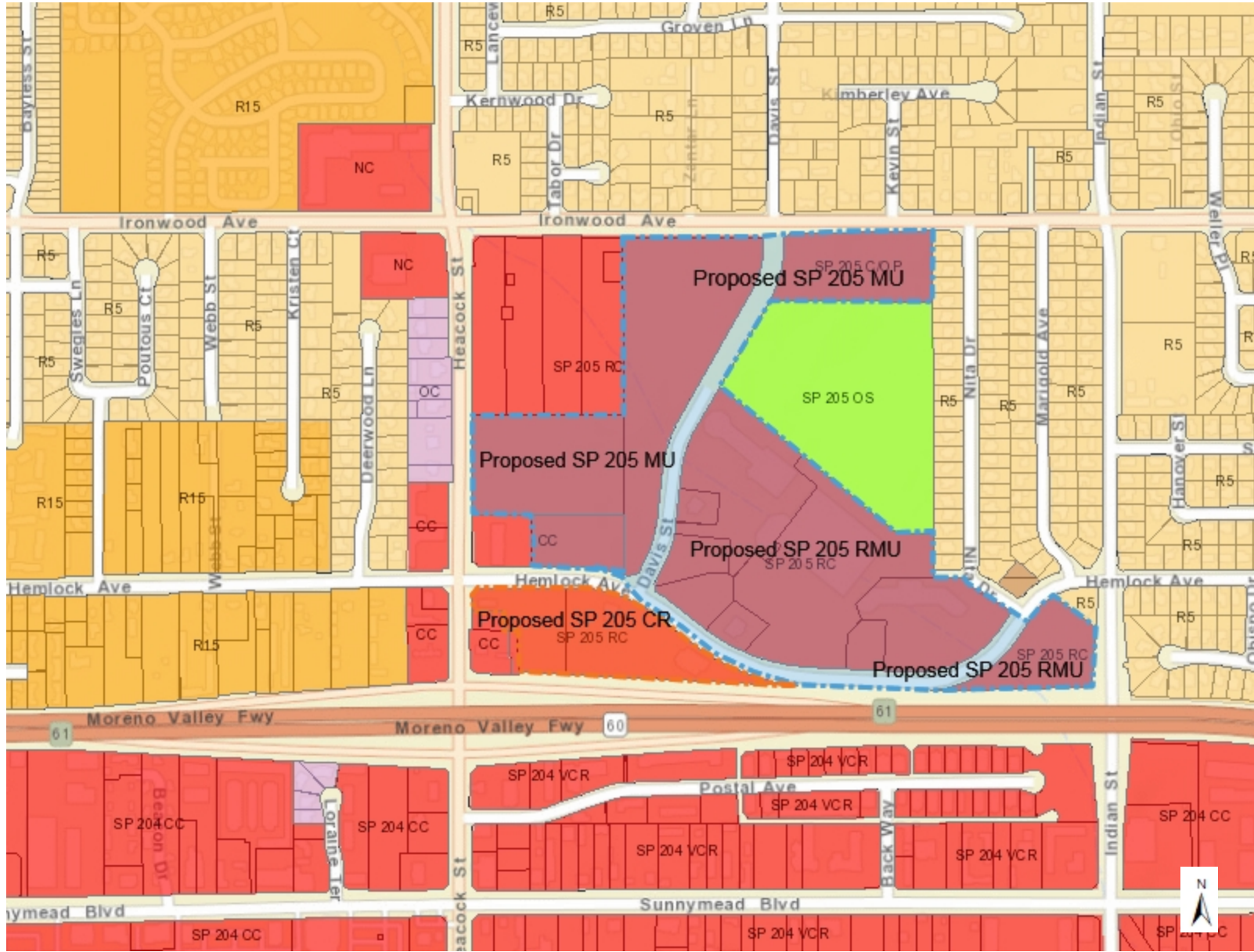
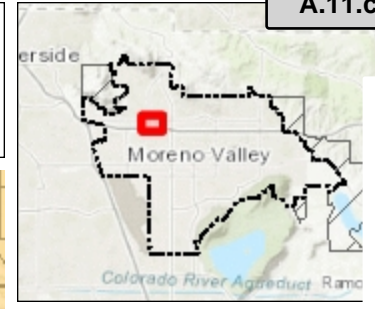


Figure 12-4 Freeway Sign Example

Specific Plan Amendment PEN16-0015



Legend

Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park
- Parcels

Notes

Existing Land Use Plan is SP 205 RC and C/OP - Proposed Land Use Plan is SP 205 CR, MU and RMU.

1,232.1 0 616.05 1,232.1 Feet

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

ORDINANCE NO. 936

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE OFFICIAL ZONING ATLAS, CHANGING THE ZONING CLASSIFICATION FROM RESIDENTIAL AGRICULTURE (RA2) TO OFFICE (O) WITH A MEDICAL USE OVERLAY FOR APPROXIMATELY 18.38 ACRES LOCATED AT THE SOUTHEAST CORNER OF NASON STREET AND BRODIAEA AVENUE ASSESSOR PARCEL NUMBERS 486-290-036 AND 486-290-037

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1. GENERAL:

1.1 The applicant, Galaxy Management Inc., filed Application PEN16-0049 requesting an amendment to Page 100 of the Official Zoning Atlas for Assessor Parcel Numbers 486-290-036 AND 486-290-037, as described in the title of this Ordinance and the attached Exhibit A.

1.2 Pursuant to the provisions of the law, a public hearing was noticed and held before the City Council on April 17, 2018.

1.3 The matter was fully discussed, and the public presented testimony and documentation.

1.4 A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were certified by City Council action at the April 17, 2018 City Council Meeting.

SECTION 2. FINDINGS:

2.1 Based upon substantial evidence presented to this City Council during the April 17, 2018 meeting, including written and oral staff reports, the recommendation of the Planning Commission and the record from the public hearing, this City Council hereby specifically finds as follows:

- A. Conformance with General Plan Policies – The proposed amendment is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: With the approval of the General Plan Amendment to Residential/Office for the site, the proposed change in zoning designation to Office with a Medical Overlay would be consistent with the General Plan.

The proposed project includes multiple entitlement applications that will enable the development of a seven building mixed-use medical center campus on the presently vacant 18.48 acre project site. The entitlement applications include a General Plan Amendment to change the land use designation of the project site from Residential Two (R2) to Residential Office (R/O), a Change of Zone request to change the zoning designation of the project site from Residential Agricultural Two (RA2) to Office (O) with a Medical Use Overlay. The Master Plot Plan application demonstrates the layout for the entire proposed campus comprised of two medical office buildings, three assisted living facilities, two skilled nursing facilities (365 beds), associated parking areas, and new access drives to the site. Given the proximity of the project site to adjacent residential zoning, Conditional Use Permit applications are required for the Assisted Living and Skilled Nursing uses. An application for Parcel Map 36227 has been submitted to subdivide the project site into seven parcels.

The Goals and Objectives of the Community Development Element of the General Plan encourage the development of independent living and congregate care facilities for senior citizens in locations with convenient access to social, commercial, and medical services (Objective 2.18, Policy 2.18.4). The proposal is consistent with the General Plan and will provide assisted living and skilled nursing facilities providing neighborhood scale living accommodations for the senior community. The location of the proposed project, directly across from the Riverside County Regional Medical Center meets the General Plan Policy 2.2.4 of supportive and compatible medical service.

- B. Conformance with Zoning Regulations – The proposed zoning is consistent with the purposes and intent of Title 9 of the City of Moreno Valley Municipal Code.

FACT: The Change of Zone from Residential Agriculture 2 (RA2) for approximately 18.48 acres to Office (O) with a medical use overlay would be consistent with the purposes and intent of Title 9 to allow for various types of housing and medical services. The proposed uses, assisted living, skilled nursing living and medical offices provide services and accommodations for senior living.

The land uses surrounding the site include single-family residential zoning to the north, east and south (Residential 3-north, Residential Agricultural 2, east and south). Some areas of the south and east are developed with large lot single family homes. To the west is the Riverside County Regional Medical Center with Memory Care and Assisted living facilities north of the Medical Center.

The proposed Residential/Office Use with the Medical Use Overlay is compatible with the established land use designations of the parcels in the area, allowing for various types of living close to medical facilities.

- C. Health, Safety and Welfare – The proposed specific plan amendment will not adversely affect the public health, safety or general welfare.

FACT: Future development under the proposed zoning designation of Office with a medical overlay will not result in unacceptable levels of protection from natural and man-made hazards to life, health, and property and is therefore consistent with General Plan Goal 9.6.1. The project site is located within approximately 1.5 miles of Fire Station No. 99 and within close proximity to emergency services which is consistent with General Plan Goal 9.6.2 which requires emergency services that are adequate to meet minor emergency and major catastrophic situations.

The California Environmental Quality Act (CEQA) is a Statewide environmental law contained in Public Resources Code §§21000-21177. CEQA applies to most public agency decisions to carry out, authorize, or approve actions that have the potential to affect the environment. CEQA requires that public agencies analyze and acknowledge the environmental consequences of their discretionary actions and consider alternatives and mitigation measures that could avoid or reduce significant adverse impacts to the environment when avoidance or reduction is feasible. The CEQA compliance process provides public agencies and the general public an opportunity to comment on a proposed project’s environmental effects. The proposed project is not exempt from CEQA. It was determined that an Initial Study would be prepared to determine whether the proposed project may have a significant effect on the environment.

An Initial Study/Mitigated Negative Declaration were prepared which assessed the potential of the proposed General Plan Amendment and the related Change of Zone, Tentative Parcel Map, Master Plot Plan, Plot Plans, Conditional Use Permits and a Phasing Plan for the Majestic Moreno Valley project applications to impact the environment. The proposed project includes the development of the project site with mixed use medical center campus on approximately 18.48 acres.

The Initial Study provided the documentation of the factual basis for the finding in the Mitigated Negative Declaration that the proposed project will not have a significant effect on the environment with the implementation of mitigation measures. The City as the Lead Agency has prepared a Mitigated Negative Declaration (MND) pursuant to Sections 15070 et seq. of the State CEQA Guidelines.

Attachment: Ordinance 936 Majestic Moreno Valley [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

The Mitigated Negative Declaration is an informational document that provides the City, other public agencies, and the public at-large with an objective assessment of the potential environmental impacts that could result from implementation of the proposed project. The preparation and review of the Initial Study/Mitigated Negative Declaration reflects the independent judgment of the City.

The MND has been considered by the City Council and prepared as there is no evidence that the proposed project will have a significant impact on public health or be materially injurious to surrounding properties of the environment as a whole.

SECTION 3. CHANGE OF ZONE:

The Official Zoning Atlas, page 100, is hereby amended as depicted in Exhibit A attached and incorporated by reference into this Ordinance.

SECTION 4. EFFECT OF ENACTMENT:

Except as specifically provided herein, nothing contained in this Ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 5. NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this Ordinance and cause it to be posted in three public places within the city.

SECTION 6. EFFECTIVE DATE:

This ordinance shall take effect thirty days after the date of its adoption.

INTRODUCED at a meeting of the City Council on April 17, 2018 and PASSED, APPROVED, and ADOPTED by the City Council on May 1, 2018 by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance 936 Majestic Moreno Valley [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Patricia Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. YYYY-__ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the ____ day of____, YYYY, by the following vote:

AYES:

NOES:

ABSENT:

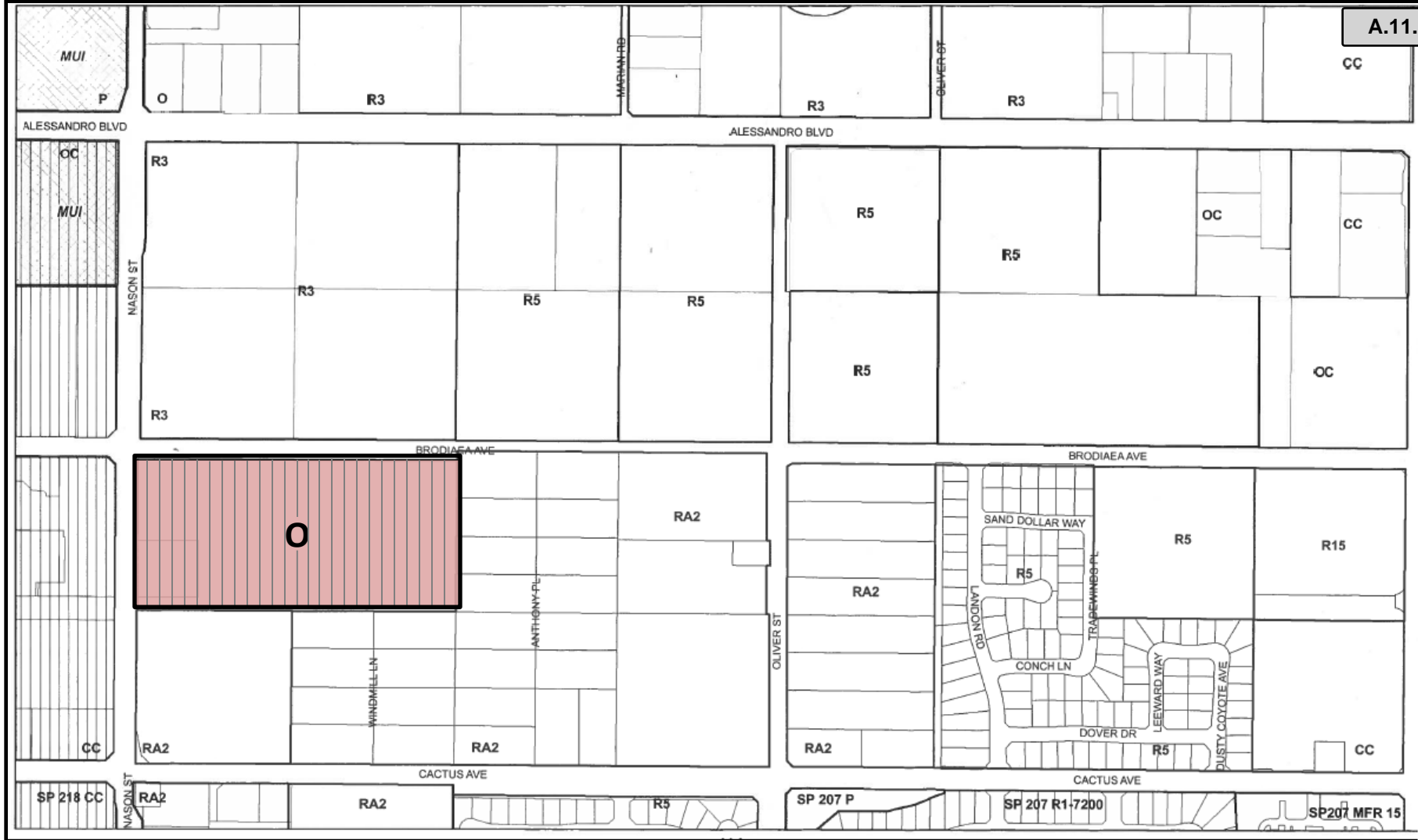
ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Attachment: Ordinance 936 Majestic Moreno Valley [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)



Attachment: Exhibit A to Ord 936 Change of Zone (3087 : Majestic Moreno Valley and

PEN16-0049 – Change of Zone and Inclusion of Parcels into the Medical Use Overlay

- Proposed Change from Residential Agriculture 2 (RA2) to Office (O)
- Medical Use Overlay

ORDINANCE NO. 937

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA AMENDING THE OFFICIAL ZONING ATLAS, CHANGING THE ZONING CLASSIFICATION FROM SP 205 RETAIL COMMERCIAL (RC), SP 205 COMMERCIAL/OFFICE PARK (C/OP) AND COMMUNITY COMMERCIAL (CC) TO SP 205 MIX OF USES (MU), SP 205 RETAIL/MIX OF USES (RMU), AND SP 205 COMMERCIAL/RETAIL (CR) FOR VARIOUS PARCELS TOTALING APPROXIMATELY 63.78 ACRES IN THE FESTIVAL SPECIFIC PLAN AREA AND INCLUDING A BOUNDARY MODIFICATION LOCATED EAST OF HEACOCK STREET BETWEEN IRONWOOD AVENUE AND STATE HIGHWAY ROUTE 60

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1. GENERAL:

1.1 The applicant, LCG MVF, LLC, filed an application PEN16-0014, requesting an amendment to Page 47 of the Official Zoning Atlas for Assessor Parcel Numbers (APN) 481-020-017, 019, 020, 021, 022, 023, 028, 037 and 481-090-018, 019, 020, 021, 022, 029, 032 and 033, as described in the title of this Ordinance.

1.2 Pursuant to the provisions of the law, a public hearing was held before the City Council on April 17, 2018.

1.3 The matter was fully discussed, and the public and other agencies presented testimony and documentation.

1.4 A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were certified by City Council action at the April 17, 2018 City Council Meeting.

SECTION 2. FINDINGS:

2.1 Based upon substantial evidence presented to this City Council during the April 17, 2018 meeting, including written and oral staff reports, the recommendation of the Planning Commission and the record from the public hearing, this City Council hereby specifically finds as follows:

- A. Conformance with General Plan Policies – The proposed change of zone is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: With the adoption of the General Plan Amendment and Specific Plan Amendment, the Change of Zone will be consistent with the General Plan. The Change of Zone (PEN16-0014) is required to be consistent with and accommodate the Specific Plan Amendment (PEN16-0015). The Zone Change will amend the Citywide zoning map with a change from Retail Commercial (SP 205 RC), Commercial/Office Park (SP 205 C/OP) and Community Commercial (CC) to Mix of Uses (SP 205 MU), Retail/Mix of Uses (SP 205 RMU) and Commercial/Retail (SP 205 CR). The proposed changes to the zoning designations allow for commercial and business park uses consistent with the proposed General Plan Amendment and Specific Plan Amendment.

General Plan Policy 2.5.1 states that the primary purpose of areas designated Business Park/Industrial is to provide for manufacturing, research and development, warehousing and distribution, as well as office and support commercial activities. The Zone Change will be consistent with the proposed General Plan and Specific Plan Amendments, allowing for a mix of business park uses which provide a sound and diversified economic base and ample employment opportunities for the citizens of Moreno Valley. The proposal will continue to allow for commercial uses as specified in the Specific Plan.

B. Conformance with Specific Plan Policies – The proposed change of zone is internally consistent with the Festival Specific Plan (SP205).

FACT: As proposed, the Change of Zone from Retail Commercial (SP 205 RC), Commercial/Office Park (SP 205 C/OP) and Community Commercial (CC) to Mix of Uses (SP 205 MU), Retail/Mix of Uses (SP 205 RMU) and Commercial/Retail (SP 205 CR) would be consistent with the General Plan and Specific Plan Amendment, and would continue to further the comprehensive and orderly development of the site and surrounding areas.

The Specific Plan area is approximately one-half developed with commercial related uses. The Change of Zone along with the Specific Plan Amendment will allow for development compatible with existing commercial development within the Specific Plan. The developed commercial areas are located south of Hemlock Avenue, and northeasterly of Hemlock Avenue and Davis Street. The anchor tenant and movie theaters remain vacant. The expanded range of commercial and business park uses provided for by the Specific Plan Amendment and Change of Zone is intended to provide the opportunity to revitalize the project.

The proposed zoning designations of Mix of Uses (SP 205 MU), Retail/Mix of Uses (SP 205 RMU) and Commercial/Retail (SP 205 CR)

Attachment: Ordinance 937 SP205 Zone Change Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

are compatible with the established land use designations of the parcels in the area, allowing for a mix of commercial, retail, office and business park uses including warehousing. The project provides opportunity for future flexibility and adaptability to changing market conditions. The change is reflective of a reconsideration of land use patterns in this area of the community.

- C. Health, Safety and Welfare – The proposed change of zone will not adversely affect the public health, safety or general welfare.

FACT: The proposed Change of Zone is consistent with the currently proposed General Plan and Specific Plan Amendments. Therefore, the proposed Change of Zone will not allow for development that would be inconsistent with General Plan Objective 6.1 to minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage due to seismic ground shaking and secondary effects or General Plan Objective 6.2 to minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage, and to minimize nuisances due to flooding.

The California Environmental Quality Act (CEQA) is a statewide environmental law contained in Public Resources Code §§21000-21177. CEQA applies to most public agency decisions to carry out, authorize, or approve actions that have the potential to affect the environment. CEQA requires that public agencies analyze and acknowledge the environmental consequences of their discretionary actions and consider alternatives and mitigation measures that could avoid or reduce significant adverse impacts to the environment when avoidance or reduction is feasible. The CEQA compliance process provides public agencies and the general public an opportunity to comment on a proposed project's environmental effects.

An Initial Study/Mitigated Negative Declaration was prepared, which assessed the potential of the proposed Change of Zone and the related General Plan Amendment and Specific Plan Amendment applications to impact the environment.

The Initial Study provided the documentation of the factual basis for the finding in the Mitigated Negative Declaration that the proposed project will not have a significant effect on the environment with the implementation of mitigation measures. The City as the Lead Agency has prepared a Mitigated Negative Declaration (MND) pursuant to Sections 15070 et seq. of the State CEQA Guidelines.

The Mitigated Negative Declaration is an informational document that provides the City, other public agencies, and the public at-large with an objective assessment of the potential environmental impacts that could result from implementation of the proposed project. The preparation and review of the Initial Study/Mitigated Negative Declaration reflects the independent judgment of the City.

The MND has been considered by the Planning Commission and prepared as there is no evidence that the proposed project will have a significant impact on public health or be materially injurious to surrounding properties of the environment as a whole.

SECTION 3. CHANGE OF ZONE:

The Official Zoning Atlas, page 47, is hereby amended as depicted in Exhibit A attached and incorporated by reference into this Ordinance. This action does not affect the balance of parcels zoned as Specific Plan 205.

SECTION 4. EFFECT OF ENACTMENT:

Except as specifically provided herein, nothing contained in this Ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 5. NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this Ordinance and cause it to be posted in three public places within the city.

SECTION 6. EFFECTIVE DATE:

This Ordinance shall take effect thirty days after the date of its adoption.

INTRODUCED at a meeting of the City Council on April 17, 2018 and PASSED, APPROVED, and ADOPTED by the City Council on May 1, 2018 by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance 937 SP205 Zone Change Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Patricia Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. YYYY-__ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the ____ day of____, YYYY, by the following vote:

AYES:

NOES:

ABSENT:

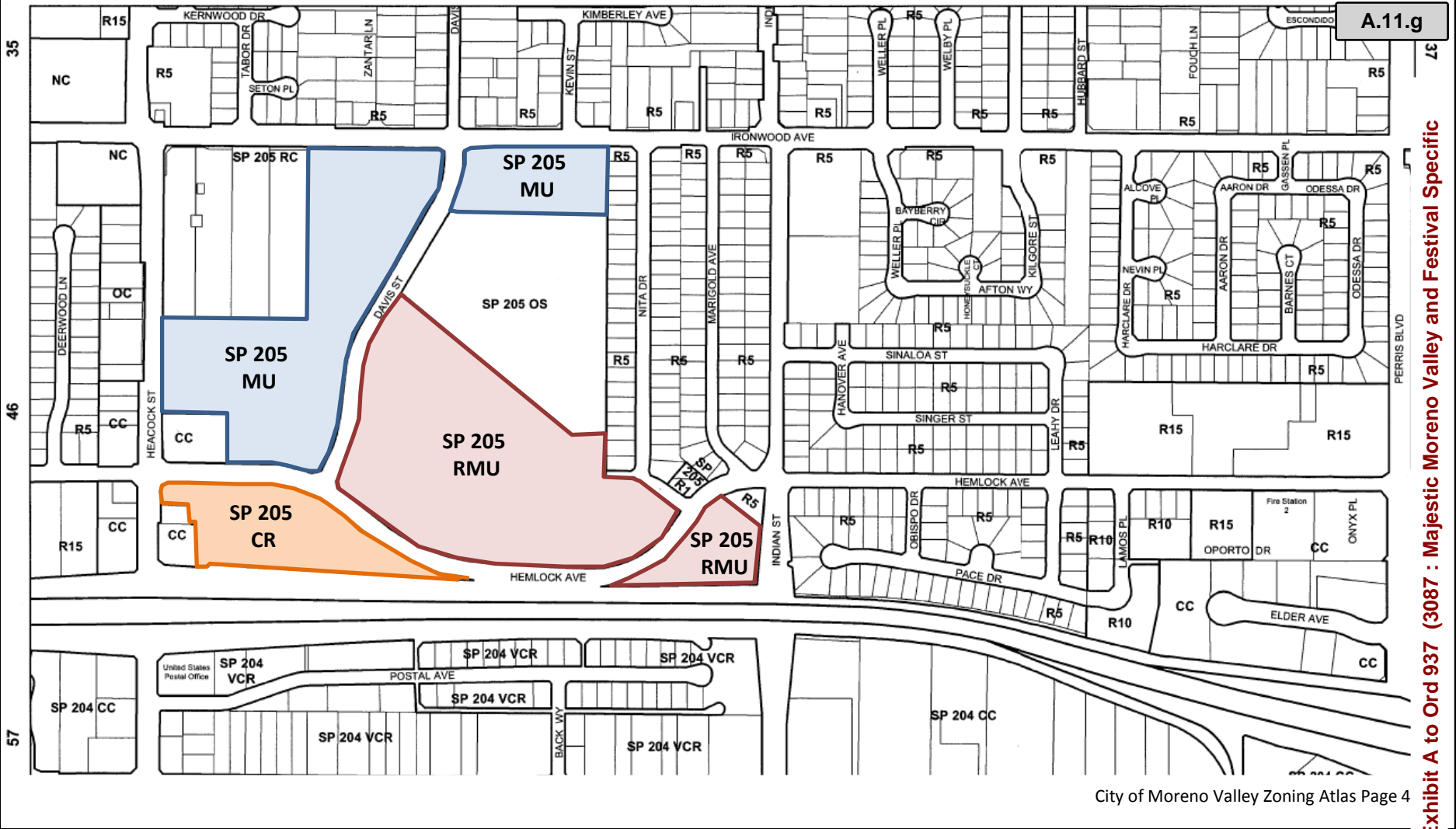
ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Attachment: Ordinance 937 SP205 Zone Change Festival [Revision 3] (3087 : Majestic Moreno Valley and Festival Specific Plan)



The Festival Specific Plan (SP 205) – Change of Zone PEN16-0014

- SP 205 Mix of Uses (MU)
- SP 205 Retail/Mix of Uses (MU)
- SP 205 Commercial/Retail (CR)



Report to City Council

TO: Mayor and City Council

FROM: Richard J. Sandzimier, Acting Community Development Director

AGENDA DATE: May 1, 2018

TITLE: MORENO VALLEY LOGISTICS CENTER FOR THE SECOND READING OF ORDINANCE 934

RECOMMENDED ACTION

Recommendation: That the City Council:

1. CONDUCT second reading by title only and Adopt Ordinance No. 934:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE MORENO VALLEY INDUSTRIAL AREA SPECIFIC PLAN 208, TO INCREASE THE LANDSCAPE SETBACK AND REDUCE THE BUILDING SETBACK IN THE RESIDENTIAL BUFFER ZONE AREA ALONG INDIAN STREET, SOUTH OF KRAMERIA STREET TO THE PERRIS VALLEY STORM CHANNEL

SUMMARY

This report recommends adoption of Ordinance No. 934, introduced at the last City Council meeting, approving a Specific Plan Amendment (PEN16-0001) to increase the landscape buffer and reduce the building buffer zone in the Specific Plan 208.

DISCUSSION

Based on review and consideration of the application for a Specific Plan Amendment submitted by the applicant Prologis, the City Council introduced the ordinance to amend the Specific Plan 208 to increase the landscape setback and reduce the building setback in the residential buffer zone along Indian Street, south of Krameria Street to the Perris Valley Storm Channel. The Ordinance allows for the above, introduced at the meeting of April 17, 2018, and Council moved it for second reading and possible

adoption at this meeting.

ALTERNATIVES

The City Council has the following alternatives to consider:

1. Conduct the second reading by title only and adopt Ordinance No. 934.
2. Provide revisions to the draft Ordinance and have staff return with the revised draft for another adoption process.
3. Provide alternate direction to staff.

FISCAL IMPACT

There are no anticipated fiscal impacts from the recommended action.

NOTIFICATION

Agenda was posted in accordance with the Brown Act.

PREPARATION OF STAFF REPORT

Prepared By:
Julia Descoteaux
Associate Planner

Concurred By:
Richard J. Sandzimier
Acting Community Development Director

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. **Economic Development**
2. **Public Safety**
3. **Library**
4. **Infrastructure**
5. **Beautification, Community Engagement, and Quality of Life**
6. **Youth Programs**

Objective 1.2: Market all the opportunities for quality industrial development in Moreno Valley by promoting all high-profile industrial and business projects that set the City apart from others.

Objective 1.9: Ensure the City's General Plan articulates the vision for how Moreno Valley wants to evolve over time, and provides an orderly and predictable process

through which this vision is developed and implemented, including new attention to economic development, sustainability, public health, and innovation.

ATTACHMENTS

- 1. Ordinance No 934 SPA 208

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 7:48 AM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 7:51 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:24 PM

ORDINANCE NO. 934

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, AMENDING THE MORENO VALLEY INDUSTRIAL AREA SPECIFIC PLAN 208, TO INCREASE THE LANDSCAPE SETBACK AND REDUCE THE BUILDING SETBACK IN THE RESIDENTIAL BUFFER ZONE AREA ALONG INDIAN STREET, SOUTH OF KRAMERIA STREET TO THE PERRIS VALLEY STORM CHANNEL

The City Council of the City of Moreno Valley does ordain as follows:

SECTION 1. GENERAL:

1.1 The applicant, Prologis, filed an application PEN16-0001 (P15-036), requesting an amendment to the Moreno Valley Industrial Area Specific Plan 208, as described in the title, PEN16-0001 (P15-036).

1.2 Pursuant to the provisions of the law, a public hearing was held before the City Council on September 5, 2017, with deliberations and decision made at the April 17, 2018 City Council meeting.

1.3 The matter was fully discussed, and the public and other agencies presented testimony and documentation.

1.4 A Final Environmental Impact Report (including a Mitigation Monitoring and Reporting Program and Statement of Overriding Considerations) were certified by City Council action at the April 17, 2018 City Council Meeting.

SECTION 2. FINDINGS:

2.1 Based upon substantial evidence presented to this City Council, including written and oral staff reports, the recommendation of the Planning Commission and the record from the public hearing, this City Council hereby specifically finds as follows:

A. Conformance with General Plan Policies – The proposed amendment is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: The proposed Specific Plan Amendment is limited to modifications to the development standards included in the document. The proposed Specific Plan amendment to the Moreno Valley Industrial Area Plan (SP208) would allow for a reduction of the residential buffer requirements from 250 feet to 100 feet with a minimum of 50 feet of linear landscape along Indian Street.

In 2008, a Specific Plan Amendment was approved modifying the buffer along major arterials from 300 feet to 250 feet. Along with the modification, the landscape area was increased from a 15 feet (major arterials) to 50 feet of landscape area required for the portion of Indian Street from Iris Avenue to Krameria Avenue. The increase from 15 foot to a 50 foot buffer was designed to provide enhanced landscaping and water quality features along the frontage of the project site for both visual screening and noise attenuation. The proposed amendment would modify the plan applying the 2008 modification to extend from Iris Avenue to the Perris Valley Storm Drain Channel.

The proposed modifications to the standards of the Moreno Valley Industrial Area Specific Plan 208 do not conflict with the goals, objectives, policies or programs of the General Plan.

- B. Conformance with Specific Plan Policies – The proposed Specific Plan Amendment is internally consistent with the Moreno Valley Industrial Area Specific Plan (SP208), and aside from changes to the setback and landscape requirements along Indian Street all other elements of the SP208 remain in-tact.

FACT: The proposed Specific Plan Amendment to the Moreno Valley Industrial Area Specific Plan (SP208) would allow for a modification to residential buffer along Indian Street from Krameria Avenue south to the Perris Valley Storm Channel reducing the requirement from 250 feet to 100 feet consistent with the Indian Street frontage north from Krameria Avenue to Iris Avenue. The buffer between residential is measured from the centerline of the street to the screen wall along Indian Street.

To offset the proposed reduction of the residential buffer, the required landscaping along Indian Street between Krameria to the Perris Valley Storm Channel will increase from the existing required 15 feet to 50 feet.

The modification to the Moreno Valley Industrial Area Specific Plan 208 shall include the following:

“This criteria is intended to provide a buffer between residential districts within the Area Plan without affecting the integrity of lands available for industrial uses. Where parcels exceed 250 feet in depth from a major arterial, permitted uses may extend beyond this distance so as not to affect the integrity of industrial uses, if the development proposal is part of an integrated industrial or business park, as determined by the Community Development Director. The residential buffer is measured from the centerline of the street. In addition, the City will allow reduction of the 250 feet buffer along Indian Street from Iris Avenue to the Perris Valley Storm

Attachment: Ordinance No 934 SPA 208 [Revision 4] (3088 : Moreno Valley Logistics Center)

Drain Channel to a minimum of 100 feet provided it is maintained as a linear landscape feature accessible to the adjacent community. Minor encroachment within the 50 feet enhanced landscaped buffer is acceptable to provide for screen wall articulation and water quality facilities/features as approved by the City of Moreno Valley. Any reduction shall be dependent on air quality and noise analysis showing no significant adverse impacts on adjacent residentially zoned areas.”

The Specific Plan as modified by this amendment will be consistent with all of the Specific Plan requirements identified in Chapter 9.13 of the City’s Municipal Code. Further, the text amendment to the Specific Plan development standards will not affect any diagrams included in the Specific Plan that address the distribution, location and extent of the uses of land, or any other required elements of a Specific Plan as mandated in Section 65451 of the Government Code.

- C. Health, Safety and Welfare – The proposed specific plan amendment will not adversely affect the public health, safety or general welfare.

FACT: The proposed Specific Plan Amendment will not result in unacceptable levels of protection from natural and man-made hazards to life, health, and property and is therefore consistent with General Goal 9.6.1.

The Specific Plan Amendment was considered and analyzed in the Environmental Impact Report prepared for the project, and related applications. The project includes a 1.7 million square foot warehouse project including a total of four (4) buildings. The Final EIR has been prepared to address the potential environmental impacts of the project which cannot be mitigated to a level below significance (air quality, greenhouse gas/global climate change, land use/planning and traffic/transportation). After careful consideration of those environmental risks, the Final EIR identified that even after application of feasible mitigation, these impacts would remain unavoidable. The economic, employment and infrastructure benefits that are expected to result from development of the project have been reviewed by the Planning Commission as the recommending body for the project, to outweigh the unavoidable adverse environmental effect, as articulated in the Facts, Findings and Statement of Overriding Considerations prepared for the project in accordance with the provisions of the California Environmental Quality Act (CEQA).

SECTION 3. SPECIFIC PLAN AMENDMENT:

Attachment: Ordinance No 934 SPA 208 [Revision 4] (3088 : Moreno Valley Logistics Center)

Page III-2, Section III, C.1: 300 Foot Proximity to Residential District of the Moreno Valley Industrial Area Specific Plan 208 is hereby amended to include as follows:

“This criteria is intended to provide a buffer between residential districts within the Area Plan without affecting the integrity of lands available for industrial uses. Where parcels exceed 250 feet in depth from a major arterial, permitted uses may extend beyond this distance so as not to affect the integrity of industrial uses, if the development proposal is part of an integrated industrial or business park, as determined by the Community Development Director. The residential buffer is measured from the centerline of the street. In addition, the City will allow reduction of the 250 feet buffer along Indian Street from Iris Avenue to the Perris Valley Storm Drain Channel to a minimum of 100 feet provided it is maintained as a linear landscape feature accessible to the adjacent community. Minor encroachment within the 50 feet enhanced landscaped buffer is acceptable to provide for screen wall articulation and water quality facilities/features as approved by the City of Moreno Valley. Any reduction shall be dependent on air quality and noise analysis showing no significant adverse impacts on adjacent residentially zoned areas.”

SECTION 4. EFFECT OF ENACTMENT:

Except as specifically provided herein, nothing contained in this ordinance shall be deemed to modify or supersede any prior enactment of the City Council which addresses the same subject addressed herein.

SECTION 5. NOTICE OF ADOPTION:

Within fifteen days after the date of adoption hereof, the City Clerk shall certify to the adoption of this ordinance and cause it to be posted in three public places within the city.

SECTION 6. EFFECTIVE DATE:

This ordinance shall take effect thirty days after the date of its adoption.

INTRODUCED at a meeting of the City Council on April 17, 2018 and PASSED, APPROVED, and ADOPTED by the City Council on May 1, 2018 by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Attachment: Ordinance No 934 SPA 208 [Revision 4] (3088 : Moreno Valley Logistics Center)

ORDINANCE JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Patricia Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Ordinance No. YYYY-__ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the ____ day of____, YYYY, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Attachment: Ordinance No 934 SPA 208 [Revision 4] (3088 : Moreno Valley Logistics Center)



Report to City Council

TO: Mayor and City Council

FROM: Richard J. Sandzimier, Acting Community Development Director

AGENDA DATE: May 1, 2018

TITLE: APPROVE FIRST AMENDMENT TO AGREEMENT WITH WILLDAN ENGINEERING FOR BUILDING AND SAFETY PLAN CHECK SERVICES, INSPECTIONS, AND PERMIT TECHNICIAN CONSULTANT SERVICES

RECOMMENDED ACTION

Recommendations:

1. Approve the First Amendment to Agreement with Willdan Engineering for Building and Safety Plan Check Services, Inspections, and Permit Technician Consultant Services.
2. Authorize the City Manager, or his designee, to execute the First Amendment with Willdan Engineering, subject to the approval of the City Attorney.
3. Authorize an increase of \$1,200,000.00 to the not-to-exceed amount of the three-year Agreement with Willdan Engineering to \$1,700,000.00.
4. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-424 to Willdan Engineering for Plan Check Services from \$250,000.00 up to \$350,000.00 for FY17/18, and issue a Purchase Order in the amount of \$350,000 for FY 18/19.
5. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-425 to Willdan Engineering for Inspections from \$110,000 up to \$175,000.00 for FY17/18, and issue a Purchase Order in the amount of \$100,000 for FY 18/19.
6. Authorize the Purchasing Division Manager to execute a change order to increase Purchase Order #2018-427 to Willdan Engineering for Permit

Technician Consultant Services from \$80,000 up to \$115,000.00 for FY17/18, and issue a Purchase Order in the amount of \$115,000 for FY 18/19.

7. Authorize the Chief Financial Officer to make any necessary budget adjustment appropriations related to expenditures and revenues as outlined in the Fiscal Impact section of this report.

SUMMARY

This report recommends approval of First Amendment to Agreement with Willdan engineering to provide Building and Safety plan check services, inspections, and permit technician consultant services. The Amendment will increase the not-to-exceed amount of the City's Agreement by \$1,200,000.00 up to \$1,700,000.00 and allow for continued use of consultant services for the term of the Agreement through FY19/20.

The vendor services augment internal staffing resources to ensure timely plan review, field inspections of projects, and support of public counter activities.

The new not-to-exceed amount of this Agreement will be relied upon to increase the existing Purchase Orders, as needed, to continue to pay invoices from the vendor for Building and Safety plan check services, inspections, and permit technician consultant services due under this agreement.

DISCUSSION

The Building and Safety Division has used contract services with private firms for over eighteen years to cover needed plan check services, supplement inspection services, and public counter services.

Plan check services have remained at higher than expected levels in FY17/18. External plan check services are necessary as the Division has no in-house plan check positions. The continued high demand for plan check services is expected to continue over the term of this Agreement.

Inspection services have been abnormally higher than anticipated in Fiscal Year (FY) 17/18 due to two principal factors: (1) the Building & Safety Division is experiencing an increase in inspection service demands given a favorable building construction marketplace; and (2) during this initial FY of the Agreement, the Division endured a longer-than-expected period of vacancies in two (2) full-time, career Building Inspector II positions. Those positions were ultimately filled in March 2018. The continued high demand for inspection services is expected to continue over the term of this Agreement and will be met by in-house personnel and consultant resources as needed.

Given the current and forecasted robust development and construction climate noted above is projected to continue for the term of the Agreement, the demand for plan check services, inspection services, and permit technician consultant services is also expected to continue and therefore warrants the budget adjustments being requested.

The projected demand for services has resulted in a recommendation to increase plan check fee revenue projections for FY17/18 and FY18/19. All costs associated with this Agreement are fully recovered from Building and Safety plan check fees paid for by project applicants.

The requested increases and budget adjustments will allow the Division to meet current and projected expenditure and revenue levels through FY17/18 and FY18/19. The Division will adjust FY19/20 budget projections during the City’s two-year budget creation process.

ALTERNATIVES

1. Approve the First Amendment with Willdan Engineering for plan check, inspections, and permit technician consultant services, authorize the City Manager to execute the First Amendment upon City Attorney approval, and amend the budget as required. *This alternate is recommended by staff to achieve professional and timely development services.*

2. Do not approve the First Amendment with Willdan Engineering. *This alternative is not recommended by staff and would cause delays at all levels of the permitting process for development projects.*

FISCAL IMPACT

Additional contract costs will be fully offset by fees collected for development related services.

The following sets forth the recommended budget adjustments:

Description	Fund	GL Account Project Number	Type	FY17/18 Amended Budget	FY17/18 Proposed Adjustment	FY17/18 Revised Budget
Bldg. & Safety Plan Check Fees	General Fund	1010-20-28-20310-540000	REV	\$700,000	\$125,000	\$825,000
Contractual Svcs - Other	General Fund	1010-20-28-20310-625099	EXP	\$399,480	\$200,000	\$599,480

Description	Fund	GL Account Project Number	Type	FY18/19 Original Budget	FY18/19 Proposed Adjustment	FY18/19 Revised Budget
Bldg. & Safety Plan Check Fees	General Fund	1010-20-28-20310-540000	REV	\$700,000	\$125,000	\$825,000
Contractual Svcs - Other	General Fund	1010-20-28-20310-625099	EXP	\$399,480	\$125,000	\$524,480

NOTIFICATION

The posting of the Agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Steve Wilkinson
Management Analyst

Department Head Approval:
Richard J. Sandzimier
Acting Community Development Director

CITY COUNCIL GOALS

Public Safety. Provide a safe and secure environment for people and property in the community, control the number and severity of fire and hazardous material incidents, and provide protection for citizens who live, work and visit the City of Moreno Valley.

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

Objective 1.1: Proactively attract high-quality businesses.

Objective 1.2: Market all the opportunities for quality industrial development in Moreno Valley by promoting all high-profile industrial and business projects that set the City apart from others.

Objective 1.6: Establish Moreno Valley as the worldwide model in logistics development.

ATTACHMENTS

- 1. FIRST AMENDMENT TO AGREEMENT Willdan Engineering

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/24/18 9:31 AM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 4:53 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:48 PM

**FIRST AMENDMENT TO AGREEMENT
FOR BUILDING & SAFETY PLAN CHECK SERVICES, INSPECTIONS, AND PERMIT
TECHNICIAN CONSULTANT SERVICES**

The First Amendment to Agreement is by and between the CITY OF MORENO VALLEY, a municipal corporation, hereinafter referred to as “City,” and **Willdan Engineering**, hereinafter referred to as “Consultant.” This First Amendment to Agreement is made and entered into effective on the date the City signs this Amendment.

RECITALS:

Whereas, the City and Consultant entered into an Agreement entitled “PROFESSIONAL SERVICES AGREEMENT,” hereinafter referred to as “Agreement,” dated **July 12, 2017**.

Whereas, the Consultant is providing **plan check services, inspections, and permit technician consultant services**.

Whereas, it is desirable to amend the Agreement to increase the Consultant’s total “not-to-exceed” compensation to **\$ 1,700,000.00 (\$ 500,000.00 for the original Agreement plus \$ 1,200,000.00 for this First Amendment to Agreement)** as is more particularly described in Section 1 of this First Amendment.

SECTION 1 AMENDMENT TO ORIGINAL AGREEMENT:

1.1 The Agreement termination date of **June 30, 2020** is not extended by this Amendment, unless the termination date is further extended by an Amendment to the Agreement.

1.2 The total “Not-to-Exceed” fee for this contract is **\$ 1,700,000.00 (\$ 500,000.00 for the original Agreement plus \$ 1,200,000.00 for the First Amendment to Agreement)**.

FIRST AMENDMENT TO AGREEMENT FOR BUILDING & SAFETY PLAN CHECK SERVICES, INSPECTIONS, AND PERMIT TECHNICIAN CONSULTANT SERVICES

SECTION 2

2.1 Except as otherwise specifically provided in this Amendment, all other terms and conditions of the Agreement shall remain in full force and effect.

SIGNATURE PAGE TO FOLLOW

Attachment: FIRST AMENDMENT TO AGREEMENT Willdan Engineering [Revision 1] (3077 : APPROVE FIRST AMENDMENT TO

FIRST AMENDMENT TO AGREEMENT FOR BUILDING & SAFETY PLAN CHECK SERVICES, INSPECTIONS, AND PERMIT TECHNICIAN CONSULTANT SERVICES

IN WITNESS HEREOF, the parties have each caused their authorized representative to execute this Agreement.

City of Moreno Valley

Willdan Engineering

By: _____

By: _____

Thomas M. DeSantis, City Manager

Title: _____

(President of Vice President)

Date: _____

Date: _____

<u>INTERNAL USE ONLY</u>	
ATTEST:	

City Clerk	
APPROVED AS TO FORM:	

City Attorney	

Date	
RECOMMENDED FOR APPROVAL:	

Department Head	

Date	

By: _____

Title: _____

(Corporate Secretary)

Date: _____

Attachment: FIRST AMENDMENT TO AGREEMENT Willdan Engineering [Revision 1] (3077 : APPROVE FIRST AMENDMENT TO



Report to City Council

TO: Mayor and City Council

FROM: David Kurylowicz, Chief of Police

AGENDA DATE: May 1, 2018

TITLE: APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE POLICE DEPARTMENT

RECOMMENDED ACTION

Recommendations: That the City Council:

1. Authorize the police department to purchase 20 new Broco Inc., 20 - 26" Ultimate Breacher tools, 20- Broco Inc., 25lb "Baby Ram" and 20- Broco Inc., "Jimmy Tools, at a cost of \$16,660.50 (\$15,320.00 for the Tools, plus \$1340.50 sales tax).
2. Authorize the police department to purchase 20 new Telestep Engineered Climbing, Elliptical Tactical Telescoping ladder at a cost of \$7,347.26 (\$6818.80 for the equipment, all related accessories, plus \$528.46 sales tax).
3. Authorize the police department to purchase 9 new Point-Blank Armor, ASPIS – 20x30 shield with view port and led light at a cost of \$54,391.34 (\$50,479.20 for the equipment, all related accessories, plus \$3,912.14 sales tax).
4. Authorize the police department to purchase 20 new Boydd Products, Compact Defense Shield "rifle Level IIIA" at a cost of \$25,872.93 (\$24,012.00 for the equipment, plus 1,860.93 sales tax).
5. Authorize the police department to purchase 20 new Command Concepts, Compact Command boards at a cost of \$3,069.00 (\$2,900.00 for equipment, plus \$169.00 sales tax).
6. Authorize the police department to purchase 20 new Leatherhead, 30" Ultra Force Bolt Cutters with handles at a cost of \$3,707.67 (\$3,317.40 for the equipment, plus \$390.27 sales tax and shipping).

7. Authorize a budget adjustment of \$111,048.70 to the General Fund (1010) Asset Forfeiture revenue account and the Patrol division expenditure account within the Police Department.

SUMMARY

This report recommends the City Council authorize the Moreno Valley Police Department to purchase 20 new 26" Ultimate Breacher tools, 25lb "Baby Rams", Jimmy Tools, Elliptical Tactical Telescoping ladders, ASPIS-X – 20x30 shields, Compact Defense Shields, Compact Command boards and 30" Ultra Force Bolt Cutters. The police department will utilize \$111,048.70 of asset forfeiture funds to acquire this equipment to be used toward increasing officer safety and efficiency with a goal of public safety in the City of Moreno Valley.

DISCUSSION

The police department is always progressing in the manner public safety is managed to combat the constant changing landscape of crime response. Recently, the law enforcement landscape dictates a need for rapid deployment of resources like in an active shooter style incident or similar dynamic events. A rapid response involves the rapid deployment of officers and specialty equipment to a scene as quickly as possible to preserve life and property.

The police department is embracing a systemic resource deployment change seeking to utilize the shift supervisor's vehicle as an emergency response vehicle (ERV) which will be loaded with a multitude of specialty tools instead of using one response vehicle that would be called out from the station. The fundamental change will keep a contingency of specialty tools mobile on every shift with the supervisor who will be responding to all critical incidents to manage the response and investigation. By having the tools deployed with each supervisor assigned to the police department, this will also allow for the successful deployment to simultaneous critical incidents with little effort.

Upon approval, each supervisor will be equipped with a ram for forcing doors open, a breach tool to compliment the ram to pry open a door, bolt cutters, a collapsible ladder, a ballistic shield and a compact command board. These tools will allow for the rapid deployment during the initial response, then the management of the scene acting as a forward command post until more resources are available.

Below is a detailed list of all equipment and a brief description of capabilities:

Broco / Rankin 25lb "Baby Ram":

The police department investigations bureau and special enforcement team currently deploys approximately 2-3 varying rams. These rams were purchased over the last 10 years and have a life expectancy of 10 years before replacement is needed.

The Broco / Rankin 25lb mini ram was identified for its versatility and weight. A ram is normally a large steel tube with handles attached in various configurations depending on the manufacture. The Broco / Rankin mini ram is on the lighter side of the spectrum and is ergonomically appealing for all body types. The mini ram's design allows for the weight distribution to transfer the force with minimal effort of the employee thus preventing injury to the employee. Because of the light weight, it also allows for smaller stature employees to get the desired result with a lighter weight ram. The Broco rams have an expected shelf life of approximately 10 years before replacement is needed.

Broco 26" Straight handle Ultimate Breach Tool:

Like the Broco Ram, the 26" Ultimate Breach tool is designed to help officers pry open a door or obstacle. This tool is relatively light weight and allows for a smaller stature employee to deploy the tool with ease. The breach tool is a weighted handle design with a flat edge to set in between the door or wall and the 26" handle is then used to pry open the door obstacle. Many times, the breach tool is used for an outward opening door and a ram is used for inward opening doors. The Broco Ultimate Breach tools have an expected shelf life of approximately 10 years before replacement is needed.

Broco 10" "Jimmy Tool":

Like the Ultimate breach tool detailed above, this tool is a smaller version and used for smaller jobs like interior residential doors, windows, car doors and small confined spaces. The "JIMMY" is a small compact pry bar designed with great tensile strength for prying. The "Jimmy" can be used in conjunction with the larger Ultimate Breach Tool with fortified doors or heavy-duty security screens. The Broco "Jimmy" tools have an expected shelf life of approximately 5 years before service or replacement is needed.

Telestep Engineered Climbing, Elliptical Tactical Telescoping ladder:

The Telestep tactical telescoping ladder is a compact ladder for transportation however telescopes to 12' within seconds. The ladder collapses to approximately 30" for storage inside the supervisor's vehicle. The ladder can be rapidly deployed for incidents that dictate the need to climb a large object. The ladder will also act as an emergency rescue litter in the event a critically injured person needs to be evacuated from their location for advanced medical care. The ladder has a weight capacity of 300lbs and comes with a transportation bag. The expected shelf life of the ladder is approximately 5-7 years depending on use and care.

Point-Blank Armor, ASPIS-X Gan 2 – 20x30 shield with view port and led light:

The Point-Blank ASPIS shield is a ballistic shield which is the size of the average human torso. The shield is designed to offer protection to the officers should they need to approach a suspect for the purpose of arrest, victim rescue or the need for ballistic protection has been identified. The shield can be used to protect several officers on approach in a single file line. The shield is rated to withstand rifle fire within national Institute of Justice (NIJ) standards. The shield comes with a view port for the officer and

a large LED light affixed to the front for better illumination the of suspect upon approach.

Like the ladder, the shield is multi-purpose and can be used as an emergency litter for victim transport out of a hostile area to seek emergency care. The expected shelf life of a shield is 5 years as the manufacture will not guarantee any ballistic armor past this time.

Boydd Products, Compact Defense Shield:

The Boydd Compact Defense Shield is a compact ballistic shield designed for rapid deployment. This shield is smaller and lighter than the above detailed shield and serves a different purpose for confined space deployment. The shield is rated to withstand rifle fire within national Institute of Justice (NIJ) standards. The expected shelf life of a shield is 7 years as the manufacture will not guarantee any ballistic armor past this time.

Leatherhead, 30" Ultra Force Bolt Cutters:

The Leatherhead 30" bolt cutters area commercial grade insulated bolt cutter. The bolt cutters are commonly used for exigent circumstances to gain access to many types of property when an emergency occurs. The bolt cutters are insulated to provide an added layer of protection against electrical shock. The 30" handled design are versatile for employees of all sizes and allow for greater leverage to cut the desired medium.

Command Concepts, Compact Command boards:

The Command Concepts Compact Command Board is a nylon case that stores compactly in the vehicle at 14x12", upon deployment on a critical incident it unfolds to 30x30". This nylon case is used by the on-scene supervisor to establish the incident command system and organize a larger response. The command board is used to become the strategic funnel of information and accountability of all resources deployed. The command board is a briefcase design when collapsed and unfolds into a large bulletin board used to display on the hood or trunk of a patrol vehicle. The command board will be outfitted internally with all law enforcement applicable forms prior to deployment.

The command boards are utilized most of the above listed tools and have a shelf life of approximately 3 years due to use.

ALTERNATIVES

1. Authorize the police department to purchase the above detailed tools utilizing \$111,048.70 of asset forfeiture funds to acquire this equipment and approve budget adjustments as set forth in the Fiscal Impact section of this report. Staff recommends this alternative.
2. Do not authorize the purchase of equipment and proposed budget adjustment.

Failure to authorize the police department to make these purchases will directly impact the ability of the police department to effectively deploy during a crisis or emergency incident without requesting tools be brought to the scene. Staff does not recommend this alternative.

FISCAL IMPACT

The MVPD is requesting City Council to approve using asset forfeiture funding held by the County of Riverside to purchase the above detailed items. Funding for this purchase will, if approved, not have any impact on the City’s General Fund budget. The budget appropriation will be as follows:

Description	Fund	GL Account No.	Type (Rev/Exp)	FY 17/18 Budget	FY 17/18 Proposed Amendment	FY 17/18 Amended Budget
Asset Forfeiture Revenue (from County)	Gen. Fund	1010-60-65-40010-480150	Rev	\$337,948	\$111,049	\$448,997
Emergency Response Tools	Gen. Fund	1010-60-66-40110-630330	Exp	\$0	\$56,657	\$56,697
Emergency Response Tools	Gen. Fund	1010-60-66-40110-660398	Exp	\$0	\$54,392	\$54,392

PREPARATION OF STAFF REPORT

Prepared By:
Steven Favero
Sergeant

Department Head Approval:
David Kurylowicz
Chief of Police

Concurred By:
Edward Chavez
Lieutenant

Concurred By:
Felicia London
Public Safety Contracts Administrator

CITY COUNCIL GOALS

Public Safety. Provide a safe and secure environment for people and property in the community, control the number and severity of fire and hazardous material incidents, and provide protection for citizens who live, work and visit the City of Moreno Valley.

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

1. Summary of Purchase
2. Quote - Bolt Cutters
3. Quote - Command Board
4. Quote - Compact Ballistic Shield
5. Quote - Ladder and Carrying Bag
6. Quote - Ram-Breacher-Jimmy
7. Quote - Standard Size Ballistic Shield with Carrying Bag
8. Approved Sole Source Memo - Boydd

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 5:39 PM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 4:53 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:50 PM

MVPD Sergeant LRT Equipment

Item	Price Each	Quantity	Cost
Broco Mini Ram	\$ 380.00	\$ 20.00	\$ 7,600.00
Tax			\$ 665.00
Shipping (will call)			\$ -
Broco Ultimate Breach tool	\$ 357.00	\$ 20.00	\$ 7,140.00
Tax			\$ 624.75
Shipping (will call)			\$ -
Broco "Jimmy"	\$ 29.00	\$ 20.00	\$ 580.00
Tax			\$ 50.75
Shipping (will call)			\$ -
Telestep Tactical Ladder with carry bag	\$ 340.94	\$ 20.00	\$ 6,818.80
Tax			\$ 528.46
Shipping (no Charge)			\$ -
Point Blank ASPIS-X Gen II IIIA Shield	\$ 5,608.80	\$ 9.00	\$ 50,479.20
Tax			\$ 3,912.14
Shipping (no Charge)			\$ -
Compact Command Board	\$ 145.00	\$ 20.00	\$ 2,900.00
Tax			\$ -
Shipping			\$ 169.00
Leatherhead 30" Boltcutters	\$ 165.87	\$ 20.00	\$ 3,317.40
Tax			\$ 290.27
Shipping			\$ 100.00
Boydd Compact Defense Shield	\$ 1,334.00	\$ 20.00	\$ 24,012.00
includes 10% discount			\$ 1,860.93
Total			\$ 111,048.70

Attachment: Summary of Purchase (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO



WWW.ONGUARDAPPAREL.COM
P 800.349.5877 F 951.279.8828

March 22, 2018

Sgt. Steve Favero
Riverside County Sheriff
Moreno Valley Station
22850 Calle San Juan de Los
Moreno Valley, CA 92553

Re: 5.11 Breaching Tools

Dear Sgt. Favero,

Thank you for allowing us to quote on the items you need. If you have any questions regarding this quote, please feel free to contact me at any time.

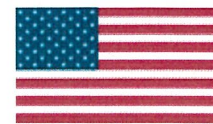
Pricing for items is below.

Item BCB-30
Leatherhead Ultra Force 30" Bold Cutters with Grips \$172.00ea x 20 = \$3440.00

Subtotal \$3440.00
Sales Tax \$266.60
Freight \$200.00
Total \$3906.60

Sincerely,

Paul Silva
Director of Operations
OGA USA, Inc.
W: 800-349-5877
C: 562-506-8780



Made in the U.S.A.

Leatherhead Tools
340 Blackhawk Park Ave
Rockford, IL 61104
Tel : 888-443-2726 Fax 815-962-4972

Quote**Customer**

Name **Sgt. Steve Favero**
Agency **Riverside County Sheriff**

sfavero@riversidesheriff.org

Tel : 951-906-9605

Quotation No:	RSO-032218-11
Ref:	
Validity	60 days
Currency :	USD
Date:	3/22/2018

Item	Description	Quantity	Price	Amount
BCB-30	Ultra Force Bolt Cutter, OAL 30" with Grips	20	\$240.96	\$4,819.2
	CA Use Tax-Riverside County-7.75%	1	\$373.49	\$373.4
	Freight Estimate	1	Free	Fre
	Total :			\$5,192.6

Notes:-

1) Prices are in US Dollars
2)delivery 30-45 days,
3)Net 30
THESE PRODUCTS MAYBE SUBJECT TO US EXPORT
CONTROLS, YOU ARE RESONSIBLE FOR COMPLYING
WITH ALL US EXPORT LAWS

Signed : Ryan Macy
951-757-4081
ryan@macyassoc.co

Attachment: Quote - Bolt Cutters (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE POLICE



Command Concepts

405 W. 115th Ave. Unit 3
Northglenn, Co 80234

Phone 8004927462

Quote

Date 3/20/2018
Invoice # 8778

Bill To
Riverside Co. Sheriff
Moreno Valley
Sgt. Favero

Ship To

P.O. No.	Terms	Rep	Ship Date	Via	FOB	Project
			3/20/2018			

Qty	Item	Description	Rate	Amount
20	CB124	Compact Board with No ICS Package	145.00	2,900.00T
1	Shipping	Shipping and Handling UPS Ground Freight	169.00	169.00
		Out-of-state sale, exempt from sales tax	0.00%	0.00

Total \$3,069.00
Pymnts/Credits \$0.00
Balance Due \$3,069.00

Attachment: Quote - Command Board (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE

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Saturday 8am - 4pm

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ITEM DESCRIPTION	EACH	QTY	TOTAL
 Compact CERT Command Board	\$260.00	<input type="text" value="20"/>	\$5,200.00 ✕

✕ Click to remove an item from your cart Empty My Entire Cart

Coupon Code:

Calculate Shipping (optional)

Shipping Rates:
(change my address)

TRUCKING \$131.93

United States, CA, 92552

Tax: \$403.00

Total: **\$5,734.93**

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Password

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New Customers

Click Proceed to Checkout to complete your order now.

OR
On the next page you'll be able to create a personal account or checkout anonymously.

Related Products & Accessories...

Command Post Tape - 1,000' - Blue

Our Price: \$19.98



Public Information Area Tape - 1,000' - White

Our Price: \$19.98



Window Flag Kit - Red

Our Price: \$75.00



NIMS Incident Command System Field Guide

Our Price: \$23.95



Window Flag Kit - Yellow

Folding Chair

Folding Table - 6 Ft.

Attachment: Quote - Command Board (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE

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Home > Command Boards > Command Board Shell comes with 2 blank dry erase boards. (no incident command package included)

Compact Shell only



Command Board Shell comes with 2 blank dry erase boards. (no incident command package included)

SHELL Compact size board \$155

Add to cart

\$ 155.00 - \$ 245.00

The Command Board is available as a shell, without the ICS packages.

COMMAND BOARD SIZES AND DESCRIPTIONS:

Standard Command Board



The Standard Command Board is designed to be a multi-purpose Incident Command Tool and can incorporate all available Incident Command

Attachment: Quote - Command Board (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE

Packages. It is used primarily by Law Enforcement, Schools and for basic Emergency Management. It comes with 2 blank dry erase.

The Standard Board folds into a briefcase size of 15" x 22" and expands in seconds to the full 31" x 56" size ready for use. It fits easily on a table, car hood and hangs easily with the two enclosed hanging straps.

Deluxe Board

The Deluxe size board was designed for operations requiring the use of large maps, like the Military, Wildland Firefighting and Search and Rescue. The Deluxe board folds to 16"x24" and opens to 30"x60" and can accommodate any Incident Command Package. It comes with 2 blank dry erase and 1 large map case.

The center panel is designed to accommodate several map pouches that are attached with metal "O" Rings that allow the pouches to be flipped to both the right and left panels.

The Deluxe Command Board includes one large map pouch. Additional map pouches can be purchased separately.

Compact Board

The Compact Command Board was developed for smaller posts and operations by military, specialized law enforcement groups (hostage negotiators), hazardous material response teams, public information officers and other individual operational posts.

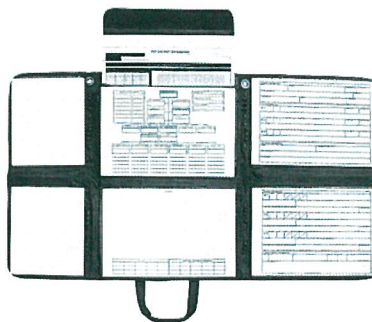
The Compact Board folds to a small 14" x 12" briefcase and opens quickly to a full 30" x 30" operational size. The center section features an expandable weather-proof pocket for incident forms and a small dry erase board. Each side panel has two spring loaded clips to hold padded forms in place plus security bands and plastic waterproof pockets. All Incident Command Packages can be incorporated into the Compact Board with some modifications required due to size of board. It comes with 2 small blank dry erase boards.

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Related products



CERT Command Boards
from \$ 210.00



Dry Erase Command Board. Pick the 4 dry erase that you want and include in the notes section, when ordering.
\$ 225.00



Emergency Management Command Boards
from \$ 210.00

Attachment: Quote - Command Board (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE



BOYDD PRODUCTS INC.

19510 Van Buren Blvd. F3-259
Riverside CA. 92508

Phone # 951-544-6746 Fax # 951-977-4351 E-mail Jim@BoyddProducts.com

www.BoyddProducts.com

Estimate

Date	Estimate #
4/4/2018	533

Name / Address
Riverside Sheriff - Moreno Valley Sgt. Steve Favero 22850 Calle San Juan De Los Lagos Moreno Valley, CA 92552

Ship To



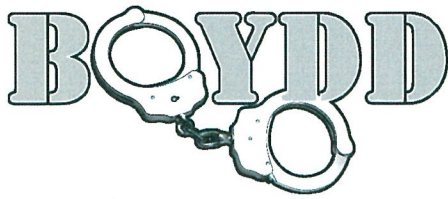
PELTOR™ PAT-DOWN PROPS



Item	Description	Qty	Rate	Total
BPI-CS-LIII-OD	Boydd Compact Ballistic Shield - NIJ Rifle Level III - Includes: (1) UHMWPE Level III Shield Panel 21" x 17", (1) OD Green 1000D Cordura Load Bearing Shield Cover with Integrated Handle, Forearm Strap and High Density Forearm Pad, (1) 4" x 11" Cordura Identification Patch - OD Green with Gold "POLICE" lettering.	20	995.00	19,900.00T
480-331 B30	FoxFury Taker B30 Shield Light. Includes Shield Light, Battery Pack, and Mounting Velcro.	20	235.00	4,700.00T
US1009	Tactical Shield or Rifle Bungee Sling, Pull Tab Adjustable, Two Point or Single Point Configuration, 1 1/4 Inch Webbing with Duraflex Buckles.	20	39.00	780.00T
BAHRB	Boydd Armor/Shield & Helmet Response Storage Bag - Black - Vertical Carry with Grab Handles - Top Load - Fully Padded - MOLLE webbing - ID Card Holder. Large pocket appx. 22x18.5x5" - Small pocket appx. 17x14x4.5"	20	65.00	1,300.00T
	Subtotal Before Discount			26,680.00
Discount 10	20+ Shield + Accessories Discount - 10%		-10.00%	-2,668.00
Free Shipping	Free Shipping Courtesy of Boydd Products.		0.00	0.00T
	Boydd Products is a Riverside County Registered Business (Lic. 044561) and Registered Riverside County Sheriff Vendor			

Thank you for your Quote request.	Sales Tax (7.75%)	\$1,860.93
	Total	\$25,872.93

Attachment: Quote - Compact Ballistic Shield (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR



COMPACT DEFENSE SHIELD PISTOL - LEVEL IIIA

Ballistic Tested to NIJ-STD 0108.01 - Level IIIA (.44 Mag SWCGC / 9mm FMJ)
Special Threat Tested (5.7mm SS195LF & 5.7mm SS197) + Lesser Threats
Stab Tested to NIJ-STD 0115.00 (Edged Weapon - Stab Level III)

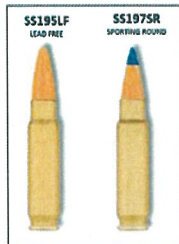
- A true lightweight & compact ballistic shield to improve speed, tactics and mobility during critical incidents
- Completely bolt-less, curved, buoyant & multi-hit UHMWPE design (IIIA & III) - perfect for maritime enforcement
- Ballistic, edged weapon and spike resistant for a variety of response options
- Efficient for searching large areas, multi-story facilities, stairwells, or other fatigue generating environments
- Excellent for critical response use in confined space or congested areas (Aircraft, Public Transit, etc.)
- Compact for interior vehicle storage and rapid deployment
- Mil-Spec 1000D Cordura tactical shield carrier (Made in the USA) with Velcro and webbing for accessories
- Level up or down by simply swapping internal shield panels (IIIA or III)
- Optional accessories include shield mounted tactical light/strobe and/or bungee sling
- 7 year ballistic performance warranty (IIIA & III)



COMMON LEVEL IIIA THREATS



SPECIAL THREAT TESTED



BOYDD PRODUCTS

P: 951-544-6746
 Email: Jim@BoyddProducts.com
 19510 Van Buren Blvd. F3-259, Riverside CA 92508
 www.BoyddProducts.com
 Veteran / LE Owned and Operated

***Accessories Not Included - Shown with optional shield light, sling & TQ**

Ballistic Shield Panel Weight: 5.0 lbs. (+/-)
 Ballistic Panel Thickness: .43"
 Ballistic Panel Size: 21"x17"
 Tactical Shield Carrier Included!
 OD Green, Ranger Green, Black, Coyote, & Multicam

PATENT PENDING
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Attachment: Quote - Compact Ballistic Shield (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR



COMPACT DEFENSE SHIELD RIFLE - LEVEL III



Ballistic Tested to NIJ-STD 0108.01 - Level III (7.62x51mm M80/.308)
Special Threat Tested (7.62x39mm M43 MSC & 5.56mm M193) + Lesser Threats
Stab Tested to NIJ-STD 0115.00 (Edged Weapon - Stab Level III)



Test Sample			Ballistic Threat				Results	
OBL No.:	Model No.:	Weight (lbs.)	Projectile	Shots	Velocity (fps)		Penetrations	Pass/Fail
					Min.	Max.		
18275	22MM UHMWPE	9.05	M80, Copper	5	2744	2769	0	<u>PASS</u>
			M43 MSC	2	2387	2413	0	<u>PASS</u>
			M193	2	3266	3276	0	<u>PASS</u>



- A true lightweight & compact rifle shield to improve speed, tactics and mobility during critical incidents
- Completely bolt-less, curved, buoyant & multi-hit UHMWPE design - perfect for maritime enforcement
- Ballistic, edged weapon and spike resistant for a variety of response options
- Efficient for searching large areas, multi-story facilities, stairwells, or other fatigue generating environments
- Excellent for critical response use in confined space or congested areas (Aircraft, Boats, Public Transit, etc.)
- Compact for interior vehicle storage and rapid deployment
- Tactical shield carrier made in the USA with 1000D Cordura brand fabric, Velcro and webbing for accessories
- Optional accessories include Foxfury Taker B30 tactical shield mounted light/strobe and/or bungee sling
- 7 year ballistic performance warranty

CUSTOM 4"X11" PATCHES AVAILABLE

COMMON LEVEL III THREATS



Not intended for Armor Piercing or Steel Core Penetrating Ammunition.

- Optional Foxfury Taker B30 Shield Light
- Optional Adjustable Bungee Sling



Ballistic Shield Panel Weight: 9.0 lbs. (+/-)
 Ballistic Panel Thickness: .90"
 Ballistic Panel Size: 21"x17"
 Tactical Shield Carrier Included: 2 lbs. (+/-)
 OD Green, Ranger Green, Black, Coyote, & Multicam

PATENT PENDING - Grant's Law Firm - Riverside, CA
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BOYDD PRODUCTS

P: 951-544-6746
 Email: Jim@BoyddProducts.com
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Attachment: Quote - Compact Ballistic Shield (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR

**Models that Comply with the
NIJ Standard-0101.06 for Ballistic-Resistance of Body Armor**

Filter: 1 selected Gender Opening Threat Status

Boydd Products, Inc.
19510 Van Buren Blvd. F3-259 Riverside , CA 92508
Tel: 951-544-6746

Threat Level	Model Designation	Gender	Opening	Size Range (Highlighted Boxes)	Warranty	Model Status
III	LON-III-P	Neutral	Single Curve		10 Years	Active

Attachment: Quote - Compact Ballistic Shield (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/11/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER KCAL Insurance Agency 2048 S. Hacienda Blvd., Hacienda Heights, CA 91745 License #: 0B07015	CONTACT NAME: Cicely Song
	PHONE (A/C, No, Ext): (626)333-1111 FAX (A/C, No): (626)369-7539 E-MAIL ADDRESS: joann@kcal.net
INSURED LONGFRI TECHNOLOGIES CO LTD 2734 THOMPSON CREEK RD STE C POMONA, CA 91767	INSURER(S) AFFORDING COVERAGE: EVANSTON INSURANCE CO. NAIC #
	INSURER B :
	INSURER C :
	INSURER D :
	INSURER E :
	INSURER F :


COVERAGES CERTIFICATE NUMBER: 00000000-0 REVISION NUMBER: 4

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATION MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			SP881957	01/15/2018	01/15/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
CERTIFICATE HOLDER HAS BEEN ADDED AS ADDITIONAL INSURED WITH RESPECT FOR GENERAL LIABILITY.

LOC #1 - 2734 THOMPSON CREEK ROAD, SUITE C, POMONA, CA 91767
LOC #2 - 2734 THOMPSON CREEK ROAD, SUITE F, POMONA, CA 91767 (eff.02/14/18)

CERTIFICATE HOLDER Boyd Products, Inc. 19510 Van Buren Blvd. F3-259 RIVERSIDE, CA 92508	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE  (CSO)
---	--

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Attachment: Quote - Compact Ballistic Shield (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR

ETW :USA | France | Argentina | Germany | Japan | United Kingdom | Korea | Russia | Spain | Vietnam | Switzerland | Brazil | Thailand | UAE | Poland | Italy | Morocco | Malaysia | Portugal | Depot



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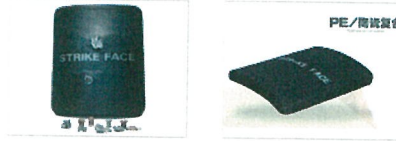
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Parameters

Grade	Type	Standard	Bulletproof level	Protected area(m ²)	Size
	FDCB-NIJ III-SR301A				
	FDCB-NIJ III-SR301S		NIJ III		
	FDCB-NIJ IV-SR301A	NIJ 0101.06			
	FDCB-NIJ IV-SR301S		NIJ IV		
PE/Ceramic	FDCB-NIJ IV-SR301S			0.075	250
Bulletproof Plate	FDCB-GA5 -SR301A		GA 5		
	FDCB-GA5 -SR301S	GA 141-2010			
	FDCB-GA6 -SR301A		GA 6		
	FDCB-GA6 -SR301S				

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Surrey is a specialized PE/ceramic composite ballistic plate manufacturer and supplier in China, our company offers a vast array of products, including other personnel protection products, UHMWPE fiber, carbon fiber, cable compound.

Related Names

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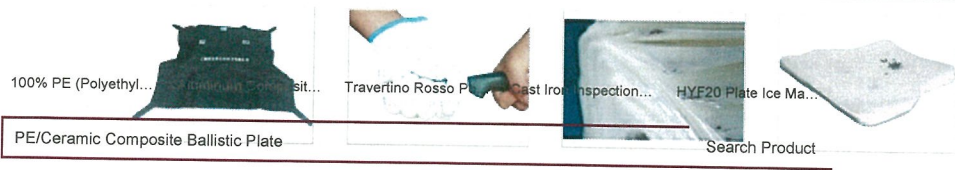
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Attachment: Quote - Compact Ballistic Shield (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR

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Quote

Customer: (1000533956) COUNTY OF RIVERSIDE SHERIFF
Date: 03/20/2018
Sales Rep: JASON CAMPBELL

Page 1 of 1
Quote Number: 10187534
Quote Expiration: 06/18/2018

Sold To:
COUNTY OF RIVERSIDE SHERIFFS
P.O. BOX 512
RIVERSIDE, CA 92502
STEVEN FAVERO

Ship To:
MORENO VALLEY POLICE DEPT
22850 CALLE SAN JUAN DE LOS LAGOS
MORENO VALLEY, CA 92553
STEVEN FAVERO

Line	Item	Description	Qty	Retail	Your Price	Ext Total
1	TP362 BLK	TELESTEPS ELLIPTICAL TACTICAL TELESCOPING LADDER	20		290.05	5,801.00
2	BB200 BLK	TELESTEPS CARRY BAG	20		50.89	1,017.80

Quote is valid for 90 days

SUBTOTAL:	6,818.80
SHIPPING:	
TAX.....:	528.46
TOTAL....:	7,347.26

Galls is required to collect sales tax on shipments to certain states. Sales tax will be added where applicable. For tax exempt customers, state laws require us to have signed tax exemption or resale certificates on file at our office. If you are tax exempt, please email or fax this information, (including your Galls account number) to Tax@galls.com or fax 859-268-5946.

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1340 Russell Cave Rd
Lexington, KY 40504
Tel: 800-876-4242 Fax:877-914-2557

Attachment: Quote - Ladder and Carrying Bag (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR

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The quantity you indicated for Telesteps Ladder Canvas Carry Bag exceeds our current inventory; there may be a wait to fulfill the entire order.

The quantity you indicated for Telesteps 16' Military/Tactical Extension Ladder exceeds our current inventory; there may be a wait to fulfill the entire order.



Telesteps Ladder Canvas Carry Bag

B&H #TEBAGSTS • MFR #BAGS-TS

Free Expedited Shipping

In Stock
Ready to Ship

10

\$49.75

Accessories

Save for Later

Remove

Item Total: \$497.50



Telesteps 16' Military/Tactical Extension Ladder

B&H #TE1600ET • MFR #1600ET

Free Expedited Shipping

In Stock
Ready to Ship

10

\$316.50

Accessories

Save for Later

Remove

Item Total: \$3,165.00

ESTIMATE SHIPPING & TAX

NYC Pickup (2 locations)

UNITED STATES ▾

92552 ✓

Eligible for FREE Shipping

Subtotal: \$3,662.50

Shipping **FREE**

Sales Tax \$0.00

You Pay \$3,662.50

Begin Checkout

or

Cart ID: #9863307573

Saved for Later

Stash ideas here, commitment-free!

$$\begin{array}{r}
 3662.50 \\
 3662.50 \\
 \hline
 \text{Quantity } 20 \quad 7,325.00
 \end{array}$$

Attachment: Quote - Ladder and Carrying Bag (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR

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The quantity you indicated for Telesteps Ladder Canvas Carry Bag exceeds our current inventory; there may be a wait to fulfill the entire order.

The quantity you indicated for Telesteps 16' Military/Tactical Extension Ladder exceeds our current inventory; there may be a wait to fulfill the entire order.



Telesteps Ladder Canvas Carry Bag

B&H #TEBAGSTS • MFR #BAGS-TS

Free Expedited Shipping

In Stock
Ready to Ship

10

\$49.75

Accessories

Save for Later

Remove

Item Total: \$497.50



Telesteps 16' Military/Tactical Extension Ladder

B&H #TE1600ET • MFR #1600ET

Free Expedited Shipping

In Stock
Ready to Ship

10

\$316.50

Accessories

Save for Later

Remove

Item Total: \$3,165.00

ESTIMATE SHIPPING & TAX

NYC Pickup (2 locations)

UNITED STATES ▾

92552 ✓

Eligible for FREE Shipping

Subtotal: \$3,662.50

Shipping **FREE**

Sales Tax \$0.00

You Pay \$3,662.50

Begin Checkout

or

Cart ID: #9863307573

Saved for Later

Stash ideas here, commitment-free!

Attachment: Quote - Ladder and Carrying Bag (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR



March 22, 2018

Sgt. Steve Favero
Riverside County Sheriff
Moreno Valley Station
22850 Calle San Juan de Los
Moreno Valley, CA 92553

Re: 5.11 Breaching Tools

Dear Sgt. Favero,

Thank you for allowing us to quote on the items you need. If you have any questions regarding this quote, please feel free to contact me at any time.

Pricing for items is below.

Item BRO-UBT-26S Broco 26" Straight Handle Ultimate Breacher Tool	\$402.00ea x 20 = \$8040.00
Item BRO-RAM-BABY Broco 25lb. Baby Ram	\$373.00ea x 20 = \$7460.00
Item BRO-BP-JIM Broco Jimmy Pry Tool	\$30.00ea x 20 = \$600.00
Subtotal	\$16,100.00
Sales Tax	\$1247.75
Total	\$17,347.75

Sincerely,

Paul Silva
Director of Operations
OGA USA, Inc.
W: 800-349-5877
C: 562-506-8780



400 S. Rockefeller Avenue
Ontario, CA 91761
909.483.3222 Fax 909.483.3233

QUOTE

NO: 03222018SMP3
DATE: March 22, 2018

CUSTOMER:

Sgt. Steve Favero
Moreno Police Department
22850 Calle San Juan De Los Lagos
Moreno Valley, CA 92552

SHIP TO:

Sgt. Steve Favero
Moreno Police Department
22850 Calle San Juan De Los Lagos
Moreno Valley, CA 92552
PHONE:

PURCHASER	P.O. NUMBER	EST. SHIP DATE	SHIPPED VIA	ULTIMATE DEST	TERMS
Steve Favero		TBD	Will call or deliver	CA	Credit Card or Net 30

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
20 each	BRO-UBT-26S – Ultimate Breacher Tool – straight handle 26"	\$424.00	\$8,480.00
20 each	BRO-RAM-BABY – Broco Baby Ram 25 lbs.	\$397.00	\$7,940.00
20 each	BRO-PB-JIM – Jimmy Pry Bar	\$33.00	\$660.00
		TOTAL DEC. VALUE	\$17,080.00
		Sales Tax 7.75%:	1,323.70
		INVOICE TOTAL (All currency in US\$)	\$18,403.70

Attachment: Quote - Ram-Breacher-Jimmy (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT FOR THE



The Authority in Public Safety
Equipment and Apparel.
www.galls.com

Quotation Date:	4/10/2018
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Company / Agency: Riverside County Sheriff

Customer / Contact: Steve Favero / sfavero@riversidesheriff.org

Galls Contact: **Jason Campbell / Teresa Beck**

Phone: 562.304.7805 / 760.505.5619

Fax: 562.304.7336

Email: campbell-jason@galls.com

<u>Stock Number</u>	<u>Color/Style</u>	<u>Product Description</u>	<u>Size</u>	<u>Quantity</u>	<u>Unit Price</u>	<u>Extended Total</u>
BF128	BLK	ASPIS-X G2 Gen 2 LAPD Shield with Bag		9	\$ 5,608.80	\$50,479.20

On Contract with the City of Los Angeles

*Prices quoted are for quantities listed. Changes to quantities could affect your price +/- . Please contact your account manager for latest pricing updates. While most quotes are good for 45 days, please contact us for extension.

Galls - 17600 Fabrica Way - Cerritos - CA - 90703 www.galls.com (800) 834-7744 Toll Free

Subtotal	\$50,479.20
Shipping	N/C
Tax \$	3,912.14
Grand Total	\$54,391.34

Attachment: Quote - Standard Size Ballistic Shield with Carrying Bag (3082 : APPROVE THE USE OF



ASPIS X

GEN II

LEVEL III

Exceptionally lightweight at only 17.9 lbs, the ASPIS X Shield provides superior maneuverability for handgun and long gun deployment. Available in Level III protection, the ASPIS X delivers high performance protection and optimal functionality.

FEATURES

- Level III protection
- Multi-Hit
- Federal Standard NIJ-STD
- Accurate long-gun deployment
- Ballistic Material – Hybrid composite
- Polyurea coating for enhanced durability and longevity
- 20" x 30" Full System WEIGHT = 17.9 LBS
- Mitigates ricochets when deployed on the ground
- Unique Hook and Loop forearm strap attachment system
- Thick high density foam pad 7"x7"x 1.5"
- Flat Design – Lower Weapon Mount System
- Stationary handle

Technical Specifications:

- Federal Standard NIJ-STD
- Ballistic Material – Hybrid composite
- Must come with 3 components:
Handle, Foam Pad and Forearm strap system
- View Port

Special Threats Rounds Tested:

- 7.62 x 39-mm, 123gr PS Ball
- 7.62 x 51mm, 149gr M80
- 5.56 x 45-mm, 55gr M193 Ball



Outside



Inside

OPTIONS

- With or Without View Port
- LED light with strobe (450 lumens)
- Transport Bag

SHIELDS



All models, data and specifications are subject to modification by manufacturer without notice.

Attachment: Quote - Standard Size Ballistic Shield with Carrying Bag (3082) : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO



Standard Warranty

As used herein, Point Blank includes Point Blank Enterprises, Inc., and its brands including Point Blank Body Armor, PACA, PARACLETE, and Protective Products.

1. Warranty - Outer Shell Carrier

- 1.1. The outer shell carrier and other non-ballistic components are warranted to be free from material and manufacturing defects for 24 months from the date of issue to the individual user, as verified by the warranty card.
 - 1.1.1. During the warranty period, any garment having a manufacturing or material defect, as determined through inspection by an authorized Point Blank representative, will be repaired or replaced at no cost to the customer.
 - 1.1.2. The outer shell carrier warranty shall be void if the product has been altered, abused, or misused, stored improperly, or not cleaned in accordance with cleaning instructions.

2. Warranty - Soft Ballistic Component

- 2.1. The bullet/stab-resistant elements are warranted to perform to their NIJ-certified standard for a period of five years from the date of issue to the individual user, as verified by the warranty card.
- 2.2. The bullet/stab-resistant elements of this system have been tested and certified by the National Institute of Justice and passed the compliance requirements of the NIJ Standard for Ballistic Resistance of Personal Body Armor.
- 2.3. The ballistic elements are warranted to be of the same construction and design as the original NIJ certified model listed on the label.
- 2.4. During the warranty period, any soft ballistic component having a manufacturing or material defect, as determined through inspection by an authorized Point Blank representative, will be repaired or replaced at no cost to the customer.
- 2.5. During the warranty period, should the soft body armor ballistic panel cover be compromised (cut, torn or frayed); it should not be worn and immediately returned to the manufacturer for inspection and repair. If the damage is the result of normal wear and tear, the damage will be repaired free of charge. If however, the damage is the result of improper care, storage or abuse, determined solely by Point Blank, then Point Blank will advise the owner of recommended repair or replacement costs.
- 2.6. The ballistic/stab-resistant elements of this system will reduce the possibility of serious physical injury to the wearer in the areas covered by the ballistic or stab elements.
- 2.7. There should be no expectation of bullet or stab resistance in areas not covered by the ballistic or stab element. The ballistic or stab element is not warranted to be bulletproof or stab proof.

3. Warranty – Helmet, Ballistic Plate, Blade Plate and Ballistic Shield

- 3.1. The bullet/stab-resistant elements are warranted to perform to their NIJ-certified standard for a period of five years, (except as noted below), from the date of issue to the individual user, as verified by the warranty card. In the case of steel plates, the bullet/stab-resistant elements are warranted to perform to their NIJ-certified standard for a period of ten years from the date of issue to the individual user, as verified by the warranty card.
- 3.2. The bullet/stab-resistant elements of this system have been tested and certified by the National Institute of Justice and passed the compliance requirements of the NIJ Standard for Ballistic Resistance of Personal Body Armor, if so indicated.
- 3.3. The ballistic elements are warranted to be of the same construction and design as the original NIJ certified model listed on the label, if so indicated.
- 3.4. During the warranty period, any plate or ballistic shield having a manufacturing or material defect, as determined through inspection by an authorized Point Blank representative, will be repaired or replaced at no cost to the customer.
- 3.5. The ballistic/stab-resistant elements of this system will reduce the possibility of serious physical injury to the wearer in the areas covered by the ballistic or stab elements.
- 3.6. Should the helmet, blade plate, ballistic plate or shield be compromised, by misuse, drops, visible cracks, its use should be discontinued and immediately returned to the manufacturer for inspection. If the damage is the result of normal wear and tear, the damage will be repaired free of charge. If however, the damage is the result of improper care, storage or abuse, determined solely by Point Blank, then Point Blank will advise the owner of recommended repair or replacement costs.
- 3.7. There should be no expectation of bullet or stab resistance in areas not covered by the ballistic or stab element. The ballistic or stab element is not warranted to be bulletproof or stab proof. Refer to the warranty provided by the original equipment manufacturer (OEM) helmet, blade plate and single curve ballistic shield.
- 3.8. Point Blank warranty disclaimer: In the case of improper use of a ballistic item, Point Blank Enterprises assumes no liability for any injury to persons or damage to the ballistic item.

4. Point Blank will honor the above warranty for collective purchasing arrangements only when all entities involved have been identified and agreed upon by Point Blank Enterprises prior to purchase.

5. **Warranty – OEM Products** - Such products are sold by Point Blank "as is". Unless noted otherwise, Point Blank makes no warranty or representation for such equipment.

6. This warranty does not cover and is void for:

- 6.1. Any garment, shield, plate or helmet altered or modified in any way other than Point Blank/ authorized factory alterations.
- 6.2. Any ballistic or stab element that has been altered or modified in any way other than Point Blank authorized factory alterations.
- 6.3. Any ballistic or stab element not in a Point Blank outer shell carrier, except as approved by Point Blank.
- 6.4. Damage as a result of abuse or misuse.
- 6.5. Damage as a result of improper storage or maintenance.
- 6.6. Penetrations as a result of ballistic or stab testing.
- 6.7. The results of any specific ballistic or stab testing.
- 6.8. Injury as a result of bullets or other projectiles or instruments not impacting the ballistic or stab element.

7. **Saves Program - Should the bullet/stab resistant elements of a Point Blank system be damaged while preventing physical injury to the wearer, these components will be replaced free of charge by Point Blank.**

The warranted items herein are expressly in lieu of other warranties, express or implied, including the implied warranties of merchantability, fitness for particular purpose and other warranties arising from a course of dealing, usage or trade. There are no warranties, express or implied, including the implied warranty of merchantability, which extend beyond the description on the face hereof. There are no warranties, express or implied, that extend beyond the warranty period set forth herein.

P.O. NO. _____

SOLE SOURCE REQUEST JUSTIFICATION/APPROVAL FORM

VENDOR NAME: **Boydd Products**
CONTACT NAME: **Jim Boydd**
PHONE NO: **951-544-6746**

Describe the product/service: **Boydd Products, Compact Defense Shield, rifle rated NIJ Level III**

Check the reason for this sole source request:

- 1. No other vendor possesses the item(s) or service(s) needed to perform the same function as verified by research via the Internet and Yellow Pages. *This product is the only made in this size & weight. AD*
- A geographical territory exists of this dealer or distributor.
- Proprietary: The item is sold exclusively by this vendor and held under exclusive title, trademark or copyright and no other vendor, dealer or distributor exists.
- Geographic location: Transportation costs make purchasing from another vendor too costly.
- Standardization: The City requires the product/service to be standardized based on parts, design, quality, inter-operability, expertise or other. Please explain:

2. Is the product or service available from other sources? YES NO
If YES, list names of vendors and explain why additional quotes were not obtained:

3. Can your requirements be modified so that competitive products or services may be used?
 NO YES - Please explain:

Signatures: When signing below you are stating that the above is correct and true.

Division Manager Name: EDWARD CHAUZ

Division Manager Signature: Edward Cly

Date: 04-23-18

Approved: YES NO

Purchasing Manager: Angelic Davis

Date: 4/23/18

Attachment: Approved Sole Source Memo - Boydd (3082 : APPROVE THE USE OF ASSET FORFEITURE FUNDS TO PURCHASE EQUIPMENT



Report to City Council

TO: Mayor and City Council

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: APPROVAL OF THE FISCAL YEAR 2018/2019 STORM WATER PROTECTION PROGRAM BUDGET FOR COUNTY SERVICE AREA 152

RECOMMENDED ACTION

Recommendations:

1. Approve the County Service Area (CSA) 152 Budget for Fiscal Year (FY) 2018/2019 in the amount \$674,186.
2. Authorize the levy of County Service Area 152 Assessment at \$8.15 per Benefit Assessment Unit (BAU) for FY 2018/2019.

SUMMARY

The County Service Area (CSA) 152 was formed by Riverside County to offset a portion of the costs of the federally mandated National Pollutant Discharge Elimination System (NPDES) program. The County continues to manage the CSA program and applies parcel charges on the property tax bills of parcels which benefit from the services. For the City to receive funding from the County, the City must prepare a CSA 152 Budget for submission to the County. This report recommends approval of the Fiscal Year (FY) 2018/2019 County Service Area 152 Budget in the amount of \$674,186 and the authorization to levy the CSA 152 assessment at \$8.15 per Benefit Assessment Unit (BAU).

DISCUSSION

The CSA 152 program, as administered by the County, allows for the collection of revenues on the property tax bills to support the NPDES program. The County is the lead agency in administering CSA 152 and the City is a participating agency. In order to continue with the service provided under CSA 152, the City is required to approve the

CSA 152 budget for FY 2018/2019 in a specific amount (Attachment 1); and approve a CSA 152 Assessment per Benefit Assessment Unit (BAU) for FY 2018/2019.

Although costs may exceed the current revenues, Staff is not recommending an increase of the BAU assessment beyond the previously approved amount of \$8.15. Any increase to the BAU would require a mail ballot process under Proposition 218 and the approval of the property owners.

The County CSA 152 Administrative Services Agreement requires the City to adopt an annual CSA 152 Budget. To ensure the funding is secured and the assessment remains on the tax rolls for FY 2018/2019 staff is recommending Council adopt the CSA 152 budget as presented this evening. The County levies CSA 152 on the annual property tax bill on behalf of the City of Moreno Valley. The recommended budget and BAU was presented to the Finance Subcommittee on April 24, 2018 for review.

Failure by the City to enforce the NPDES program can result in penalties of up to \$37,500 per day for noncompliance and/or civil and criminal penalties. This is a federally mandated program administered by the State. There has been neither State nor Federal monies allocated to local agencies to address these requirements.

ALTERNATIVES

1. Approve the CSA 152 Budget for FY 2018/2019 in the amount of \$674,186 and authorize the levy of CSA 152 Assessment at \$8.15 per BAU for FY 2018/2019. *Approval of this alternative assures that a portion of the funds necessary to support the various storm water management and maintenance programs for the City will continue to be collected.*
2. Do not approve the CSA 152 Budget for FY 2018/2019 in the amount of \$674,186 and do not authorize the levy of CSA 152 Assessment at \$8.15 per BAU for FY 2018/2019. *This alternative does not provide for the collection of the assessment on the annual tax rolls that are necessary to fund portions of the storm water management and maintenance programs and not authorizing either the budget or levy will interrupt the assessment and revenue collection process.*

FISCAL IMPACT

Adoption of the recommended CSA 152 Budget and authorization of the annual levy will ensure that the City receives its authorized funding from this source. With the implementation of the federally mandated NPDES program, the City may use CSA 152 revenues together with other NPDES related revenues. However, in cases where the revenues do not fully fund program costs, the City's General Fund may be required to make up the shortfall. Approving the CSA 152 Budget will help mitigate the level of impact on the General Fund. The City's FY 2017/2018 and FY 2018/2019 operating budgets do not include a General Fund allocation for any NPDES specific activity. The funds collected from the CSA 152 charges and other NPDES related revenues are

sufficient to cover the State mandated activities. Funds collected from the CSA 152 annual levy are restricted for use only within the Storm Water Management programs.

NOTIFICATION

Publication of agenda.

PREPARATION OF STAFF REPORT

Prepared By:
Rae Beimer
Storm Water Program Manager

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

Concurred By:
Michael D. Lloyd, P.E.
Engineering Division Manager/Assistant City Engineer

Concurred By:
Marshall Eyerman
Chief Financial Officer/City Treasurer

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

Public Safety. Provide a safe and secure environment for people and property in the community, control the number and severity of fire and hazardous material incidents, and provide protection for citizens who live, work and visit the City of Moreno Valley.

Public Facilities and Capital Projects. Ensure that needed public facilities, roadway improvements, and other infrastructure improvements are constructed and maintained.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

Objective 4.2: Develop and maintain a comprehensive Infrastructure Plan to invest in and deliver City infrastructure.

ATTACHMENTS

- 1. CSA Budget Detail FY2018-19

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 6:25 PM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 4:47 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:48 PM

CITY OF MORENO VALLEY
FISCAL YEAR 2018/2019 CSA 152 - BUDGET DETAIL

	<u>FY2018/19</u>
1. STORM DRAINAGE SYSTEM INSPECTION (36" AND GREATER - 99,710 LF)	
A. Inspection	\$6,741.86
B. Document Violations	\$1,348.37
C. Inspection Preparation Plan	\$6,067.67
D. Update Facilities Drawings	\$10,112.79

Sub-total =	<u>\$24,270.70</u>
2. DRAINAGE AREA MANAGEMENT PLAN (DAMP)	
A. Catch Basin Maintenance	\$190,120.45
B. Street Sweeping	\$300,012.77
C. Development of Ordinances/Policies/BMPs	\$14,832.09
D. Training Program Implementation	\$2,022.56
E. Inspection of Illegal Connections and Dumping	\$6,067.67
F. Development of Municipal Facilities Strategy	\$6,067.67
G. Litter/Trash Characterization	\$6,067.67

Sub-total =	<u>\$525,190.89</u>
3. PROGRAM ADMINISTRATION & SUPERVISION	
A. Program Management	\$18,877.21
B. Consultant's Fee (RCFC&WCD)	\$16,180.46

Sub-total =	<u>\$35,057.67</u>
4. LEGAL MAILINGS	
A. Associate Environmental Engineer Cost	\$3,370.93
B. Clerk's Cost	\$1,348.37
C. Postage Cost	\$23,596.51

Sub-total =	<u>\$28,315.81</u>
5. ASSESSOR CHARGE - \$0.25/parcel	\$14,157.91
6. COUNTY COMPUTER TIME	\$6,741.86
7. CSA 152 ADMINISTRATION FEE (6%)	\$40,451.16
TOTAL PROJECTED YEARLY COST (1. through 7.)	\$674,186.00

ANNUAL ASSESSMENT

COST	\$674,186.00
TOTAL BENEFIT ASSESSMENT UNITS	82,722
ANNUAL ASSESSMENT PER BAU	\$8.15

Attachment: CSA Budget Detail FY2018-19 (3010 : APPROVAL OF THE FISCAL YEAR 2018/2019 STORM WATER)



Report to City Council

TO: Mayor and City Council

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) - AS AMENDMENT NO. 27 AND 28

RECOMMENDED ACTION

Recommendation:

1. Acting as the legislative body of Community Facilities District No. 2014-01 (Maintenance Services), adopt Resolution No. 2018-___, a Resolution of the City Council of the City of Moreno Valley, California, ordering the annexation of territory to City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services) and approving the amended maps for said District.

SUMMARY

Approval of the proposed resolutions will certify annexation of seven parcels into Community Facilities District (CFD) No. 2014-01 (Maintenance Services) ("District"). This action impacts two property owners, not the general citizens or taxpayers of the City.

The City requires property owners of new development projects to mitigate the cost of certain impacts created by the proposed development (i.e., the cost of operation and maintenance of public landscaping and/or street lights). As a condition of approval, property owners are required to provide an ongoing funding source to maintain those improvements. The City created CFD No. 2014-01 to provide the development community with a financing mechanism to assist in satisfying the requirement. After a property owner elects to annex their property into the District and the City Council approves the annexation, the special tax can be levied on the annual property tax bill(s) of the annexed parcel(s). Revenue generated by the District provides a funding source to operate and maintain only those improvements within the District.

As a condition of approval for development of their projects, Cactus Commerce and Metric Homes, LLC (the “Property Owners”) are required to provide a funding source for the maintenance and operation of certain public improvements (landscaping and street lighting services) and have elected to annex the parcel(s) of their projects into the District. The Property Owners have each submitted a Landowner Petition approving the annexation and the City Clerk has confirmed the petitions are valid.

DISCUSSION

District Formation

The District was formed by adoption of Resolution No. 2014-25 to provide an alternative funding tool for the development community. It provides a mechanism to fund the operation and maintenance of street lighting services and maintenance of public landscaping. After a landowner approves annexation of their property into the District and the City Council approves the annexation, the City is authorized to levy a special tax onto the annual property tax bill(s). Residential Tract 31618 (southwest corner of Moreno Beach Dr. and Bay Ave.) formed the original boundaries of the District. Since formation of the District, 26 additional landowners have authorized annexation of their properties into the District.

The Rate and Method of Apportionment of Special Tax (“RMA”) for the District describes the different special tax rate areas, services provided, and the formula to calculate the special tax rate for each of the tax rate areas. Several special tax rate layers were created to accommodate a variety of scenarios to ensure costs are fairly shared between property owners. For example, there is a tax rate layer for “single-family residential street lighting” and one for “street lighting for property other than single-family residential” (e.g., commercial, industrial, or multi-family projects). Different tax rate layers are needed for street lighting because the spacing and size/type of lights differ based on the type of development. Likewise, there are several tax rate areas for maintenance of public landscaping. A property owner’s proportionate share of landscape maintenance costs will vary depending upon the total square footage of landscaping to be maintained for that development and the number of properties sharing in the cost.

Annexation to the District

On February 10, 2015, the City Council adopted Ordinance No. 889, which designated the entire territory of the City as a future annexation area for the District. The Ordinance provides a simplified process for the development community to annex into the District. Annexations can occur without an additional public hearing as long as the annexing landowner provides unanimous consent. Once annexed, parcels are subject to the annual special tax to fund the service(s) they are receiving.

Cactus Commerce is approved to develop a 36,950 square foot warehouse building and commercial center on the northeast corner of Cactus Avenue and Commerce Center

Drive. As a condition of approval, the project is required to provide an ongoing funding source for landscape maintenance services to the median to be located on Cactus Avenue.

Metric Homes, LLC, has received approval for Tentative Tract Map 31621, a 12-lot subdivision located east of Hubbard St., at the end of Tranquil Way. As a condition of project approval, the project is required to provide an ongoing funding source for maintenance services of street lights installed on public streets as part of the development project.

Information for the parcel(s) under development (or the "Subject Property") is shown in the table below:

Property Owner/Project	Assessor's Parcel Number(s)	Location	Amendment No.
Cactus Commerce PEN16-0131/SCP17-0014 Warehouse and Commercial Center	297-130-052, 297-130-053, and 297-130-054	Northeast corner of Cactus Ave. and Commerce Center Dr.	27
Metric Homes, LLC PEN17-0014/SCP18-0001 Tentative Tract Map 31621 12-lot subdivision	475-220-060, 475-220-061, 475- 220-062, and 475-220-063	East of Hubbard St. at the end of Tranquil Way	28

The property owner has two options to satisfy the condition of approval:

- 1) Submit a Landowner Petition unanimously approving annexation of their property into the District. Approval of the petition and special tax rate allows the City to annually levy the special tax on the property tax bill(s) of their property. This option is only available if there are fewer than 12 registered voters living within the proposed annexation area, or
- 2) Establish a homeowner or property owner association to provide the ongoing maintenance and operation of the improvements.

The Property Owners have elected to annex the Subject Property into CFD No. 2014-01 and have the special tax applied to the annual property tax bill. The Office of the Riverside County Registrar of Voters confirmed there were no registered voters residing at the Subject Property allowing for the special election of the landowner to be conducted. The City Clerk received and reviewed the Property Owners' Landowner Petitions and confirmed the Property Owners unanimously approved the annexation of the Subject Property into the District (Attachment 5 and 6). Adoption of the attached resolution (Attachment 1 and 2) adds the Subject Property to the tax rate area(s) identified in the table in the Fiscal Impact section of this report and directs the recordation of the boundary maps (Attachment 3 and 4) and amended notice of special tax lien for Amendment No. 27 and 28.

Successful completion of the annexation process satisfies each project’s condition of approval to provide a funding source for the operation and maintenance of landscaping and street lighting on public streets.

ALTERNATIVES

1. Adopt the proposed resolution. *Staff recommends this alternative as it will annex the Subject Property into CFD No. 2014-01 at the request of the Property Owners and satisfy the condition of approval for the proposed developments.*
2. Do not adopt the proposed resolution. *Staff does not recommend this alternative as it is contrary to the request of the Property Owners, will not satisfy the condition of approval, and may delay development of the projects.*
3. Do not adopt the proposed resolution but rather continue the item to a regular future City Council meeting. *Staff does not recommend this alternative as it will delay the Property Owners from satisfying the condition of approval and may delay development of the projects.*

FISCAL IMPACT

Revenue received from the special tax is restricted and can only be used to fund the services for each tax rate area within the District. If the revenue received from the maximum special tax exceeds what is necessary to fund the services within each tax rate area, a lower amount will be applied to the property tax bills for all properties within the affected tax rate area. The special tax can only be applied to a property tax bill of a parcel wherein the property owner has previously provided approval. The estimated maximum special tax revenue which can be generated from these projects is detailed below:

Property Owner	Service/ Tax Rate Area	Front Linear Footage/No. of Parcels ¹	FY 2017/18 Maximum Special Tax ²	Estimated FY 2017/18 Maximum Special Tax for the Project
Cactus Commerce	Landscaping for Property Other than Single-Family Residential, LM-02A	228.25	\$12.65/linear foot	\$2,887.36
Metric Homes, LLC	Street Lighting for Single-Family Residential, SL-01	4	\$228.49/per parcel	\$913.96

¹ Based on proposed parcel configuration. The special tax calculation will be based on final development of the project.

² The special tax applied to the property tax bill will be based on the needs of the District, which can be lower than but cannot exceed the maximum special tax. The FY 2017/18 applied rate is \$7.82 per linear foot for LM-02A and \$163.00 per parcel for SL-01.

The maximum special tax rates are subject to an annual inflation adjustment based on the change in the Consumer Price Index (CPI) or five percent (5%), whichever is greater. Each year, the City Council must authorize any proposed CPI adjustment prior

to the levy of the special tax onto the property tax bills. The increase to the maximum special tax rate cannot exceed the annual inflationary adjustment without a two-thirds approval of the qualified electors (landowners or registered voters depending upon the number of registered voters) within the affected tax rate area.

NOTIFICATION

Annexation materials were mailed to the Property Owner on March 15, 2018. A cover letter, Landowner Petition, RMA, and an envelope to return the completed petition were included.

PREPARATION OF STAFF REPORT

Prepared by:
Isa Rojas
Management Analyst

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

Concurred by:
Candace E. Cassel
Special Districts Division Manager

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

Objective 4.2: Develop and maintain a comprehensive Infrastructure Plan to invest in and deliver City infrastructure.

ATTACHMENTS

1. Resolution Ordering Annexation No. 27

- 2. Resolution Ordering Annexation No. 28
- 3. Boundary Map CFD 2014-01 - Amendment No. 27
- 4. Boundary Map CFD 2014-01 - Amendment No. 28
- 5. Certificate of Election Official - Amendment No. 27
- 6. Certificate of Election Official - Amendment No. 28

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 7:49 AM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 7:50 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:37 PM

RESOLUTION NO. 2018-____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, ORDERING THE ANNEXATION OF TERRITORY TO CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) AND APPROVING THE AMENDED MAP FOR SAID DISTRICT

WHEREAS, by its Resolution No. 2014-25, the City Council established the City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services) (the "CFD") pursuant to the Mello-Roos Community Facilities Act of 1982 (Government Code Section 53311 *et seq.*) (the "Act"); and

WHEREAS, by its Ordinance No. 874, the City Council levied an annual special tax against all non-exempt parcels of real property within the CFD (the "Special Tax") to fund street lighting services and landscape maintenance services; and

WHEREAS, in order to permit landowners to efficiently annex developing parcels to the CFD, the City Council, by its Ordinance No. 889 designated the entire territory of the City as a future annexation area for the CFD and approved the second amended and restated rate and method of apportionment for the Special Tax; and

WHEREAS, the landowner of the parcels listed on Exhibit A to this Resolution, which is attached hereto and incorporated herein by reference, has submitted to the City a petition requesting and approving annexation of the listed parcels (the "Annexation Parcels") to the CFD; and

WHEREAS, the Annexation Parcels are comprised of the territory shown on the boundary map (the "Boundary Map") "Amendment No. 27 to Boundaries of City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, County of Riverside, State of California" which is included as Exhibit B to this Resolution, and incorporated herein by this reference; and

WHEREAS, the City Council desires to annex the Annexation Parcels to the CFD.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct and are herein incorporated.

2. Annexation Approved. The Annexation Parcels are hereby added to and part of the CFD with full legal effect. The Annexation Parcels are subject to the Special Tax associated with the Tax Rate Area(s) indicated on Exhibit A to this Resolution.

1
Resolution No. 2018-____
Date Adopted: May 1, 2018

3. Description of Services. The following is a general description of all services (the "Services") provided in the CFD:

A. Landscape Maintenance Services: Maintaining, servicing, and operating landscape improvements and associated appurtenances located within the public right-of-way and within dedicated landscape easements for the CFD. These improvements may include but are not limited to parkways, medians, open space landscaping, fencing, monuments, ornamental lighting, drainage, turf, ground cover, shrubs, vines and trees, irrigation systems, and appurtenant facilities and structures. Fundable costs may include, but are not limited to: (i) contracting costs for landscape maintenance services, including litter removal, (ii) salaries and benefits of City staff, (iii) expenses related to equipment, apparatus, and supplies related to these services, (iv) City administrative and overhead costs associated with providing such services within the CFD, and (v) lifecycle costs associated with the repair and replacement of facilities.

B. Street Lighting Services: Maintaining, servicing, and operating street lights and appurtenant improvements. Fundable costs may include, but are not limited to: (i) contracting costs for street light maintenance, (ii) salaries and benefits of City staff, if the City directly provides street light maintenance services, (iii) utility expenses and the expense related to equipment, apparatus, and supplies related to these services and authorized by the Act, (iv) City administrative and overhead costs associated with providing such services for the CFD, and (v) lifecycle costs associated with the repair and replacement of facilities.

The Annexation Parcels will only be provided with the services indicated on Exhibit A.

4. Amended Boundary Map. The Boundary Map attached hereto as Exhibit B is hereby approved. This map amends, and does not supersede, the existing maps of the CFD. The City Council directs that said map be filed with the Riverside County Recorder pursuant to Section 3113 of the Streets and Highways Code.

5. Notice of Special Tax Lien. The City Council directs that an amended notice of special tax lien be recorded pursuant to Section 3117.5 of the Streets and Highways Code with respect to the Annexation Parcels associated with the Boundary Map.

6. This Resolution shall be effective immediately upon adoption.

7. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

8. Severability. That the City Council declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any

Resolution No. 2018-
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 27 (3048) : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

9. Repeal of Conflicting Provisions. That all the provisions heretofore adopted by the City Council that are in conflict with the provisions of this Resolution are hereby repealed.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Resolution No. 2018-3
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 27 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2018-___ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 1st day of May, 2018 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Resolution No. 2018-___
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 27 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

EXHIBIT A

List of Annexation Parcel(s)

Boundary Map Amendment No.	Assessor's Parcel Numbers	Services	Tax Rate Area & Maintenance Category
Amendment No. 27	297-130-052	Landscaping for Property Other than Single-Family Residential	LM-02A
	297-130-053		
	297-130-054		

Based on current development plans, it is anticipated that the Annexation Group will be in the Maintenance Category listed above; however all taxes will be calculated as set forth in the Rate and Method of Apportionment.

The parcels associated with a given development constitute a separate Annexation Group for purpose of calculating the applicable Maintenance Category (where applicable) for each Tax Rate Area. The anticipated Maintenance Category (where applicable) is shown in parenthesis following the Tax Rate Area. All capitalized terms in this paragraph have the meanings set forth in the Rate and Method of Apportionment.

5
Resolution No. 2018-
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 27 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

EXHIBIT B

VICINITY MAP

**AMENDMENT NO. 27 TO BOUNDARIES
OF CITY OF MORENO VALLEY COMMUNITY
FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES)**

CITY OF MORENO VALLEY
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

(This map amends, by adding the additional territory shown hereon, the boundary map for City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, Riverside County, State of California, prior recorded at Book 76 of Maps of Assessment and Community Facilities Districts at page 69, in the office of the County Recorder for the County of Riverside, State of California.)

SHEET 1 OF 1

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____, 201__.

CITY CLERK
CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING AMENDED BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES), CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AT A REGULAR MEETING THEREOF, HELD ON THE _____ DAY OF _____, 201__, BY ITS RESOLUTION NO. _____.

CITY CLERK
CITY OF MORENO VALLEY

FILED THIS _____ DAY OF _____, 201__
AT THE HOUR OF _____ O'CLOCK _____ M. IN THE BOOK _____ PAGE(S) _____ OF MAPS OF ASSESSMENTS AND COMMUNITY FACILITIES DISTRICTS AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF THE CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON FEBRUARY 20, 2014 IN BOOK 76 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGE 69 AS INSTRUMENT NO. 2014-008614.

REFERENCE IS FURTHER MADE TO ANNEXATION MAP NO. 2 OF COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, CALIFORNIA (TERRITORY PROPOSED FOR ANNEXATION IN THE FUTURE WITH THE CONDITION THAT PARCELS WITHIN THAT TERRITORY MAY BE ANNEXED ONLY WITH THE UNANIMOUS APPROVAL OF THE OWNER OR OWNERS OF EACH PARCEL OR PARCELS AT THE TIME THAT PARCEL OR THOSE PARCELS ARE ANNEXED) RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON DECEMBER 17, 2014 IN BOOK 77, PAGE 78 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AS INSTRUMENT NO. 2014-0481134, WHICH DESIGNATED THE TERRITORY SHOWN HEREIN AS TERRITORY FOR FUTURE ANNEXATION TO THE COMMUNITY FACILITIES DISTRICT REFERENCED THEREON.

THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.

MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	297-130-052
2	297-130-053
3	297-130-054

Legend
 MAP REFERENCE NUMBER
 ADDITIONAL AREA TO CFD 2014-01
1 inch = 83 feet

Attachment: Resolution Ordering Annexation No. 27 (3048) : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

6
Resolution No. 2018-____
Date Adopted: May 1, 2018

RESOLUTION NO. 2018-___

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, ORDERING THE ANNEXATION OF TERRITORY TO CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) AND APPROVING THE AMENDED MAP FOR SAID DISTRICT

WHEREAS, by its Resolution No. 2014-25, the City Council established the City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services) (the "CFD") pursuant to the Mello-Roos Community Facilities Act of 1982 (Government Code Section 53311 *et seq.*) (the "Act"); and

WHEREAS, by its Ordinance No. 874, the City Council levied an annual special tax against all non-exempt parcels of real property within the CFD (the "Special Tax") to fund street lighting services and landscape maintenance services; and

WHEREAS, in order to permit landowners to efficiently annex developing parcels to the CFD, the City Council, by its Ordinance No. 889 designated the entire territory of the City as a future annexation area for the CFD and approved the second amended and restated rate and method of apportionment for the Special Tax; and

WHEREAS, the landowner of the parcels listed on Exhibit A to this Resolution, which is attached hereto and incorporated herein by reference, has submitted to the City a petition requesting and approving annexation of the listed parcels (the "Annexation Parcels") to the CFD; and

WHEREAS, the Annexation Parcels are comprised of the territory shown on the boundary map (the "Boundary Map") "Amendment No. 28 to Boundaries of City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, County of Riverside, State of California" which is included as Exhibit B to this Resolution, and incorporated herein by this reference; and

WHEREAS, the City Council desires to annex the Annexation Parcels to the CFD.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct and are herein incorporated.

2. Annexation Approved. The Annexation Parcels are hereby added to and part of the CFD with full legal effect. The Annexation Parcels are subject to the Special Tax associated with the Tax Rate Area(s) indicated on Exhibit A to this Resolution.

1
Resolution No. 2018-___
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

3. Description of Services. The following is a general description of all services (the "Services") provided in the CFD:

A. Landscape Maintenance Services: Maintaining, servicing, and operating landscape improvements and associated appurtenances located within the public right-of-way and within dedicated landscape easements for the CFD. These improvements may include but are not limited to parkways, medians, open space landscaping, fencing, monuments, ornamental lighting, drainage, turf, ground cover, shrubs, vines and trees, irrigation systems, and appurtenant facilities and structures. Fundable costs may include, but are not limited to: (i) contracting costs for landscape maintenance services, including litter removal, (ii) salaries and benefits of City staff, (iii) expenses related to equipment, apparatus, and supplies related to these services, (iv) City administrative and overhead costs associated with providing such services within the CFD, and (v) lifecycle costs associated with the repair and replacement of facilities.

B. Street Lighting Services: Maintaining, servicing, and operating street lights and appurtenant improvements. Fundable costs may include, but are not limited to: (i) contracting costs for street light maintenance, (ii) salaries and benefits of City staff, if the City directly provides street light maintenance services, (iii) utility expenses and the expense related to equipment, apparatus, and supplies related to these services and authorized by the Act, (iv) City administrative and overhead costs associated with providing such services for the CFD, and (v) lifecycle costs associated with the repair and replacement of facilities.

The Annexation Parcels will only be provided with the services indicated on Exhibit A.

4. Amended Boundary Map. The Boundary Map attached hereto as Exhibit B is hereby approved. This map amends, and does not supersede, the existing maps of the CFD. The City Council directs that said map be filed with the Riverside County Recorder pursuant to Section 3113 of the Streets and Highways Code.

5. Notice of Special Tax Lien. The City Council directs that an amended notice of special tax lien be recorded pursuant to Section 3117.5 of the Streets and Highways Code with respect to the Annexation Parcels associated with the Boundary Map.

6. This Resolution shall be effective immediately upon adoption.

7. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

8. Severability. That the City Council declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any

Resolution No. 2018-2
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

9. Repeal of Conflicting Provisions. That all the provisions heretofore adopted by the City Council that are in conflict with the provisions of this Resolution are hereby repealed.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Resolution No. 2018-3
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, City Clerk of the City of Moreno Valley, California, do hereby certify that Resolution No. 2018-___ was duly and regularly adopted by the City Council of the City of Moreno Valley at a regular meeting thereof held on the 1st day of May, 2018 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Council Members, Mayor Pro Tem and Mayor)

CITY CLERK

(SEAL)

Resolution No. 2018-___
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

EXHIBIT A

List of Annexation Parcel(s)

Boundary Map Amendment No.	Assessor's Parcel Numbers	Services	Tax Rate Area & Maintenance Category
Amendment No. 28	475-220-060	Residential Street Lighting	SL-01
	475-220-061		
	475-220-062		
	475-220-063		

Based on current development plans, it is anticipated that the Annexation Group will be in the Maintenance Category listed above; however all taxes will be calculated as set forth in the Rate and Method of Apportionment.

The parcels associated with a given development constitute a separate Annexation Group for purpose of calculating the applicable Maintenance Category (where applicable) for each Tax Rate Area. The anticipated Maintenance Category (where applicable) is shown in parenthesis following the Tax Rate Area. All capitalized terms in this paragraph have the meanings set forth in the Rate and Method of Apportionment.

Attachment: Resolution Ordering Annexation No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

Resolution No. 2018-5
Date Adopted: May 1, 2018

EXHIBIT B

VICINITY MAP

**AMENDMENT NO. 28 TO BOUNDARIES
OF CITY OF MORENO VALLEY COMMUNITY
FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES)**

CITY OF MORENO VALLEY
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

(This map amends, by adding the additional territory shown hereon, the boundary map for City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, Riverside County, State of California, prior recorded at Book 78 of Maps of Assessment and Community Facilities Districts at page 69, in the office of the County Recorder for the County of Riverside, State of California.)

SHEET 1 OF 1

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____, 201__.

CITY CLERK
CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING AMENDED BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES), CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AT A REGULAR MEETING THEREOF HELD ON THE _____ DAY OF _____, 201__, BY ITS RESOLUTION NO. _____.

CITY CLERK
CITY OF MORENO VALLEY

FILED THIS _____ DAY OF _____, 201__
AT THE HOUR OF _____ O'CLOCK _____ M IN THE BOOK _____ PAGES _____ OF MAPS OF ASSESSMENTS AND COMMUNITY FACILITIES DISTRICTS AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF THE CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON FEBRUARY 20, 2014 IN BOOK 78 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGE 69 AS INSTRUMENT NO. 2014-000114.

REFERENCE IS FURTHER MADE TO ANNEXATION MAP NO. 2 OF COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, CALIFORNIA TERRITORY PROPOSED FOR ANNEXATION IN THE FUTURE WITH THE CONDITION THAT PARCELS WITHIN THAT TERRITORY MAY BE ANNEXED ONLY WITH THE UNANIMOUS APPROVAL OF THE OWNER OR OWNERS OF EACH PARCEL OR PARCELS AT THE TIME THAT PARCEL OR THOSE PARCELS ARE ANNEXED) RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON DECEMBER 17, 2014 IN BOOK 77, PAGE 78 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AS INSTRUMENT NO. 2014-041114, WHICH DESIGNATED THE TERRITORY SHOWN HEREIN AS TERRITORY FOR FUTURE ANNEXATION TO THE COMMUNITY FACILITIES DISTRICT REFERENCED THEREON.

THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.

MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	475-220-060
2	475-220-061
3	475-220-062
4	475-220-063

Legend
 MAP REFERENCE NUMBER
 ADDITIONAL AREA TO CFD 2014-01

1 inch = 72 feet

WILLDAN
Financial Services
2700 Via Realita, Suite 200
Irvine, CA 92618
(949) 451-8000

Attachment: Resolution Ordering Annexation No. 28 (3048) : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO

6
Resolution No. 2018-____
Date Adopted: May 1, 2018

AMENDMENT NO. 27 TO BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES)

CITY OF MORENO VALLEY
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____, 201__.

CITY CLERK
CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING AMENDED BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES), CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AT A REGULAR MEETING THEREOF, HELD ON THE _____ DAY OF _____, 201__ BY ITS RESOLUTION NO. _____

CITY CLERK
CITY OF MORENO VALLEY

FILED THIS _____ DAY OF _____, 201__, AT THE HOUR OF _____ O'CLOCK _____ M. IN THE BOOK _____ PAGE(S) _____ OF MAPS OF ASSESSMENTS AND COMMUNITY FACILITIES DISTRICTS AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF THE CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON FEBRUARY 20, 2014 IN BOOK 76 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGE 69 AS INSTRUMENT NO. 2014-0066114.

REFERENCE IS FURTHER MADE TO ANNEXATION MAP NO. 2 OF COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, CALIFORNIA (TERRITORY PROPOSED FOR ANNEXATION IN THE FUTURE, WITH THE CONDITION THAT PARCELS WITHIN THAT TERRITORY MAY BE ANNEXED ONLY WITH THE UNANIMOUS APPROVAL OF THE OWNER OR OWNERS OF EACH PARCEL OR PARCELS AT THE TIME THAT PARCEL OR THOSE PARCELS ARE ANNEXED) RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON DECEMBER 17, 2014 IN BOOK 77, PAGE 78 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AS INSTRUMENT NO. 2014-0481134, WHICH DESIGNATED THE TERRITORY SHOWN HEREIN AS TERRITORY FOR FUTURE ANNEXATION TO THE COMMUNITY FACILITIES DISTRICT REFERENCED THEREON.

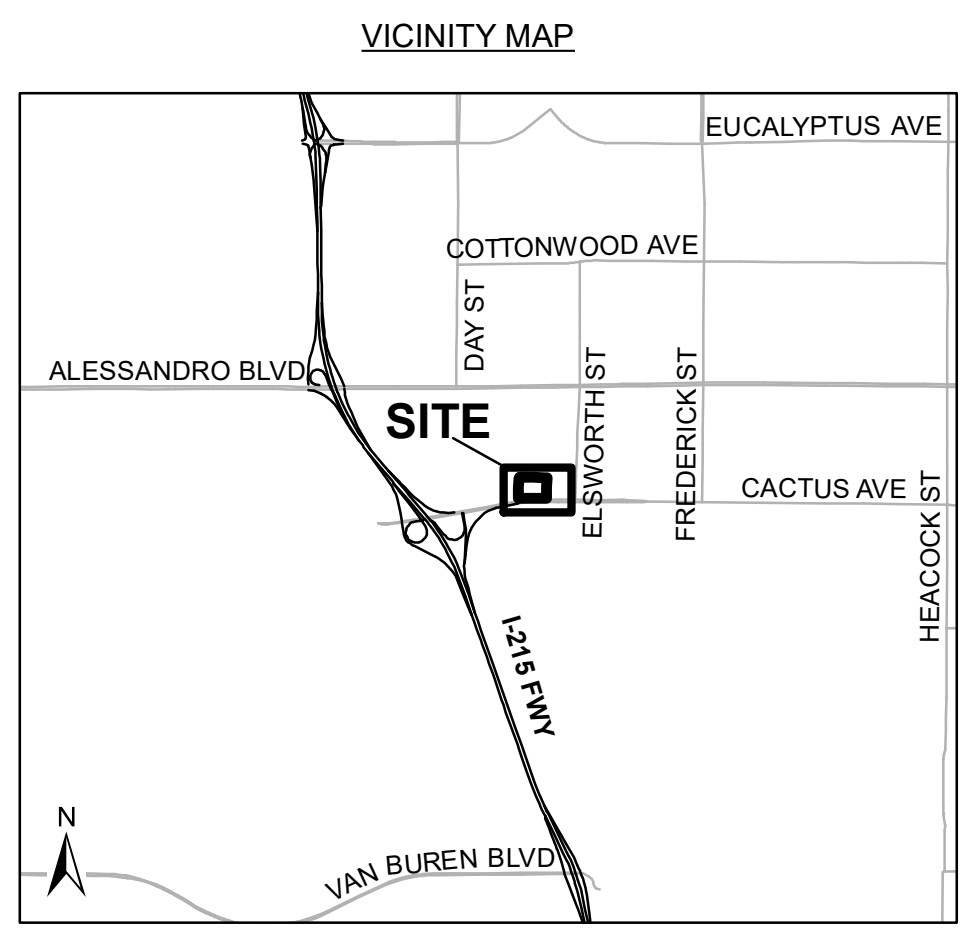
THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.

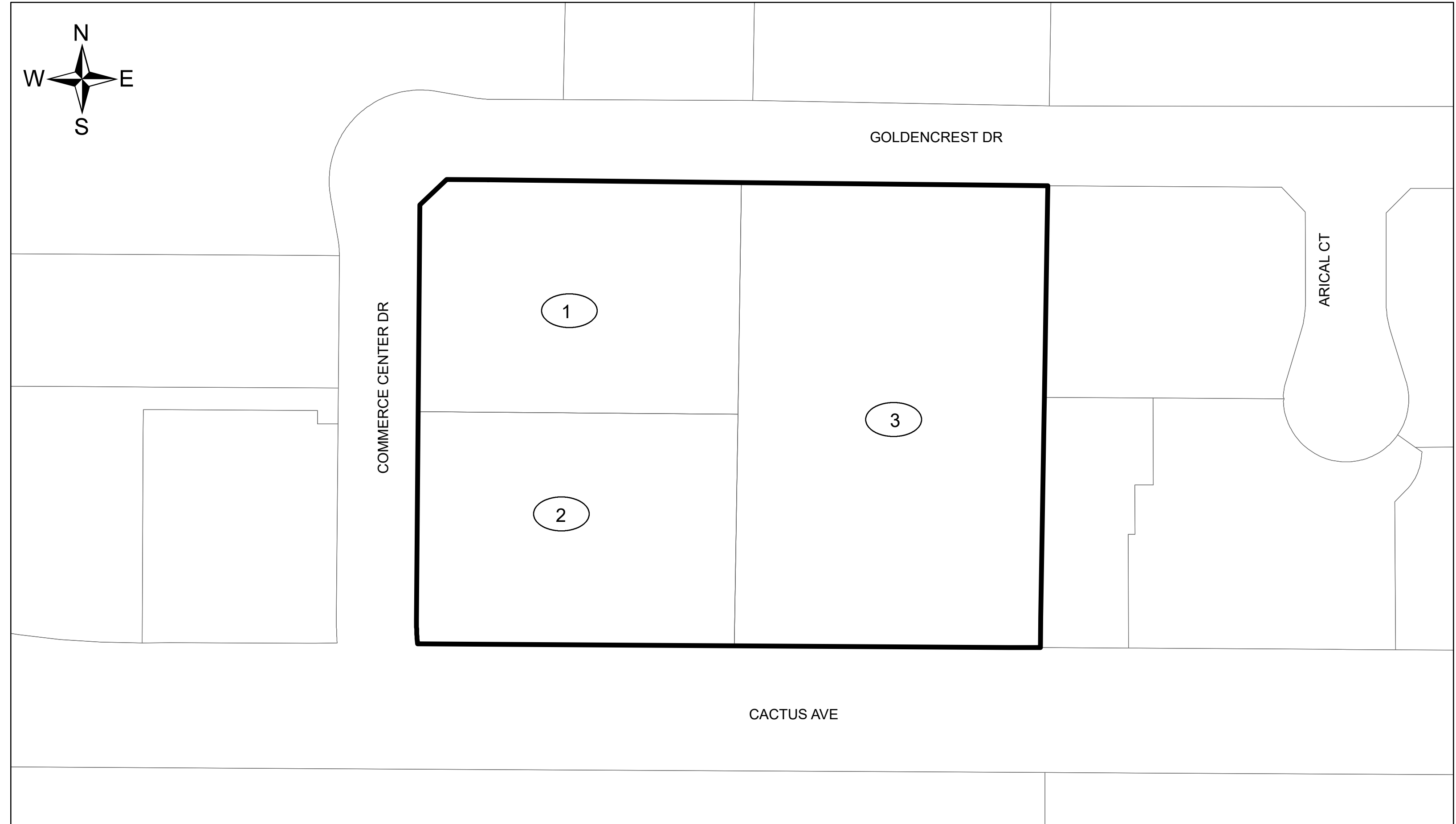
MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	297-130-052
2	297-130-053
3	297-130-054

Legend

- ① MAP REFERENCE NUMBER
 - ▭ ADDITIONAL AREA TO CFD 2014-01
- 1 inch = 83 feet



(This map amends, by adding the additional territory shown hereon, the boundary map for City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, Riverside County, State of California, prior recorded at Book 76 of Maps of Assessment and Community Facilities Districts at page 69, in the office of the County Recorder for the County of Riverside, State of California.)



Attachment: Boundary Map CFD 2014-01 - Amendment No. 27 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO COMMUNITY FACILITIES DISTRICT NO. 2014-01)

AMENDMENT NO. 28 TO BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES)

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____, 201__.

CITY CLERK
CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING AMENDED BOUNDARIES OF CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES), CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF MORENO VALLEY AT A REGULAR MEETING THEREOF, HELD ON THE _____ DAY OF _____, 201__ BY ITS RESOLUTION NO. _____

CITY CLERK
CITY OF MORENO VALLEY

FILED THIS _____ DAY OF _____, 201__, AT THE HOUR OF _____ O'CLOCK _____ M. IN THE BOOK _____ PAGE(S) _____ OF MAPS OF ASSESSMENTS AND COMMUNITY FACILITIES DISTRICTS AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF THE CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON FEBRUARY 20, 2014 IN BOOK 76 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGE 69 AS INSTRUMENT NO. 2014-0066114.

REFERENCE IS FURTHER MADE TO ANNEXATION MAP NO. 2 OF COMMUNITY FACILITIES DISTRICT NO. 2014-01 (MAINTENANCE SERVICES) OF CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, CALIFORNIA (TERRITORY PROPOSED FOR ANNEXATION IN THE FUTURE, WITH THE CONDITION THAT PARCELS WITHIN THAT TERRITORY MAY BE ANNEXED ONLY WITH THE UNANIMOUS APPROVAL OF THE OWNER OR OWNERS OF EACH PARCEL OR PARCELS AT THE TIME THAT PARCEL OR THOSE PARCELS ARE ANNEXED) RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON DECEMBER 17, 2014 IN BOOK 77, PAGE 78 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS AS INSTRUMENT NO. 2014-0481134, WHICH DESIGNATED THE TERRITORY SHOWN HEREIN AS TERRITORY FOR FUTURE ANNEXATION TO THE COMMUNITY FACILITIES DISTRICT REFERENCED THEREON.

THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

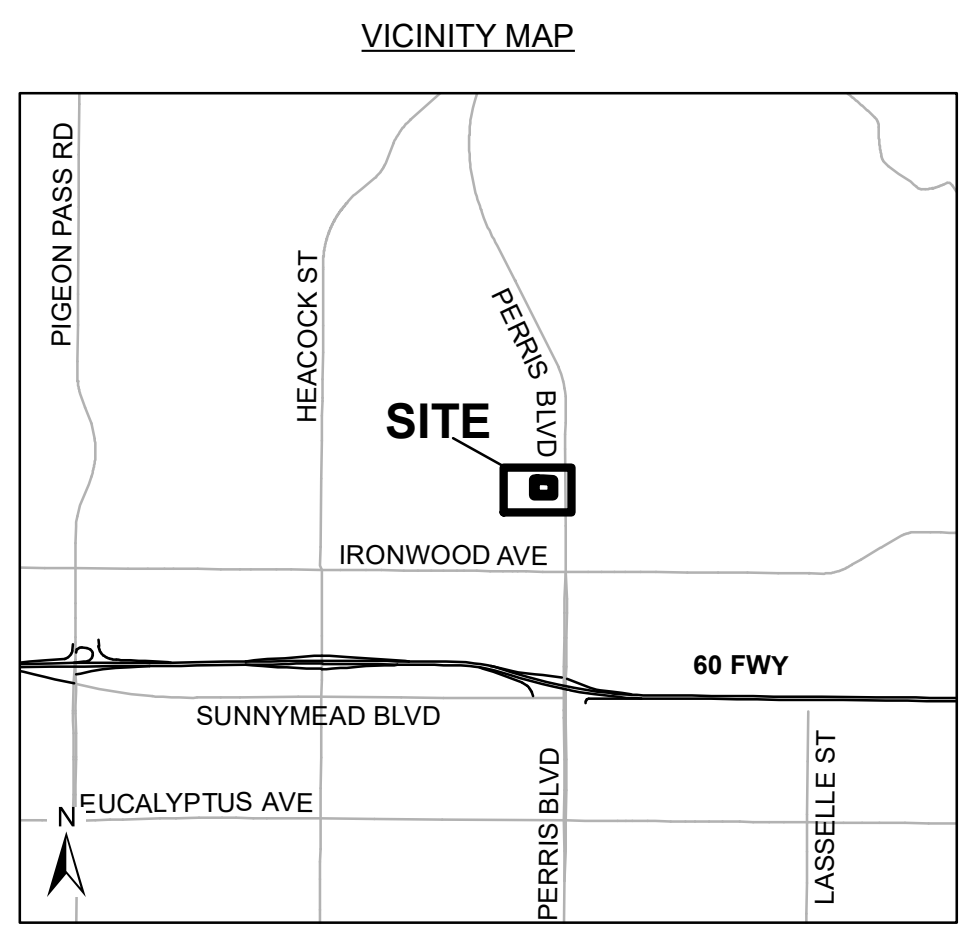
THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.

MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	475-220-060
2	475-220-061
3	475-220-062
4	475-220-063

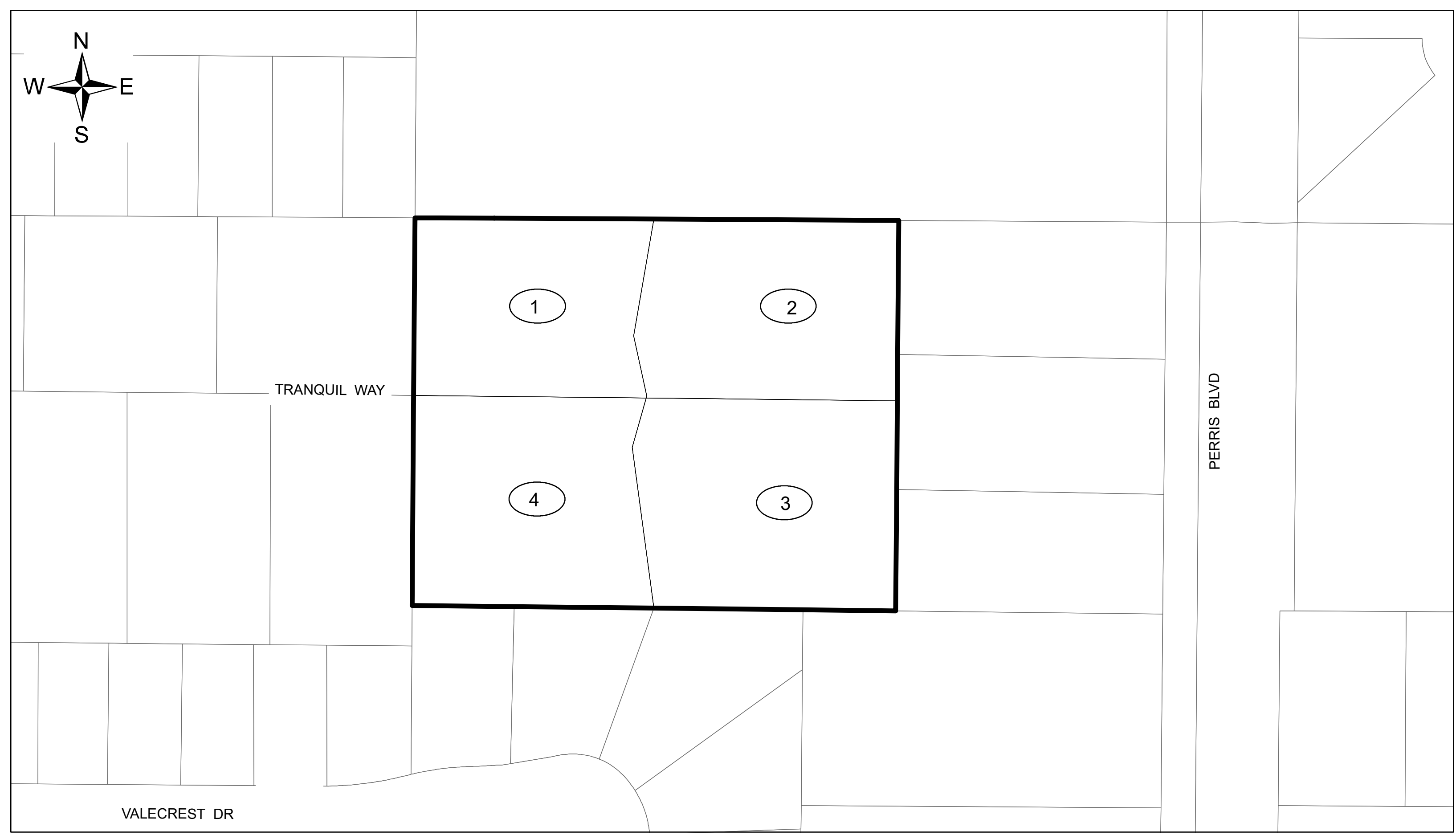
Legend

- ① MAP REFERENCE NUMBER
- ▭ ADDITIONAL AREA TO CFD 2014-01

1 inch = 72 feet



(This map amends, by adding the additional territory shown hereon, the boundary map for City of Moreno Valley Community Facilities District No. 2014-01 (Maintenance Services), City of Moreno Valley, Riverside County, State of California, prior recorded at Book 76 of Maps of Assessment and Community Facilities Districts at page 69, in the office of the County Recorder for the County of Riverside, State of California.)



Attachment: Boundary Map CFD 2014-01 - Amendment No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS INTO COMMUNITY FACILITIES DISTRICT NO. 2014-01)

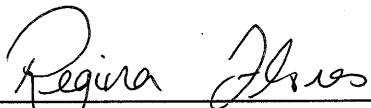
**CERTIFICATE OF ELECTION OFFICIAL
AND CONFIRMATION OF LANDOWNER PETITION**

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

The undersigned, Election Official of the City of Moreno Valley, County of Riverside, State of California, Does Hereby Certify that on April 12, 2018, I did verify the completeness of the Landowner Petition for the annexation of property into

CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01
(MAINTENANCE SERVICES) – AMENDMENT NO. 27

WITNESS my hand this 12th day of April, 2018.

for 

ELECTION OFFICIAL
CITY OF MORENO VALLEY
STATE OF CALIFORNIA

Attachment: Certificate of Election Official - Amendment No. 27 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS

**CERTIFICATE OF ELECTION OFFICIAL
AND CONFIRMATION OF LANDOWNER PETITION**

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

The undersigned, Election Official of the City of Moreno Valley, County of Riverside, State of California, Does Hereby Certify that on April 12, 2018, I did verify the completeness of the Landowner Petition for the annexation of property into

CITY OF MORENO VALLEY COMMUNITY FACILITIES DISTRICT NO. 2014-01
(MAINTENANCE SERVICES) – AMENDMENT NO. 28

WITNESS my hand this 12th day of April, 2018.

Jr Regina Flores
ELECTION OFFICIAL
CITY OF MORENO VALLEY
STATE OF CALIFORNIA

Attachment: Certificate of Election Official - Amendment No. 28 (3048 : PURSUANT TO A LANDOWNER PETITION, ANNEX SEVEN PARCELS



Report to City Council

TO: Mayor and City Council Acting in its Capacity as President and Members of the Board of Directors of the Moreno Valley Community Services District (CSD)

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR 2018/19 FOR MORENO VALLEY COMMUNITY SERVICES DISTRICT LIGHTING MAINTENANCE DISTRICT NO. 2014-01

RECOMMENDED ACTION

Recommendations:

1. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Initiating Proceedings to Levy Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.
2. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Approving an Engineer's Report in Connection with Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.
3. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Declaring its Intention to Levy Fiscal Year 2108/19 Assessments against Real Property in Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.

SUMMARY

This report recommends adoption of three proposed resolutions which will initiate the annual process to continue the levy of special assessments on the fiscal year (FY) 2018/19 property tax roll for Moreno Valley Community Services District (“CSD”) Lighting Maintenance District (LMD) No. 2014-01. If adopted, the resolutions will 1) initiate proceedings to levy the annual assessments, 2) approve the assessment engineer’s report for the district, and 3) declare the intent to levy assessments for FY 2018/19 and set June 19, 2018 as the date of the Public Hearing.

The proposed FY 2018/19 assessments are a continuation of the real property assessments currently levied on the property tax bills. There are no increases proposed to the assessments other than an annual inflationary adjustment, provided the property owners previously approved such adjustment. Street lighting services provided by LMD No. 2014-01 are partially funded by revenue received from the assessments.

The maximum and applied assessments proposed for FY 2018/19 were reviewed by the Finance Subcommittee during its April 24, 2018 meeting.

DISCUSSION

On May 27, 2014, the CSD adopted its Resolution No. CSD 2014-08, establishing LMD No. 2014-01 (“District”) (formerly Zone B, residential street lighting). Property owners of parcels within the District pay a special assessment as part of their annual property tax bill. Revenue received from the assessments is used to fund a majority of the costs and expenses required to service and maintain street lights located within the District.

The boundaries of the District are comprised of three benefit zones. Parcels within the District are grouped into one of the three zones based on the Special Benefit the property receives from the District improvements. The breakdown of the three zones is detailed in the table below. A map of the District is included in Attachment 4.

Zones	No. of Assessed Parcels	No. of Street Lights
Zone 01	32,706	7,178
Zone 02	7,194	1,579
Zone 03	65	3
Total	39,965	8,760

The bulk of the parcels in the District are located in either Zone 01 or Zone 02. These zones are defined separately for administrative purposes. Zone 01 includes parcels where the assessment is not subject to an annual inflationary adjustment. Zone 02 includes parcels where the assessment is subject to an annual inflationary adjustment based on the Consumer Price Index. The level of service is substantially identical in the two zones and the ratio of the number of lights to the number of parcels is substantially the same.

Zone 03 includes the 65 residential parcels in Tract 21958 (immediately north of SR 60 freeway, east of Nason Street, west of Oliver Street). This tract was developed with a substantially lower street light density (i.e. street lights are spaced farther apart than

those found in Zone 01 and Zone 02). As a result, the costs to provide the Special Benefit, as defined in the Assessment Engineer's Report ("Report"), to the parcels in Tract 21958 is substantially less than the cost of providing the street lighting Special Benefit elsewhere in the District. Therefore, the assessment for parcels in Zone 03 is less than Zones 01 and 02.

Annual Process

The Landscaping and Lighting Act of 1972 ("1972 Act") requires an annual review and evaluation of the District's revenues and expenditures before assessments can be continued into the next FY. The FY 2018/19 Report (Attachment 4) includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the parcels within the zones that make up the District.

The Report also provides an analysis of the District's annual financial status. It separates and apportions the cost of Special Benefit to the benefiting properties. The budget in the Report identifies, by zones, the number of parcels within the zones that can be assessed and the proposed assessments to levy on the FY 2018/19 property tax bills. In Zone 02, where the property owners have previously authorized an annual inflationary adjustment, the proposed assessment will increase by 3.61% or \$0.98/parcel. Otherwise the proposed assessments remain unchanged over the prior year.

Costs considered to be of General Benefit, as defined in the Report, are not allowed to be assessed to properties and therefore are apportioned to the General Fund. General Benefit represents the benefit the general public receives from the improvements in the street lighting district. The FY 2018/19 General Benefit amount is \$31,798.

Because the maximum assessment amounts are not sufficient to recover the full cost of the Special Benefit received by the respective parcels, the report also identifies a projected budget shortfall of \$468,202. The City's FY 2018/19 Adopted Budget includes a \$500,000 General Fund contribution which includes the General Benefit obligation and the amount necessary to bridge the shortfall.

During the next fiscal year, the City anticipates finalizing the purchase of the Southern California Edison owned street lights. The purchase will provide the City with an opportunity to control certain costs (e.g. operations and maintenance) and reduce the projected funding shortfall in the street light program. It is not anticipated, however, that the purchase will eliminate the shortfall in the program. Therefore, the proposed assessments are necessary to continue the street light program.

Adoption of the three proposed resolutions will 1) initiate proceedings for the annual levy of assessments for LMD No. 2014-01, 2) approve the Report, and 3) declare the intent to levy assessments on the FY 2018/19 property tax bills and set 6:00 p.m. on June 19, 2018 as the date of the Public Hearing. After the close of the June 19 Public

Hearing and provided there is not a majority protest, the CSD Board can consider authorizing the recommended FY 2018/19 assessments for levy on the property tax bills for parcels within LMD No. 2014-01.

This action meets the Strategic Plan Priorities by managing and maximizing Moreno Valley's public infrastructure to ensure an excellent quality of life, develop and implement innovative, cost effective infrastructure maintenance programs, public facilities management strategies, and capital improvement programming and project delivery.

ALTERNATIVES

1. Adopt the proposed resolutions. *Staff recommends this alternative, as it will initiate the annual process to continue levying the annual assessments on the property tax bills to support the residential street lighting program for FY 2018/19 and is consistent with the 1972 Act.*
2. Do not adopt the proposed resolutions. *Staff does not recommend this alternative as it may prevent the City from levying FY 2018/19 assessments and collecting funding to support the residential street lighting program.*
3. Do not adopt the proposed resolutions but rather continue the item to a future Council meeting. *Staff does not recommend this alternative as it may prevent the City from levying FY 2018/19 assessments in a timely manner to meet the County's deadline (August 10) to submit the annual fixed charges.*

FISCAL IMPACT

For FY 2018/19, the total projected expenditures for the District is \$1,589,879. Of this amount, \$955,930 is anticipated to be funded from the annual assessments. The balance is projected to be funded from other revenue sources to the District (e.g. property tax revenues, advanced energy fees for new installations, etc.), fund balance, and the General Fund. The General Fund's \$500,000 contribution is included in the City's FY 2018/19 Adopted Budget and includes the General Benefit obligation (\$31,798) and subsidy (\$468,202). Funds received for the benefit of the District are restricted and can only be used to fund the operation of the District.

The Report recommends maintaining the FY 2018/19 assessment for Zone 01 and Zone 03 at the current rates, while increasing the Zone 02 assessment by the property owner authorized annual inflationary adjustment (3.61% or \$0.98/parcel for FY 2018/19).

Zones	No. of Assessed Parcels	2017/18 Applied Assessment	Proposed 2018/19 Maximum Assessment	Applied Assessment ³	Total Assessment Revenue
Zone 01 ¹	32,706	\$23.00	\$23.00	\$23.00	\$752,238.00
Zone 02 ^{1,2}	7,194	\$27.28	\$28.26	\$28.26	\$203,302.00
Zone 03	65	\$6.00	\$6.00	\$6.00	\$390.00
Total	39,965				\$955,930.00

¹Number of parcels assessed may differ from number of parcels in District because improvements have not yet been installed.

²Property owner authorized annual inflationary adjustment; 3.61% for FY 2018/19.

³Riverside County requires fixed charges (i.e. assessments) to be even numbers.

Third party costs associated with the annual levy approval process and preparation of the Report for LMD No. 2014-01 are projected not to exceed \$8,700. Third party services include an assessment engineer consultant, special legal counsel, and publication of a legal notice. These costs are included in the City's FY 2017/18 Adopted Budget for LMD No. 2014-01 (fund 5012).

NOTIFICATION

Both the April 24 Finance Subcommittee meeting and tonight's City Council/CSD Board agenda were posted. The proposed assessment roll for the District has been posted on the Special Districts - Special Financing Districts page on the City's website (www.moval.org/sf).

PREPARATION OF STAFF REPORT

Prepared By:
Candace E. Cassel
Special Districts Division Manager

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

CITY COUNCIL GOALS

Public Facilities and Capital Projects. Ensure that needed public facilities, roadway improvements, and other infrastructure improvements are constructed and maintained.

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

1. **Economic Development**
2. **Public Safety**
3. **Library**
4. **Infrastructure**
5. **Beautification, Community Engagement, and Quality of Life**
6. **Youth Programs**

See the Discussion section above for details of how this action supports the City Council's Strategic Priorities.

ATTACHMENTS

- 1. Resolution Initiating Proceedings
- 2. Resolution Approving Engineer's Report
- 3. Resolution Declaring Intent
- 4. LMD 2014-01 Assessment Engineer's Report

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 7:56 AM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 9:31 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:07 PM

RESOLUTION NO. CSD 2018-____

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, INITIATING PROCEEDINGS TO LEVY FISCAL YEAR 2018/19 ASSESSMENTS AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LIGHTING MAINTENANCE DISTRICT NO. 2014-01

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 et seq.) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-08, adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Lighting Maintenance District No. 2014-01 (the "Assessment District") to fund street lighting services through the levy of annual assessments against real property; and

WHEREAS, the Board of Directors desires to initiate proceedings to levy assessments in connection with the Assessment District for Fiscal Year 2018/19.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.
2. Initiation of Proceedings. Pursuant to Section 22622 of the Act, the Board of Directors hereby initiates proceedings for the Fiscal Year 2018/19 levy of the annual assessments in connection with the Assessment District.
3. Direction to Engineer. Willdan Financial Services, as assessment engineer, is hereby directed to prepare and file a report pursuant to Section 22565 et seq. of the Act with respect to the Fiscal Year 2018/19 levy in connection with the Assessment District. The improvements associated with the Assessment District are substantially the same improvements as in Fiscal Year 2017/18.
4. Effective Date. This Resolution shall be effective immediately upon adoption.
5. Certification. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

1
Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Resolution No. CSD 2018-2
Date Adopted: May 1, 2018

Attachment: Resolution Initiating Proceedings (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-__ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-__ 3
Date Adopted: May 1, 2018

Attachment: Resolution Initiating Proceedings (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL

RESOLUTION NO. CSD 2018-____

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING AN ENGINEER'S REPORT IN CONNECTION WITH FISCAL YEAR 2018/19 ASSESSMENTS AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LIGHTING MAINTENANCE DISTRICT NO. 2014-01

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 *et seq.*) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-08, adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Lighting Maintenance District No. 2014-01 (the "Assessment District") to fund street lighting services through the levy of annual assessments against real property; and

WHEREAS, by prior resolution, the Board of Directors initiated proceedings to levy Fiscal Year 2018/19 assessments against real property in the Assessment District and directed Willdan Financial Services, as assessment engineer, (the "Assessment Engineer") to prepare and file a report pursuant to Section 22565 *et seq.* of the Act with respect to said levy; and

WHEREAS, the Assessment Engineer has prepared and filed a report entitled "Moreno Valley Community Services District Lighting Maintenance District No. 2014-01, 2018/2019 Engineer's Report" (the "Report"), which is on file in the Office of the Secretary of the CSD (the Office of the City Clerk of the City of Moreno Valley), is available for public inspection, and is incorporated herein by reference; and

WHEREAS, the Board of Directors now desires to approve the Report.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.
2. Approval of Report. The Board of Directors hereby approves the Report as filed.
3. Effective Date. This Resolution shall be effective immediately upon adoption.
4. Certification. The City Clerk shall certify to the adoption of this Resolution,

1
Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

and shall maintain on file as a public record this Resolution.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Resolution No. CSD 2018- 2
Date Adopted: May 1, 2018

Attachment: Resolution Approving Engineer's Report (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-__ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-__³
Date Adopted: May 1, 2018

Attachment: Resolution Approving Engineer's Report (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN

RESOLUTION NO. CSD 2018-__

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DECLARING ITS INTENTION TO LEVY FISCAL YEAR 2018/19 ASSESSMENTS AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LIGHTING MAINTENANCE DISTRICT NO. 2014-01

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 *et seq.*) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-08, adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Lighting Maintenance District No. 2014-01 (the "Assessment District") to fund street lighting services through the levy of annual assessments against real property; and

WHEREAS, by prior resolution, the Board of Directors initiated proceedings to levy Fiscal Year 2018/19 assessments against real property in the Assessment District and directed Willdan Financial Services, as assessment engineer, (the "Assessment Engineer") to prepare and file a report pursuant to Section 22565 *et seq.* of the Act with respect to said levy; and

WHEREAS, the Assessment Engineer has prepared and filed a report entitled "Moreno Valley Community Services District Lighting Maintenance District No. 2014-01, 2018/2019 Engineer's Report" (the "Report"), which is on file in the Office of the Secretary of the CSD (the Office of the City Clerk of the City of Moreno Valley), is available for public inspection, and is incorporated herein by reference; and

WHEREAS, by prior resolution, the Board of Directors approved the Report as filed; and

WHEREAS, the Board of Directors desires to declare its intention to levy Fiscal Year 2018/19 assessments as described in the Report.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.
2. Declaration of Intent. The Board of Directors hereby declares its intention to levy

1
Resolution No. CSD 2018-__
Date Adopted: May 1, 2018

- and collect Fiscal Year 2018/19 assessments in connection with the Assessment District.
3. Name of Assessment District. The Assessment District is designated “Moreno Valley Community Services District Lighting Maintenance District No. 2014-01.”
 4. Boundaries of the Assessment District. The Assessment District includes territory within the CSD that has been included within the Boundaries of the Assessment District.
 5. Description of Improvements. The Assessment District will fund the maintenance and servicing of street light improvements.
 6. Reference to Report. The Report contains a full and detailed description of (i) the street light improvements to be maintained in connection with the Assessment District; (ii) the boundaries of the Assessment District and the zones therein; and (iii) the proposed assessments upon assessable lots and parcels of land within the Assessment District. The Report describes, among other things, each affected parcel of real property and the amount of the assessment for each such affected parcel for Fiscal Year 2018/19.
 7. Public Hearing. On June 19, 2018 at 6:00 PM or as soon thereafter as practical, in the City Council Chamber located at 14177 Frederick Street, Moreno Valley, California 92553, the Board of Directors shall hold a full and fair public hearing on the question of the levy of the proposed assessment for Fiscal Year 2018/19 (the “Hearing”). At the Hearing, the Board of Directors will also hear and consider any objections or protests to the Report.
 8. Notice. Notice of the Hearing shall be given in the manner set forth in Section 22626(a) of the Act.
 9. Protest. Pursuant to Section 22628 of the Act, any interested person may, prior to the conclusion of the Hearing, file a written protest with the Secretary of the CSD (the City Clerk of the City of Moreno Valley) or, having previously filed a protest, may file a written withdrawal of that protest. A written protest shall state all grounds of objection. A protest by a property owner shall contain a description sufficient to identify the property owned by the property owner.
 10. No Increase. Aside from the implementation of previously approved annual inflation adjustments, as described in the Report, the assessment rates are not proposed to increase from the rates levied in Fiscal Year 2017/18.
 11. Effective Date. This Resolution shall be effective immediately upon adoption.
 12. Certification. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

2
Resolution No. CSD 2018-__
Date Adopted: May 1, 2018

APPROVED AND ADOPTED this 1st day of May 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Resolution No. CSD 2018-__ 3
Date Adopted: May 1, 2018

Attachment: Resolution Declaring Intent (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-__ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-__⁴
Date Adopted: May 1, 2018

Attachment: Resolution Declaring Intent (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR



Moreno Valley Community Services District

Lighting Maintenance District No. 2014-01

2018/2019 ENGINEER'S REPORT

Intent Meeting: May 1, 2018

Public Hearing: June 19, 2018

MORENO VALLEY COMMUNITY SERVICES DISTRICT
14177 FREDERICK STREET
MORENO VALLEY, CA 92553

(951) 413-3480

27368 Via Industria
Suite 200
Temecula, CA 92590
T 951.587.3500 | 800.755.6864
F 951.587.3510 | 888.326.6864

Property Tax Information Line
T. 866.807.6864

www.willdan.com/Financial



Attachment: LMD 2014-01 Assessment Engineer's Report (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS

ANNUAL ENGINEER'S REPORT STATEMENT

Fiscal Year 2018/19

Moreno Valley Community Services District

Lighting Maintenance District No. 2014-01

As part of the Resolution of Intention packet presented for the consideration of the Moreno Valley Community Services District Board of Directors, this Report describes the proposed Assessments to be levied on parcels within the Lighting Maintenance District 2014-01 for fiscal year 2018/19, including the budget and basis of the assessments. Reference is hereby made to the Riverside County Assessor's Maps for a detailed description of the lines and dimensions of parcels subject to the proposed assessment. The undersigned respectfully submits the enclosed Report as directed by the Moreno Valley Community Services District Board of Directors.

Dated this _____ day of _____, 2018

Willdan Financial Services

Assessment Engineer

On Behalf of the Moreno Valley Community Services District

By: _____
Susana Hernandez, Project Manager

By: _____
Richard Kopecky

R. C. E. # 16742

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INTRODUCTION

The Moreno Valley Community Services District (“CSD”) was established pursuant to the Community Services District Law (California Government Code Section 61000 et seq.) (“CSD Law”) in 1984 at the time of the incorporation of the City of Moreno Valley. The CSD is a dependent special district of the City, and the Moreno Valley City Council serves as the Board of Directors of the CSD. The boundaries of the CSD are the same as those of the City.

Prior to the City’s incorporation, the territory that would become the City of Moreno Valley was an unincorporated territory of Riverside County. The County had created County Service Areas (“CSAs”) to fund and provide certain enhanced services in this territory. The CSD was created so that responsibility for these funding mechanisms (and services) within the territory of the City of Moreno Valley could be transitioned from CSAs governed by the Riverside County Board of Supervisors to a CSD governed by the Moreno Valley City Council.

The CSD is comprised of a number of Zones, each of which provides a specific set of services within a defined portion of the City. Zone B of the CSD was established and responsible for providing residential street lighting in certain residential subdivisions. These street lighting services were funded through a charge on the annual property tax roll to parcels served by the street lighting.

In November 1996, the voters of California adopted Proposition 218, which has been codified as Articles XIII C and XIII D of the California Constitution. Proposition 218 imposed a number of substantive and procedural requirements on taxes, assessments, and property-related fees imposed by local governments in California. Although referred by the CSD as “charges”, the charges imposed by Zone B of the CSD were categorized under Proposition 218 as real-property assessments.

Street lighting is a maintenance and operation expense for sidewalks and streets. Consequently, the Zone B charges imposed prior to November 5, 1996 were “grandfathered” under Article XIII D, Section 5(a) of the Constitution, which permitted the continuation of assessments existing prior to the effective date of Proposition 218 so long as those assessments were imposed exclusively to finance the capital costs or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control. These grandfathered Zone B charges continued to be levied annually by the CSD without additional property-owner approval.

Since the adoption of Proposition 218, territories (and associated street lights) were added to CSD Zone B. When this occurred, the CSD conducted a mail ballot assessment proceeding with respect to the levy of the Zone B charges as required by Article XIII D, Section 4(e) of the Constitution. Beginning in December 1999, the CSD’s practice when balloting for Zone B charges in new territory, was generally to present the charge with an incorporated automatic inflation adjustment. This was not done for the “grandfathered” territory nor much of the territory added to Zone B between November 1996 and December 1999. Therefore, in some parts of CSD Zone B, the charge was imposed annually at a level rate, whereas in other parts of Zone B, the maximum charge was increased each year based on inflation.

In May 2014, the CSD, formed Lighting Maintenance District No. 2014-01 (“District”), pursuant to the Landscaping and Lighting Act of 1972 (California Streets and Highways Code Section 22500 et seq.) (the “1972 Act”) replacing the previous CSD Zone B. Parcels that had been charged an

annual Zone B charge for street lighting services are instead assessed an annual assessment for those services as part of Lighting Maintenance District No. 2014-01 as real property assessments with a procedural device designed for the levy of such assessments. This transition did not increase the amount paid annually by any property owner and did not change the nature or extent of the street lighting services provided. The assessments levied in connection with the assessment district, in every way serves as a continuation of the charges levied in connection with Zone B.

Each fiscal year, an Engineer's Report ("Report") is prepared and presented to the CSD Board describing the District, any changes to the District or improvements, and the proposed budget and assessments for that fiscal year. The CSD Board will hold a public hearing regarding these matters prior to approving and ordering the proposed levy of assessments for that fiscal year and the public hearing is noticed pursuant to the 1972 Act if new or increased assessments are not proposed. If, in any year, the proposed annual assessments for the District exceed the maximum assessments previously approved in a Proposition 218 proceeding (or grandfathered under Proposition 218), such an assessment would be considered a new or increased assessment and be confirmed through a mailed property owner protest ballot proceeding before that new or increased assessment may be imposed.

This Report is the detailed engineer's report for fiscal year 2018/19 regarding the District and the proposed assessments to be levied on the properties therein to provide ongoing funding for the costs and expenses required to service and maintain lighting improvements associated with and resulting from development of properties within the District, in accordance with the proportional special benefits the properties receive from the improvements.

The improvements, the method of apportionment, and special benefit assessments described in this Report are based on the improvements and development of properties within the District and represent an estimate of the direct expenditures and incidental expenses that will be necessary to maintain, service, and operate such improvements for fiscal year 2018/19. The improvements to be maintained in connection with the development of properties within the District and described herein are based on the development plans and specifications for the properties in the District and by reference these plans and specifications are made part of this Report.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number (APN) by the Riverside County Assessor's Office. The Riverside County Auditor/Controller uses Assessor's Parcel Numbers and a dedicated fund number established for the District to identify properties to be assessed on the tax roll and the allocation of the funds collected.

This Report consists of five (5) parts:

Part I

Plans and Specifications: A description of the District boundaries and the improvements associated with the District. The District has three zones of benefit (hereafter referred to as “Zones”), which are described in more detail in this section of the Report as well as in Part II (Method of Apportionment). A diagram showing the exterior boundaries of the CSD, of the District, and the Zones established within the District, is attached and incorporated herein in Part IV (District Diagram). The plans for the street light installations (if available), including the City’s standard specifications are on file with the Public Works Department. The location of each street light can be found by using the Moreno Valley Map Viewer located on the City’s website.

Part II

Method of Apportionment: A discussion of the general and special benefits associated with the overall street lighting improvements provided within the District (Proposition 218 Benefit Analysis). This Part also includes a determination of the proportional costs of the special benefits and a separation of costs considered to be of general benefit (and therefore not assessed). This section of the Report also outlines the method of calculating each property’s proportional special benefit and annual assessment utilizing a weighted benefit apportionment.

Part III

Estimate of Improvement Costs: An estimate of the annual funding required for the maintenance, servicing, and operation of street lighting improvements within the District and specifically the costs associated with the improvements determined to be of special benefit to parcels within the District. The budget identifies an estimate of anticipated annual expenses to service, maintain, and operate existing street lighting improvements within the District for fiscal year 2018/19 including, but not limited to, servicing of the street lights and related facilities, energy costs, and related incidental expenses authorized by the 1972 Act. The budget also identifies the maximum assessment rate for each Zone of the District and the associated assessment range formula (inflationary adjust), as applicable.

Part IV

District Diagram: A diagram showing the boundaries of the District and the Zones therein is provided in this Report and includes all parcels that receive special benefits from the improvements. Reference is hereby made to the Riverside County Assessor’s maps for a detailed description of the lines and dimensions of each lot and parcel of land within the District.

Part V

Assessment Roll: A listing of the proposed assessment amount for each parcel within the District. The proposed assessment amount for each parcel is based on the parcel’s calculated proportional special benefit as outlined in the method of apportionment and proposed assessment rate established in the District Budget. These assessment amounts represent the assessments proposed to be levied and collected on the County Tax Rolls for fiscal year 2018/19.

PART I - PLANS AND SPECIFICATIONS

DESCRIPTION OF THE DISTRICT

The territory within the District consists of all lots and parcels of land that receive special benefits from the street light improvements funded by the District assessments. The boundaries of the District are comprised of three benefit zones ("Zones"). Parcels within the District are identified and grouped into one of the three designated Zones based on the special benefits properties receive from the District improvements and the authorized maximum assessments established. The three Zones within the District and the benefits associated with the properties therein are described in more detail in Part II (Method of Apportionment) of this Report. In addition, the District Diagram in Part IV of the Report provides a visual representation of the District showing the boundaries of the District Zones.

DISTRICT FACILITIES AND IMPROVEMENTS

The street lights funded by the District are primarily low-intensity residential street lights located within the District, generally provided via 9,500-lumen lights (8,325 of the total lights) spaced approximately every 125 feet within a subdivision, but also includes some lights with lesser lumens (approximately 315 lights) and some with greater lumens (approximately 120 lights). Generally, high-intensity lights outside the subdivisions (which are typically 22,000 lumen lights and greater) are funded through other revenue sources and not part of the District assessments.

The maintenance, operation, and servicing of the District lighting improvements generally include the furnishing of labor, materials, equipment and electricity for the ordinary and usual maintenance, operation, and servicing of street lights within the public right-of-ways and easements dedicated to the City. These activities include, but are not limited to:

- Furnishing of electric current or other illuminating agent.
- Maintenance, repair, and replacement of light poles and fixtures, including changing light bulbs, painting, photoelectric cell repair or replacement, and repairing damage cause by accidents, vandalism, time, and weather.
- Electrical conduit and pull-box repair and replacement due to damage by construction and weather.
- Monitoring of the Underground Service Alert (USA) network, identification of proposed excavation in the vicinity of lighting electrical conduits, and marking the location of those underground conduits in the field to prevent damage by excavation.
- Service, maintenance, repair, and replacement including replacing worn out electrical components and repairing damage due to accidents, vandalism, and weather.
- Periodic repair and rehabilitation of the street lighting system including replacement of old equipment with new or reconditioned equipment; and repair, removal or replacement of related equipment as required including but not limited to lighting fixtures, poles, meters, conduits, electrical cable and relocation of street light facilities as necessary including the purchase and installation of related equipment and facilities.

- Street light inventory database, pole numbering, and mapping to establish the number of street lights that must be maintained, as well as the condition and location of these street lights as part of an effective maintenance program.
- Responding to citizens and Council member inquiries and complaints regarding street lighting.

PART II - METHOD OF APPORTIONMENT

The 1972 Act permits the establishment of assessment districts by agencies for the purpose of providing certain public improvements, including the acquisition, construction, installation, and servicing of street lighting improvements and related facilities. The 1972 Act requires that the cost of these improvements be levied according to benefit rather than assessed value:

“The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements.”

The formulas used for calculating assessments reflect the composition of parcels within the District (which are all residential properties) and the improvements and activities to be provided, and have been designed to fairly apportion costs based on a determination of the proportional special benefits to each parcel, consistent with the requirements of the 1972 Act and the provisions of Proposition 218 and Article XIII D of the California Constitution.

PROPOSITION 218 BENEFIT ANALYSIS

The costs of the proposed improvements for fiscal year 2018/19 have been identified and allocated to properties within the District based on special benefit. The improvements provided by this District and for which properties are assessed are public street lighting improvements. These improvements generally were installed in connection with the development of the properties within the District and were required by the City as a condition of development. Article XIID Section 2(d) defines District as follows:

“District means an area determined by an agency to contain all parcels which will receive a special benefit from a proposed public improvement or property-related service”;

Article XIID Section 2(i) defines Special Benefit as follows:

“Special benefit” means a particular and distinct benefit over and above general benefits conferred on real property located in the district or to the public at large. General enhancement of property value does not constitute “special benefit.”

Article XIID Section 4a defines proportional special benefit assessments as follows:

“An agency which proposes to levy an assessment shall identify all parcels which will have a special benefit conferred upon them and upon which an assessment will be imposed. The proportionate special benefit derived by each identified parcel shall be determined in relationship to the entirety of the capital cost of a public improvement, the maintenance and operation expenses of a public improvement, or the cost of the property related service being provided. No assessment shall be imposed on any parcel which exceeds the reasonable cost of the proportional special benefit conferred on that parcel.”

BENEFIT ANALYSIS

Special Benefit

The street lighting in the District is primarily low-intensity street lighting that is useful for illuminating the sidewalks and parking lanes in the District. This lighting is distinct from the high-intensity lights installed on major streets which serve in part to enhance traffic safety. Residential street lights are of lower intensity, but more closely spaced, than the high-intensity (22,000-lumen) street lights. These sorts of low-level, low-intensity residential street lights provide three main special benefits: (i) residential security benefit, (ii) pedestrian safety benefit, and (iii) parkway/roadway egress benefit. Because traffic in the District is largely limited to local traffic consisting of residents and residents' guests traveling to and from property within the District, it is reasonable to assume that essentially all pedestrians and parking vehicles in the lit areas will, after dark, be directly associated with an assessed dwelling unit.

With the exception of the development that comprises Zone 03 (discussed below), the street lights within the District are consistent with the City's typical intensity and spacing standards for residential lighting and each parcel to be assessed is served directly by the system of street lights providing appropriate lighting within the subdivision. Consequently, we conclude that each residential parcel within the District receives substantially similar benefit from the improvements regardless of their location within the District. Furthermore, the cost of maintaining and operating each light is substantially the same, regardless of the location of the light within the District.

General Benefit

Approximately 5% of the street lights funded by the District are located at the perimeter/entryway of a residential development. These perimeter/entryway lights, in contrast to the remainder of the lights funded by the District, arguably provide some illumination that extends beyond the boundaries of the developments and parcels being assessed within the District, that enhances the safety of members of the public unassociated with an assessed parcel, that illuminates traffic or parking on major thoroughfares, or that otherwise provides services to the general public. Although, in general, these street lights exist solely because of the development of assessed parcels, and although the primary purpose of these lights is to provide illumination for assessed parcels, they may provide some level of general benefit in addition to the special benefits provided to the assessed parcels. We estimate that this general benefit constitutes not more than 25% of the total benefit from perimeter/entryway lights. As 25% of the benefit from 5% of the lights constitutes not more than 2% of the total benefit from all improvements operated and maintained by the District, we determine that the total general benefit from operation and maintenance activities will not exceed 2% of operations and maintenance costs.

ZONES OF BENEFIT

In an effort to ensure an appropriate allocation of the estimated annual cost to provide the District improvements based on proportional special benefits, this District will be established with benefit zones (“Zones”) as authorized pursuant to Chapter 1 Article 4, Section 22574 of the 1972 Act:

“The diagram and assessment may classify various areas within an assessment district into different zones where, by reason of variations in the nature, location, and extent of the improvements, the various areas will receive differing degrees of benefit from the improvements. A zone shall consist of all territory which will receive substantially the same degree of benefit from the improvements.”

There are three (3) zones within the District. The bulk of the parcels in the District are located in either Zone 01 or Zone 02. These Zones are defined separately, largely for administrative convenience, as the level of service is substantially identical in the two zones and the ratio of the number of lights to the number of parcels is substantially the same. Zone 01 consists of those parcels that, as a result of Proposition 218, are subject to an assessment that is not annually adjusted for inflation. Zone 02 consists of those parcels for which the assessment can be adjusted annually for inflation.

Zone 03 consists of 65 residential parcels located in Tract 21958. This tract is unique within the District because it was developed with a substantially lower street light density (street lights are spaced farther apart than the residential street lights typically found in the residential tracts of Zone 01 and Zone 02). As a result, the parcels in Tract 21958 generally receive less lighting than parcels elsewhere in the District, and the per parcel cost of providing street light special benefits to these Tract 21958 parcels is substantially less than the cost of providing benefits elsewhere in the District.

For Fiscal Year 2018/19:

- Zone 01 includes 32,706 assessed parcels and has 7,178 street lights.
- Zone 02 includes 7,194 assessed parcels and has 1,579 street lights.
- Zone 03 includes 65 assessed parcels and 3 street lights.

The District Budget, incorporated herein under Part III of this Report, provides a summary of the total estimated cost of providing the street lighting improvements and the allocation of those costs between the three zones (which is based on the number of lights in each Zone) as well as those costs that are considered general benefit. Details regarding the location and extent of the street lighting improvements within the District and the Zones therein are on file in the Office of Public Works Department, Special Districts Division and by reference these documents are made part of this Report. A diagram showing the boundaries of the three Zones outlined above is attached and incorporated herein under Part IV (District Diagram) of this Report.

ASSESSMENT METHODOLOGY

The method of apportionment for this District calculates the receipt of special benefit from the respective improvements based on the land use of the parcels.

Equivalent Benefit Unit Application

To proportionally allocate special benefit to each parcel, it is necessary to correlate each property's proportional benefit to other properties that benefit from the improvements and services being funded. In order to do this, the assessment methodology assigns each parcel a number of Equivalent Benefit Units (EBUs) based on its land use. One EBU is defined as the special benefit allocable to a single family home. In each case, a parcel is only allocated EBUs in a fiscal year if the street lights serving the parcel (or serving the perimeter of the complex in the case of apartments or condominiums) has been accepted by the City or will be accepted by the City during the upcoming fiscal year.

Single Family Residential — This land use is defined as a fully subdivided single family residential home site with or without a structure. This land use is assigned 1.0 EBU per lot or parcel.

Condominium Residential — This land use is defined as a fully subdivided condominium residential unit assigned its own Assessor's Parcel Number by the County. EBUs are assigned to these parcels by multiplying the overall acreage of the condominium development by 4 (the typical number of single family homes in an acre of typical development), and then dividing the result by the number of condominium units/parcels in the development.

Multi-Family Residential and Mobile Home Parks — This land use classification identifies properties that are used for residential purposes and contain more than one residential unit per parcel. The proportional special benefit and EBUs for these parcels is based on acreage, at 4.0 EBUs per acre.

Vacant Parcels — This land use classification identifies properties that are identified as undeveloped property that is not fully subdivided, but is served by a street light improvement. This land use is assigned 1.0 EBU per lot or parcel.

Approved Single Family Residential — This land use is defined as a fully subdivided single family residential home site with or without a structure, but the street lights to be installed as part of the development have not yet been installed and are not anticipated to come online this fiscal year. Generally, these parcels were annexed to the District in anticipation of the property being developed and street lights being installed, but until such time that the street lights are to be installed, these parcels will not be assessed and are assigned 0.0 EBU.

Planned Residential Development — This land use is defined as a property that is currently considered vacant or undeveloped land that is to be subdivided into a known number of residential lots, but the street lights to be installed as part of the development have not yet been installed and are not anticipated to come online this fiscal year. Generally, these parcels were annexed to the District in anticipation of the property being developed and street lights being installed, but that has not yet occurred. Until such time that the street lights are to be installed, these parcels will not be assessed and are assigned 0.0 EBU.

Exempt — means a lot, parcel of land or Assessor’s Parcel that is considered to not specially benefit directly from improvements. This classification includes, but is not limited to, areas of public streets, private streets and other roadways; public easements or right-of-ways including; landscaped parkways or easements and utility right-of-ways or easements such as irrigation or drainage ditches, channels or basins; and flood plains. These types of parcels (similar to the improvements) are typically the result of property development rather than the direct cause of development and have little or no need for the improvements. (These types of properties may or may not be assigned an Assessor’s Parcel Number by the County).

Also exempt from assessment are Assessor’s Parcels that are identified as common areas (properties for which the surrounding residential parcels have a shared interest); bifurcated lots; small parcels vacated by the County or similar sliver parcels that cannot be developed independent of an adjacent parcel. These types of parcels are generally not separately assessed because they are functionally a part of another parcel that is assessed for its own benefit and the benefit of the associated parcel.

PART III - ESTIMATE OF COSTS

CALCULATION OF ASSESSMENTS

An assessment amount per EBU is calculated by:

Taking the “Total Annual Expenses” (Total budgeted costs) and subtracting the proportional “General Benefit Costs” which establishes the “Special Benefit Costs”;

$$\text{Total Amount Budgeted} - \text{General Benefit Costs} = \text{Special Benefit Costs}$$

To the resulting “Special Benefit Costs”, various “Other Available Funding” adjustments are applied. For further information please reference line items in the budget on the following page under “Other Available Funding.”

These adjustments to the Special Benefit Costs result in the “Net Assessment Budget” or “Balance to Levy” (the amount to be collected as Assessments);

$$\text{Special Benefit Costs} \pm \text{Other Available Funding} = \text{Net Assessment Budget}$$

The amount identified as the “Net Assessment Budget” is divided by the total number of EBU’s of parcels to be assessed to establish the “Assessment Rate” or “Assessment per EBU” for the fiscal year. The Assessment Rate is then applied to each parcel’s individual EBU to calculate the parcel’s proportionate special benefit and assessment obligation for the improvements.

$$\text{Net Assessment Budget} / \text{Total EBU (to be assessed)} = \text{Assessment per EBU}$$

DISTRICT BUDGET

The following budget outlines the estimated costs to maintain the improvements and the anticipated expenditures for fiscal year 2018/19. Operation and maintenance costs were allocated amongst the zones proportionately to the number of street lights serving the zones.

Description	Total District Budget	Zone 01	Zone 02	Zone 03
Operation and Maintenance(O&M)				
Operations & Personnel	\$ 170,350	\$ 139,588	\$ 30,704	\$ 58
Utilities	1,363,450	1,117,236	245,747	467
Total O&M Expenses	\$ 1,533,800	\$ 1,256,824	\$ 276,451	\$ 525
Incidental/Administrative Expenses				
District Administration	\$ 34,829	\$ 28,540	\$ 6,278	\$ 12
County Fees	19,000	15,569	3,425	7
Miscellaneous Administration Expenses	2,250	1,844	406	1
Total Incidental/Administrative Expenses	\$ 56,079	\$ 45,952	\$ 10,108	\$ 20
Contribution to Reserves	\$ 0	\$ 0	\$ 0	\$ 0
TOTAL ANNUAL EXPENSES	1,589,879	1,302,776	286,558	545
General Benefit Costs	(31,798)	(26,056)	(5,731)	(11)
SPECIAL BENEFIT COSTS	\$ 1,558,081	\$ 1,276,720	\$ 280,827	\$ 534
Other Available Funding				
Other Revenue Sources ⁽¹⁾	(94,700)	(82,485)	(12,192)	(23)
Additional Agency Contribution ⁽²⁾	(468,202)	(407,811)	(60,279)	(112)
Use of Reserve Funds ⁽³⁾	(39,249)	(34,186)	(5,053)	(9)
Total Contributions/Adjustments	\$ (602,151)	\$ (524,482)	\$ (77,525)	\$ (144)
NET ASSESSMENT BUDGET	\$ 955,930	\$ 752,238	\$ 203,302	\$ 390
(Balance to Levy)				
District Statistics				
Total Parcels		32,717	7,254	65
Total Assessed Parcels		32,706	7,194	65
Total EBU		32,706	7,194	65
Proposed Assessment per EBU		\$23.00	\$28.26	\$6.00
Maximum Assessment per EBU		\$23.00	\$28.26	\$6.00
Reserve Fund/Fund Balance				
Estimated Beginning Fund Balance as of July 1, 2018	\$ 532,179	\$ 418,781	\$ 113,181	\$ 217
Revenues and City Contributions.	\$ 1,558,081	1,276,720	280,827	534
Contribution to/Use of Reserve Funds ⁽³⁾	(39,249)	(34,186)	(5,053)	(9)
Expenditures Less General Benefit Costs	(1,558,081)	(1,276,720)	(280,827)	(534)
Estimated Ending Fund Balance as of June 30, 2019	\$ 492,930	\$ 384,595	\$ 108,128	\$ 208

- (1) "Other Revenue Sources" includes property taxes, interest income, advanced energy fees, and unrealized gains/losses.
- (2) "Additional Agency Contribution", which is a contribution of funds from other revenue sources available to the CSD to reduce the amount to be levied as Special Benefit Costs for this fiscal year. This contribution is in addition to the General Benefit Costs.
- (3) Additional funds are being used to meet proposed levy amount.

The budget dollar amounts above are calculated to the penny, but are shown here as rounded amounts (nearest dollar). Any variance in the addition or subtraction of the amounts displayed above is due to this rounding.

ASSESSMENT RATES

The following shows the assessment rates applicable to each Zone for fiscal year 2018/19 based on the budget and the method of apportionment presented above.

Fiscal Year 2018/19 Assessment Rates

Zone	Maximum Rate	Proposed Rates for FY 2018/19	
Zone 01	\$ 23.00	\$ 23.00	per EBU
Zone 02	\$ 28.26 ⁽¹⁾	\$ 28.26	per EBU
Zone 03	\$ 6.00	\$ 6.00	per EBU

⁽¹⁾ The Maximum Assessment Rate includes an inflationary adjustment previously balloted and approved by the property owners

Note that for fiscal year 2018/19 there are:

- 32,706.00 EBUs in Zones 01 sharing \$1,276,720 in proportional special benefit.
- 7,194.00 EBUs in Zones 02 sharing \$280,827 in proportional special benefit.
- 65.00 EBUs in Zones 03 sharing \$534 in proportional special benefit.
- The proposed assessment rates in each Zone do not exceed the cost of the proportional special benefits per EBU for that Zone.

ANNUAL INFLATIONARY ADJUSTMENT (ASSESSMENT RANGE FORMULA)

The following inflation adjustment applies to the maximum rate permissible in Zone 02 only:

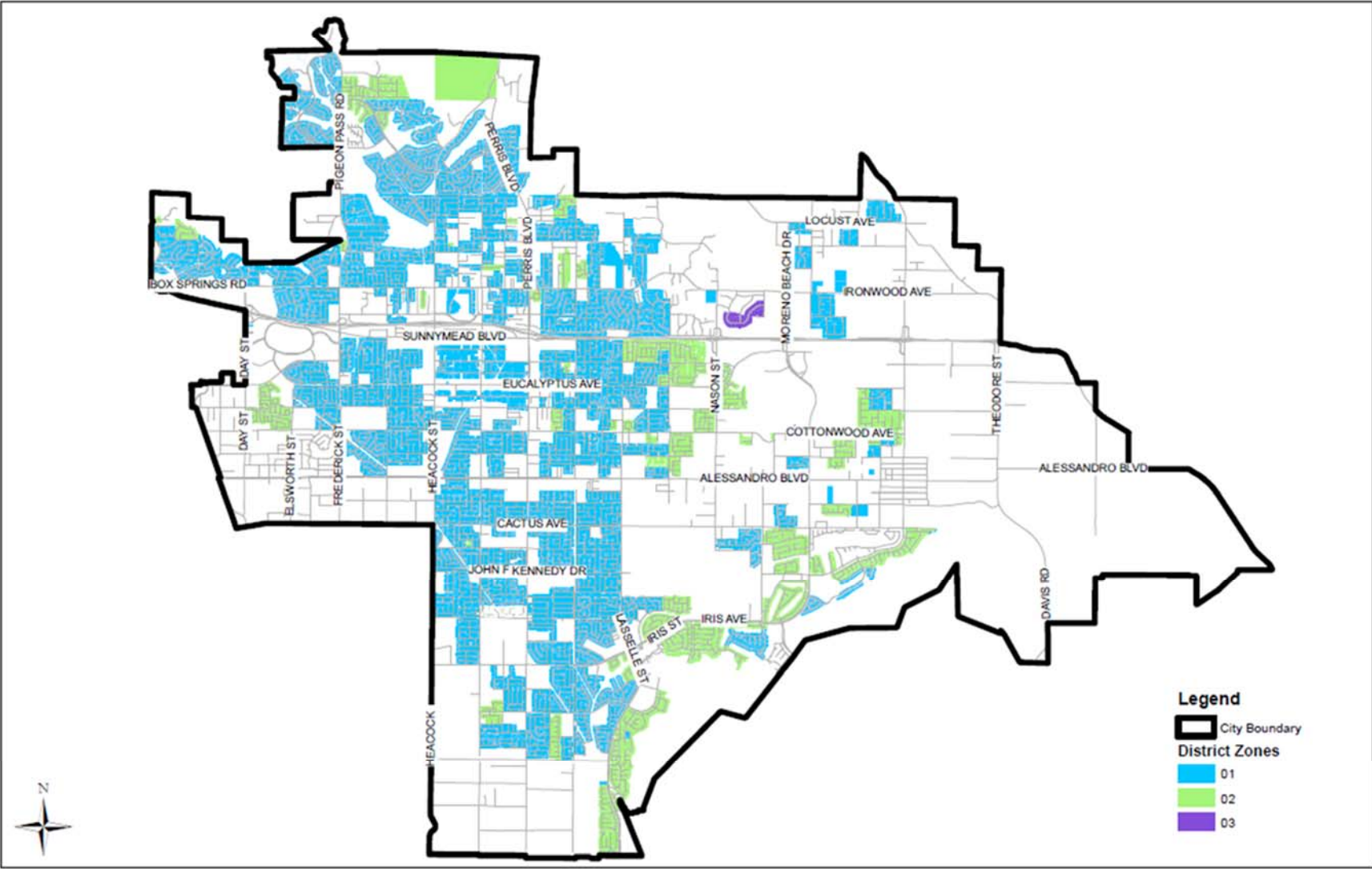
The Maximum Assessment per EBU (Assessment Rate) for Zone 02 established for the improvements in the previous fiscal year may be adjusted by the percentage change calculated for the previous calendar year in the Los Angeles-Riverside-Orange County Consumer Price Index, as published by the Department of Labor’s Bureau of Labor Statistics.

The “All Urban Consumers” Index for Los Angeles-Riverside-Orange County is used to calculate the annual inflation adjustment. The inflation adjustment from December 2016 to December 2017, is 3.61%.

PART IV - DISTRICT DIAGRAMS

The following boundary map depicts the parcels within the three zones that make up the District, which are those that existed at the time this Report was prepared. The combination of this map and the Assessment Roll referenced by this Report constitute the Assessment Diagram for the District.

Moreno Valley Community Services District Street Light Maintenance District No. 2014-01



Attachment: LMD 2014-01 Assessment Engineer's Report (3020 : ADOPT RESOLUTIONS TO INITIATE

PART V - ASSESSMENT ROLL

Parcel identification for each lot or parcel within the District is based on available parcel maps and property data from the Riverside County Assessor's Office. A listing of the APNs to be assessed within this District, along with the corresponding Assessment Amounts to be levied for fiscal year 2018/19 has been provided electronically to the Secretary of the CSD Board (City Clerk). The listing is incorporated herein by reference. The Report can also be found online at the City's website at www.moval.org/sd. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the CSD Board.

Attachment: LMD 2014-01 Assessment Engineer's Report (3020 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS



Report to City Council

TO: Mayor and City Council Acting in its Capacity as President and Members of the Board of Directors of the Moreno Valley Community Services District (CSD)

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR 2018/19 FOR MORENO VALLEY COMMUNITY SERVICES DISTRICT LANDSCAPE MAINTENANCE DISTRICT NO. 2014-02

RECOMMENDED ACTION

Recommendations:

1. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Initiating Proceedings to Levy the Fiscal Year 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.
2. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Approving an Engineer's Report in Connection with the 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.
3. Adopt Resolution No. CSD 2018-___, a Resolution of the Moreno Valley Community Services District of the City of Moreno Valley, California, Declaring its Intention to Levy the Fiscal Year 2018/19 Assessment against Real Property in Moreno Valley Community Services District Landscape Maintenance District No. 2014-02.

SUMMARY

This report recommends adoption of three proposed resolutions which will initiate the annual process to continue the levy of special assessments on the fiscal year (FY) 2018/19 property tax roll for Moreno Valley Community Services District (“CSD”) Landscape Maintenance District (LMD) No. 2014-02. If adopted, the resolutions will 1) initiate proceedings to levy the annual assessments, 2) approve the assessment engineer’s report for the district, and 3) declare the intent to levy assessments for FY 2018/19 and set June 19, 2018 as the date of the Public Hearing.

The proposed FY 2018/19 assessments are a continuation of the real property assessments currently levied on the property tax bills. There are no increases proposed to the assessments other than an annual inflationary adjustment, provided the property owners previously approved such adjustment. Revenue received from the assessments funds the maintenance of public landscape improvements provided by the district and are restricted for use in the zones for which they are collected.

The maximum and applied assessments proposed for FY 2018/19 were reviewed by the Finance Subcommittee during its April 24, 2018 meeting.

DISCUSSION

On May 27, 2014, the CSD adopted its Resolution 2014-09, establishing LMD No. 2014-02 (“District”) (certain former CSD landscape zones). On May 12, 2015, Zone 09 was annexed into the District. LMD No. 2014-02 includes eleven benefit zones. Each zone provides a certain level of public landscape maintenance services within a defined geographical area of the City.

Property owners of parcels within the District pay a special assessment as part of their annual property tax bill. Revenue received from the District is used to fund the cost of maintaining public landscaping within the District. The assessment funds the cost to provide the Special Benefit, as defined in the Assessment Engineer’s Report (“Report”) to maintain the landscaping. Funds collected for each zone are restricted and can only be used within the zone and for the purposes for which they were collected.

The frequency of landscape maintenance service is based on each zone’s financial resources. At the time the City accepts an area’s public landscaping for maintenance, the assessment is set at a rate sufficient to fund the City’s standard frequency of service, Level 1 (4-week rotation). For those zones where costs to maintain the landscaping have increased and the rate increase has not been approved by the property owner through a ballot process, the frequency of service has been reduced to a level consistent with available funding. A brief summary of each zone and their current service level is in the table below. Maps of each zone are included in Report (Attachment 4).

Zones	Name	Service Level ¹	Sq. Ft. of Landscaping
Zone 01	TownGate	Level 2	323,609 sq. ft.
Zone 01A	Renaissance Park	Level 3	72,335 sq. ft.
Zone 02	Hidden Springs	Level 1	193,743 sq. ft. 3,674,297 sq. ft. (open space)
Zone 03	Moreno Valley Ranch West	Level 1	866,943 sq. ft.
Zone 03A	Lasselle Powerline Parkway	Level 1	53,774 sq. ft.
Zone 04	Moreno Valley Ranch East	Level 5	980,404 sq. ft.
Zone 05	Stoneridge Ranch	Level 1	98,392 sq.ft.
Zone 06	Mahogany Fields	Level 1	178,564 sq.ft
Zone 07 ²	Celebration	Level 1	44,591 sq. ft. 180,563 sq. ft. (buffer)
Zone 08	Shadow Mountain	Level 1	76,771 sq. ft.
Zone 09	Savannah	Level 1	64,456 sq. ft.
¹ Level 1 = 4 week rotation; Level 2 = 8 week rotation; Level 3 = 12 week rotation; Level 4 = 16 week rotation; Level 5 = 20 week rotation. ² Some areas under construction or in the warranty period and have not yet been assumed for maintenance.			

Annual Process

The Landscaping and Lighting Act of 1972 (“1972 Act”) requires an annual review and evaluation of the District’s revenues and expenditures before assessments can be continued into the next FY. The FY 2018/19 Report (Attachment 4) includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the parcels within the zones that make up the District.

The Report provides an analysis of the District’s annual financial status. It establishes the maximum assessment rate and the applied assessment rate. The “maximum rate” is calculated using the formula and terms approved by the property owners at the time a zone within the district is formed or at through a ballot process. The legislative body can levy up to the maximum rate on the property tax bills. The “applied rate” is the amount necessary to fund the purpose of the district, including administration and reserves for the upcoming fiscal year. The applied rate can be lower but it cannot be higher than the maximum rate.

The Report also separates and apportions the cost of General Benefit, Special Benefit to the benefiting properties, and other costs funded by the General Fund.

General Fund Costs

The Report identifies a \$188,772 contribution from the General Fund, which is included in the City's FY 2018/19 Adopted Budget.

- General Benefit Cost (\$149,218) – as defined in the Report, represents costs which are not allowed to be assessed to properties within the District and are an obligation of the General Fund. The General Benefit is the benefit the general public receives from the public landscape improvements in the district and is the minimum amount the community would fund (e.g. costs for weed abatement and erosion control) had the improvement not been installed by the development.
- General Fund Maintained Area Costs (\$14,192) - funds the ongoing maintenance of improvements that provide no Special Benefit to the parcels in the zone and therefore, cannot be funded by the assessments; these improvements were included within a zone at the time of development (e.g. drainage area in Zone 04).
- Contribution for Non-Assessed Parcels (\$25,362) - funds the annual contribution for parcels that benefit from the improvements but have not been assessed because the property owner had not previously approved the rate through a mail ballot proceeding; these are typically government owned properties (e.g. Fire Station).

Special Benefit Costs

A parcel's Special Benefit cost is calculated by determining the assessment rate per equivalent benefit unit (EBU). Generally speaking, the EBU is the equivalent to one single-family residential parcel. In some zones, the EBU is further defined by densities greater or less than a single-family residential parcel (e.g. acre, condo). The EBU is used to apportion the Special Benefit a parcel receives from the improvements.

The FY 2018/19 proposed maximum rates are calculated by applying an annual inflationary adjustment to the FY 2017/18 maximum rates. The annual inflationary adjustment is based on the Consumer Price Index (or other factor approved by the property owners) and only applied in those zones where the property owners have previously approved the adjustment. Zone 04 is the only zone within the District which does not have a property owner approved annual inflationary adjustment.

The proposed applied rates were determined based on an individual analysis of each zone's current level of service, anticipated expenditures, fund balance, and assigned reserve levels. In some zones, it is recommended that the applied rate equal the maximum rate. In some zones, it is recommended that the applied rate be reduced to draw down on unassigned reserve balances within that zone. The table below lists the proposed maximum and applied rates for FY 2018/19:

Zone	Charge Category	FY 2017/18		Proposed FY 2018/19		Change in Applied Rate
		Max Rate	Applied Rate	Max Rate ¹	Applied Rate ²	
Landscape Maintenance District 2014-02						
Zone 01 ³	per EBU	\$ 141.29	\$ 141.28	\$ 146.39	\$ 134.20	\$ (7.08)
	per condo Tract 34299	63.75	63.74	66.06	60.54	(3.20)
Zone 01A	per EBU	86.52	86.52	89.64	89.64	3.12
Zone 02 ³	per EBU	445.69	436.82	461.77	431.34	(5.48)
Zone 03 ³	per EBU	141.29	138.48	146.39	133.06	(5.42)
	per condo Tr 32142	62.60	61.36	64.85	58.96	(2.40)
	per condo Tr 32143/4	60.32	59.12	62.49	56.81	(2.31)
	per condo Tr 32145	35.28	34.58	36.55	33.23	(1.35)
	per condo Tr 32146	34.13	33.46	35.36	32.16	(1.30)
Zone 03A ³	per EBU	75.14	73.64	77.85	74.08	0.44
Zone 04 ⁴	per EBU	110.00	110.00	110.00	110.00	-
Zone 05 ⁵	per EBU	444.04	150.00	460.06	150.00	-
Zone 06 ³	per EBU	310.92	310.92	322.14	306.50	(4.42)
Zone 07 ⁵	per EBU	372.47	170.10	385.91	170.10	-
Zone 08 ³	per EBU	327.99	319.14	339.83	314.32	(4.82)
Zone 09 ^{3,6,7}	per EBU	672.68	72.52	696.96	374.48	301.96
¹ Maximum Rate increased by property owner authorized annual inflationary adjustment (0% for Zone 04; the greater of 3.61% CPI or 3% for Zone 09; 3.61% CPI for all other zones. Based on percentage change calculated for the prior year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index (CPI), as published by the Department of Labor's Bureau of Labor Statistics. ² Riverside County requires fixed charges (i.e. assessments) to be even numbers. ³ Applied rate less than maximum rate based on projected expenses. ⁴ Does not have a property owner approved annual adjustment. ⁵ Surplus fund balances used which yields an applied rate less than the maximum rate. ⁶ Property owners authorized an annual inflationary adjustment of the greater of CPI or 3%. ⁷ Expecting project to be completed with construction/in warranty period. Increase over prior year is due to a full year of maintenance.						
EBU = Equivalent Benefit Unit						

Adoption of the proposed resolutions will 1) initiate proceedings for the annual levy of assessments for LMD No. 2014-02, 2) approve the Report, and 3) declare the intent to levy assessments on the FY 2018/19 property tax bills and set 6:00 p.m. on June 19, 2018 as the date of the Public Hearing. After the close of the June 19 Public Hearing and provided there is not a majority protest, the CSD Board can consider authorizing the recommended FY 2018/19 assessments to levy on the property tax bills for LMD No. 2014-02.

This action meets the Strategic Plan Priorities by managing and maximizing Moreno Valley's public infrastructure to ensure an excellent quality of life, develop and implement innovative, cost effective infrastructure maintenance programs, public facilities management strategies, and capital improvement programming and project delivery.

ALTERNATIVES

1. Adopt the proposed resolutions. *Staff recommends this alternative, as it will initiate the annual process to continue levying the annual assessments on the property tax bills to support maintenance of public landscaping and is consistent with the 1972 Act.*
2. Do not adopt the proposed resolutions. *Staff does not recommend this alternative, as it may prevent the City from levying FY 2018/19 assessments and collecting funding to support the zones in the District.*
3. Do not adopt the proposed resolutions but rather continue the item to a future Council meeting. *Staff does not recommend this alternative, as it may prevent the City from levying FY 2018/19 assessments in a timely manner to meet the County's deadline to submit the annual fixed charges.*

FISCAL IMPACT

For FY 2018/19, the total projected expenditures for the District are \$2,392,423 of which \$2,083,359 is anticipated to be funded by the property assessments. The balance is projected to be funded from other revenue sources to the District (e.g. interest income), fund balance, and the General Fund. The General Fund's \$188,772 contribution is included in the City's FY 2018/19 Adopted Budget and includes the required General Benefit Cost (\$149,218), General Fund Maintained Area Cost (\$14,192), and the General Fund Contribution for Non-Assessed Parcels (\$25,362). Funds received for the benefit of each zone are restricted and can only be used to fund the operation of that zone.

Third party costs associated with the annual levy approval process and preparation of the Report for LMD No. 2014-02 are projected not to exceed \$8,700. Third party services include an assessment engineer consultant, special legal counsel, and publication of a legal notice. These costs are included in the City's FY 2018/19 Adopted Budget for LMD No. 2014-02 (fund 5014).

NOTIFICATION

Both the April 24 Finance Subcommittee meeting and tonight's City Council/CSD Board agenda were posted. The proposed assessment roll for the District has been posted on the Special Districts - Special Financing Districts page on the City's website (www.moval.org/sf).

PREPARATION OF STAFF REPORT

Prepared By:
Candace E. Cassel
Special Districts Division Manager

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

CITY COUNCIL GOALS

Public Facilities and Capital Projects. Ensure that needed public facilities, roadway improvements, and other infrastructure improvements are constructed and maintained.

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

See the Discussion section above for details of how this action supports the City Council's Strategic Priorities.

ATTACHMENTS

- 1. Resolution Initiating Proceedings
- 2. Resolution Approving Engineer's Report
- 3. Resolution Declaring Intent
- 4. LMD 2014-02 Assessment Engineer's Report

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 7:54 AM
City Attorney Approval	<u>✓ Approved</u>	4/23/18 9:32 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 1:30 PM

RESOLUTION NO. CSD 2018-__

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, INITIATING PROCEEDINGS TO LEVY THE FISCAL YEAR 2018/19 ASSESSMENT AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LANDSCAPE MAINTENANCE DISTRICT NO. 2014-02

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 *et seq.*) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-09, adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 (the "Assessment District") to fund landscape maintenance services through the levy of an annual assessment against real property; and

WHEREAS, the Board of Directors desires to initiate proceedings to levy the assessment in connection with the Assessment District for Fiscal Year 2018/19.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.
2. Initiation of Proceedings. Pursuant to Section 22622, the Board of Directors hereby initiates proceedings for the Fiscal Year 2018/19 levy of the annual assessments in connection with the Assessment District.
3. Direction to Engineer. Willdan Financial Services, as assessment engineer, is hereby directed to prepare and file a report pursuant to Section 22565 *et seq.* of the Act with respect to the Fiscal Year 2018/19 levy in connection with the Assessment District. The improvements associated with the Assessment District are substantially the same improvements as in Fiscal Year 2017/18.
4. Effective Date. This Resolution shall be effective immediately upon adoption.
5. Certification. The City Clerk shall certify to the adoption of this Resolution, and

1
Resolution No. CSD 2018-__
Date Adopted: May 1, 2018

shall maintain on file as a public record this Resolution.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Attachment: Resolution Initiating Proceedings [Revision 1] (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY

Resolution No. CSD 2018-__²
Date Adopted: May 1, 2018

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-__ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-__³
Date Adopted: May 1, 2018

Attachment: Resolution Initiating Proceedings [Revision 1] (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY

RESOLUTION NO. CSD 2018-__

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING AN ENGINEER'S REPORT IN CONNECTION WITH THE 2018/19 ASSESSMENT AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LANDSCAPE MAINTENANCE DISTRICT NO. 2014-02

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 *et seq.*) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-09 adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 (the "Assessment District") to fund landscape maintenance services through the levy of an annual assessment against real property; and

WHEREAS, by prior resolution, the Board of Directors initiated proceedings to levy the Fiscal Year 2018/19 assessment against real property in the Assessment District and directed Willdan Financial Services, as assessment engineer, (the "Assessment Engineer") to prepare and file a report pursuant to Section 22565 *et seq.* of the Act with respect to said levy; and

WHEREAS, the Assessment Engineer has prepared and filed a report entitled "Moreno Valley Community Services District Landscape Maintenance District No. 2014-02, 2018/19 Engineer's Report" (the "Report"), which is on file in the Office of the Secretary of the CSD (the Office of the City Clerk of the City of Moreno Valley), is available for public inspection, and is incorporated herein by reference; and

WHEREAS, the Board of Directors now desires to approve the Report.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.

1
Resolution No. CSD 2018-__
Date Adopted: May 1, 2018

- 2. Approval of Report. The Board of Directors hereby approves the Report as filed.
- 3. Effective Date. This Resolution shall be effective immediately upon adoption.
- 4. Certification. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

APPROVED AND ADOPTED this 1st day of May, 2018.

 Mayor of the City of Moreno Valley,
 Acting in the capacity of President of the
 Moreno Valley Community Services District

ATTEST:

 City Clerk, acting in the capacity of
 Secretary of the Moreno Valley
 Community Services District

APPROVED AS TO FORM:

 City Attorney, acting in the capacity
 of General Counsel of the Moreno
 Valley Community Services District

2
 Resolution No. CSD 2018-____
 Date Adopted: May 1, 2018

Attachment: Resolution Approving Engineer's Report (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-__ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-__³
Date Adopted: May 1, 2018

Attachment: Resolution Approving Engineer's Report (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN

RESOLUTION NO. CSD 2018-__

A RESOLUTION OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DECLARING ITS INTENTION TO LEVY THE FISCAL YEAR 2018/19 ASSESSMENT AGAINST REAL PROPERTY IN MORENO VALLEY COMMUNITY SERVICES DISTRICT LANDSCAPE MAINTENANCE DISTRICT NO. 2014-02

WHEREAS, pursuant to Government Code Section 61122(e), the Moreno Valley Community Services District (the "CSD") is authorized to levy benefit assessments for operations and maintenance pursuant to the Landscaping and Lighting Assessment Act of 1972 (Streets & Highways Code Section 22500 *et seq.*) (the "Act"); and

WHEREAS, by its Resolution No. CSD 2014-09, adopted on May 27, 2014, the Board of Directors, pursuant to the Act, established the Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 (the "Assessment District") to fund landscape maintenance services through the levy of an annual assessment against real property; and

WHEREAS, by prior resolution, the Board of Directors initiated proceedings to levy the Fiscal Year 2018/19 assessment against real property in the Assessment District and directed Willdan Financial Services, as assessment engineer, (the "Assessment Engineer") to prepare and file a report pursuant to Section 22565 *et seq.* of the Act with respect to said levy; and

WHEREAS, the Assessment Engineer has prepared and filed a report entitled "Moreno Valley Community Services District Landscape Maintenance District No. 2014-02, 2018/19 Engineer's Report" (the "Report"), which is on file in the Office of the Secretary of the CSD (the Office of the City Clerk of the City of Moreno Valley), is available for public inspection, and is incorporated herein by reference; and

WHEREAS, by prior resolution, the Board of Directors approved the Report as filed; and

WHEREAS, the Board of Directors desires to declare its intention to levy the Fiscal Year 2018/19 assessments as described in the Report.

NOW, THEREFORE, THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1. Recitals. The above recitals are all true and correct.
2. Declaration of Intent. The Board of Directors hereby declares its intention to levy and collect the Fiscal Year 2018/19 assessments in connection with the Assessment District.
3. Name of Assessment District. The Assessment District is designated "Moreno Valley Community Services District Landscape Maintenance District No. 2014-02."
4. Boundaries of the Assessment District. The Assessment District includes territory within the CSD that has been included within the Boundaries of the Assessment District.
5. Description of Improvements. The Assessment District will fund the maintenance of landscape improvements.
6. Reference to Report. Reference is made to the Report for a full and detailed description of (i) the landscape improvements to be maintained in connection with the Assessment District; (ii) the boundaries of the Assessment District and the zones therein; and (iii) the proposed assessments upon assessable lots and parcels of land within the Assessment District. The Report describes, among other things, each affected parcel of real property and the amount of the assessment for each such affected parcel for Fiscal Year 2018/19.
7. Public Hearing. On June 19, 2018 at 6:00 PM or as soon thereafter as practical, in the City Council Chamber located at 14177 Frederick Street, Moreno Valley, California 92553, the Board of Directors shall hold a full and fair public hearing on the question of the levy of the proposed assessments for Fiscal Year 2018/19 (the "Hearing"). At the Hearing, the Board of Directors will also hear and consider any objections or protests to the Report.
8. Notice. Notice of the Hearing shall be given in the manner set forth in Section 22626(a) of the Act.
9. Protest. Pursuant to Section 22628 of the Act, any interested person may, prior to the conclusion of the Hearing, file a written protest with the Secretary of the CSD (the City Clerk of the City of Moreno Valley) or, having previously filed a protest, may file a written withdrawal of that protest. A written protest shall state all grounds of objection. A protest by a property owner shall contain a description sufficient to identify the property owned by the property owner.
10. No Increase. Aside from the implementation of previously adopted annual

2

Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

inflation adjustments, as described in the Report, the assessment rates are not proposed to increase from the rates levied in Fiscal Year 2017/18.

11. Effective Date. This Resolution shall be effective immediately upon adoption.
12. Certification. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on file as a public record this Resolution.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Attachment: Resolution Declaring Intent (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR

4
Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-___ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

5
Resolution No. CSD 2018-___
Date Adopted: May 1, 2018

Attachment: Resolution Declaring Intent (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS IN FISCAL YEAR



Moreno Valley Community Services District

Landscape Maintenance District No. 2014-02

2018/19 ENGINEER'S REPORT

Intent Meeting: May 1, 2018

Public Hearing: June 19, 2018

MORENO VALLEY COMMUNITY SERVICES DISTRICT
14177 FREDERICK STREET
MORENO VALLEY, CA 92553

951.413.3480

27368 Via Industria
Suite 200
Temecula, CA 92590
T 951.587.3500 | 800.755.6864
F 951.587.3510 | 888.326.6864

Property Tax Information Line
T. 866.807.6864

www.willdan.com/Financial



Attachment: LMD 2014-02 Assessment Engineer's Report (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS

ANNUAL ENGINEER'S REPORT STATEMENT

Fiscal Year 2018/19

Moreno Valley Community Services District

Landscape Maintenance District No. 2014-02

As part of the Resolution of Intention packet presented for the consideration of the Moreno Valley Community Services District Board of Directors, this Report describes the proposed Assessments to be levied on parcels within the Landscape Maintenance District 2014-02 for fiscal year (FY) 2018/19, including the budget and basis of the assessments. Reference is hereby made to the Riverside County Assessor's Maps for a detailed description of the lines and dimensions of parcels subject to the proposed assessment. The undersigned respectfully submits the enclosed Report as directed by the Moreno Valley Community Services District Board of Directors.

Dated this _____ day of _____, 2018

Willdan Financial Services

Assessment Engineer

On Behalf of the Moreno Valley Community Services District

By: _____
Susana Hernandez, Project Manager

By: _____
Richard Kopecky

R. C. E. # 16742

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Attachment: LMD 2014-02 Assessment Engineer's Report (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS

INTRODUCTION

The Moreno Valley Community Services District (CSD) was established pursuant to the Community Services District Law (California Government Code Section 61000 et seq.) (“CSD Law”) in 1984 at the time of the incorporation of the City of Moreno Valley. The CSD is a dependent special district of the City, and the Moreno Valley City Council serves as the Board of Directors of the CSD. The boundaries of the CSD are the same as those of the City.

Prior to the City’s incorporation, the territory that would become the City of Moreno Valley was an unincorporated territory of Riverside County. The County had created County Service Areas (CSAs) to fund and provide certain enhanced services in this territory. The CSD was created so that responsibility for these funding mechanisms (and services) within the territory of the City of Moreno Valley could be transitioned from CSAs governed by the Riverside County Board of Supervisors to a CSD governed by the Moreno Valley City Council.

The CSD is comprised of a number of Zones, each of which provides a specific set of services within a defined portion of the City. Zone E of the CSD was established in 1987 to fund landscape maintenance services in certain geographical and development areas of the City. Zone E was comprised of a number of subzones (i.e. Zone E-1, Zone E-3A, etc.), each of which funded specific landscape improvements associated with the subdivision (or parts of subdivisions) that comprised the zones.

In November, 1996, the voters of California adopted Proposition 218, which has been codified as Articles XIII C and XIII D of the California Constitution. Proposition 218 imposed a number of substantive and procedural requirements on taxes, assessments, and property-related fees imposed by local governments in California. Although referred by the CSD as “charges”, the charges imposed by Zone E of the CSD were categorized under Proposition 218 as real-property assessments.

Subsequent to the adoption of Proposition 218, the CSD conducted mail ballot protest proceedings pursuant to Article XIII D, Section 4(e) of the Constitution with respect to the CSD charges. These proceedings included base rates and an automatic annual inflation adjustment. Proceedings were successfully completed, without majority protest, for each of the Zones with the exception of former CSD Zone E-4 (now designated as Benefit Zone 04). The assessments identified in this Report reflect the charges and the automatic annual inflation adjustments approved in connection with those mail ballot protest proceedings.

The assessment established for Zone 04 exclusively funds street landscaping and predates Proposition 218. Therefore, pursuant to Article XIII D, Section 5 of the Constitution the existing Zone 04 assessment is not required to be approved at a mail ballot proceeding so long as the rate of the assessment/charge is not increased.¹

¹ CSD Zone E-4 was annexed to the CSD in fiscal year 1988/1989 prior to Proposition 218 and the charge per single family residential property was originally established at \$182.00, with non-residential properties being charged four times that amount per acre. Subsequently, that \$182.00 rate was reduced over the next several years to \$110.00. The \$110.00 rate was in effect at the time Proposition 218 was enacted. Pursuant to the exemption provisions of Proposition 218, the \$110.00 rate was grandfathered as the Zone charge in fiscal year 1997/98. In June 2016, the CSD proposed a rate increase for the Zone. The increase was protested by property owners and did not become effective.

In May 2014, the Moreno Valley Community Services District, formed Landscape Maintenance District No. 2014-02 ("District"), pursuant to the Landscaping and Lighting Act of 1972 (California Streets and Highways Code Section 22500 *et seq.*) (the "1972 Act"), replacing the previous CSD Zones E-1, E-1A, E-2, E-3, E-3A, E-4, E-4A, E-12, E-14, E-15, and E-16. Parcels that had been charged an annual CSD Zone E charge for landscape maintenance services are now instead assessed an annual real property assessment for those services as part of Landscape Maintenance District No. 2014-02. This transition did not increase the amount paid annually by any property owner and did not change the nature or extent of the landscape maintenance services provided. The assessments levied in connection with this assessment district in every way serve as a continuation of the charges levied in connection with CSD Zone E for the ongoing maintenance, servicing, and operation of local landscaping improvements previously established and maintained in CSD Zones E-1, E-1A, E-2, E-3, E-3A, E-4, E-4A, E-12, E-14, E-15, and E-16. Landscape Maintenance District No. 2014-02 was initially comprised of ten (10) benefit zones, corresponding to eleven subzones of Zone E of the CSD, but with CSD Zones E-4 and E-4A merged into a single benefit Zone 04.

On May 12, 2015 a new benefit Zone 09 was annexed to Landscape Maintenance District No. 2014-02, bringing the total number of benefit zones to eleven (11).

Each fiscal year, an Engineer's Report ("Report") is prepared and presented to the CSD Board describing the District, any changes to the District or improvements, and the proposed budget and assessments for that fiscal year. The CSD Board shall hold a public hearing regarding these matters prior to approving and ordering the proposed levy of assessments for that fiscal year and such public hearing shall be noticed pursuant to the 1972 Act if new or increased assessments are not proposed. If, in any year, the proposed annual assessments for the District exceed the maximum assessments described herein, such an assessment would be considered a new or increased assessment and must be confirmed through mailed property owner protest ballot proceeding before that new or increased assessment may be imposed.

This Report is the detailed engineer's report for FY 2018/19 regarding the District and the proposed assessments to be levied on the properties therein to provide ongoing funding for the costs and expenses required to service and maintain the landscaping improvements associated with and resulting from the development of properties within the District, in accordance with the proportional special benefits the properties will receive from the improvements.

The improvements, the method of apportionment, and special benefit assessments described in this Report are based on the improvements and development of properties within the District and represent an estimate of the direct expenditures and incidental expenses that will be necessary to maintain, service, and operate such improvements for FY 2018/19. The improvements installed in connection with the development of properties within the District and to be maintained as described herein, are based on the development plans and specifications for the properties and developments within the District and by reference these plans and specifications are made part of this Report.

The word "parcel," for the purposes of this Report, refers to an individual property assigned its own Assessor's Parcel Number (APN) by the Riverside County Assessor's Office. The Riverside County Auditor/Controller uses Assessor's Parcel Numbers and a dedicated fund number

established for the District to identify properties to be assessed on the tax roll and the allocation of the funds collected.

This Report consists of five (5) parts:

Part I

Plans and Specifications: A description of the District boundaries and the improvements associated with the District. The District has eleven zones of benefit (“Zones”), which are described in more detail in this section of the Report as well as in Part II (Method of Apportionment). A diagram showing the exterior boundaries of the CSD, of the District, and the Zones established within the District, is attached and incorporated herein in Part IV (District Diagrams). The plans for the landscape improvements (if available), including the City’s standard specifications are on file with the Public Works Department. The location of the improvements for each zone can be found by using the Moreno Valley Map Viewer located on the City’s website.

Part II

Method of Apportionment: A discussion of the general and special benefits associated with the overall local landscaping improvements provided within the District (Proposition 218 Benefit Analysis). This Part also includes a determination of the proportional costs of the special benefits and a separation of costs considered to be of general benefit (and therefore not assessed). This section of the Report also outlines the method of calculating each property’s proportional special benefit and annual assessment utilizing a weighted benefit apportionment.

Part III

Estimate of Improvement Costs: An estimate of the annual funding required for the maintenance, servicing, and operation of landscape improvements within the District and specifically the costs associated with the improvements determined to be of special benefit to parcels within the District. The budget identifies an estimate of anticipated annual expenses to service, maintain, and operate existing landscape improvements within the District for fiscal year 2018/19 including, but not limited to, servicing of those improvements and related facilities, utility costs, and related incidental expenses authorized by the 1972 Act. The budget also identifies the maximum assessment rate for each Zone of the District and the associated assessment range formula (inflationary adjust) as applicable.

Part IV

District Diagrams: Diagrams showing the boundaries of the Zones, which collectively represent the boundaries of the District, are provided in this Report and these diagrams identify all parcels that receive special benefits from the improvements. Reference is hereby made to the Riverside County Assessor’s maps for a detailed description of the lines and dimensions of each lot and parcel of land within the District.

Part V

Assessment Roll: A listing of the proposed assessment amount for each parcel within the District. The proposed assessment amount for each parcel is based on the parcel's calculated proportional special benefit as outlined in the method of apportionment and proposed assessment rate established in the District Budget. These assessment amounts represent the assessments proposed to be levied and collected on the County Tax Rolls for FY 2018/19.

PART I - PLANS AND SPECIFICATIONS

DESCRIPTION OF THE DISTRICT

The territory within this District consists of all lots and parcels of land that receive special benefits from the landscape improvements maintained and funded by the District assessments. The boundaries of the District consist of benefit zones ("Zones"), each of which is associated with a set of landscape improvements. Each parcel within the District is assigned to each zone that funds landscape maintenance services that specially benefit the parcel. Two zones (Zone 01A and 03A) are comprised solely of a subset of the parcels in a larger zone (Zones 01 and 03 respectively). Thus, all parcels in Zone 01A are also a part of Zone 01 and all parcels in Zone 03A are also a part of Zone 03. These overlapping zones exist because, for example, the landscaping improvements associated with Zone 01 provides special benefit to each parcel in Zone 01 (including Zone 01A parcels) but the landscaping improvements associated with Zone 01A provides special benefit to only the Zone 01A parcels.

These eleven (11) Zones within the District and the benefits associated with the properties therein are described in more detail in Part II (Method of Apportionment) of this Report. In addition, the District Diagrams found in Part IV of this Report provide visual representations of the District showing the boundaries of the Zones and the improvement areas being maintained.

DISTRICT FACILITIES AND IMPROVEMENTS

The landscape improvements maintained for each Zone are local landscaping improvements that were installed in connection with the development of the parcels comprising each respective Zone. These landscape improvements are an integral part of the subdivisions and development for which they were installed, creating a green amenity and aesthetically pleasing enhancement to the parcels served by the landscaping. In most cases, the landscaping improvements were a condition of development of the parcels in the Zone, and the properties within the Zone could not have been developed if the landscaping were not included. Improvements for each Zone are either located within the subdivision or along the entry path to the residential subdivisions or non-residential developments.

Collectively within the eleven (11) Zones, there is approximately 2,953,582 square feet of parkway and median landscaped area, 3,854,860 square feet of open space, and 9,582 trees to be maintained and funded in part by the District assessments. The District Diagrams found in Part IV of this Report provide visual representations of the District, showing the boundaries of the Zones and the improvement areas being maintained. Detailed plans identifying the location and extent of the District's landscape improvements and maps of those Zones and improvement areas are on file in the Office of the Public Works Department, Special Districts Division, and by reference these plans and maps are made part of this Report.

The maintenance, operation, and servicing of the District landscape improvements include the furnishing of labor, materials, equipment, and utilities for the ordinary and usual maintenance, operation, and servicing of the landscape areas within the public right-of-ways, easements, and open space areas dedicated to the City/CSD as part of the development of properties within each Zone of the District.

The various landscape improvements associated with each Zone include combinations of landscape amenities such as turf ground cover, plants, shrubs, trees, and associated appurtenant facilities including, but not limited to irrigation and drainage systems, various types of groundcover, stamped concrete, electrical and lighting, and entry monuments that may be maintained in whole or in part as part of the landscape improvements depending on available funding.

The following is a brief description and summary of the landscaped areas associated with each Zone included in the District. A visual depiction of the location and extent of the landscape improvement areas and Zone boundaries are provided on the District Diagrams provided in Part IV of this Report.

ZONES

Local Landscaping Zone 01 (TownGate)

The properties within Zone 01 receive special benefits from landscaped parkways and medians within the TownGate area, which is bordered by Day Street on the west, Cottonwood Avenue, Dracaea Avenue, and Eucalyptus Avenue on the south, Elsworth Street and Frederick Street on the east, and State Highway 60 on the north. The Zone improvements are currently maintained at Level 2 service (8-week rotation) due to funding. The overall improvements include approximately 323,609 square feet of landscaped area and 1,045 trees.

Local Landscaping Zone 01A (Renaissance Park)

The properties within Zone 01A receive special benefits from landscaped parkways and medians within the TownGate area along with other parcels in Zone 01, but in addition, receive special benefits from parkway landscaping and entry medians on the internal neighborhood streets (Dracaea Avenue and Arbor Park Lane) that connect the various residential developments in this area. The Renaissance Park area is bordered by Day Street on the west, Cottonwood Avenue on the south, Elsworth Street on the east, and Eucalyptus Avenue on the north. The Zone improvements are currently maintained at Level 3 service (12-week rotation) due to funding. The overall improvements include approximately 72,335 square feet of landscaped area and 201 trees.

Local Landscaping Zone 02 (Hidden Springs)

The properties within Zone 02 receive special benefits from parkway landscaping along Hidden Springs Drive, an entry median on Hidden Springs Drive at Pigeon Pass Road, and the west side of Pigeon Pass Road bordering the Hidden Springs community, as well as maintenance of open space areas throughout the community. The Zone parkway improvements are currently maintained at Level 1 service (4-week rotation). The open space improvements are maintained on a monthly rotation. The overall improvements include approximately 193,743 square feet of landscaped area, 3,674,297 square feet of Open Space area, and 3,179 trees.

Local Landscaping Zone 03 (Moreno Valley Ranch - West)

The properties within Zone 03 receive special benefits from parkway and median landscaping generally surrounding the Moreno Valley Ranch area, bordered by Kitching Street on the west, Gentian Avenue and Casa Encantador Road on the north, and generally the City boundary to the east and south. The Zone improvements are currently maintained at Level 1 service (4-week rotation). The overall improvements include approximately 866,943 square feet of landscaped area and 2,382 trees.

Local Landscaping Zone 03A (Lasselle Powerline Parkway)

The properties within Zone 03A receive special benefits from landscaped parkways and medians within the Moreno Valley Ranch - West area along with other parcels in Zone 03, but in addition, receive special benefits from parkway landscaping on the internal neighborhood streets along portions of Withers Way, Via Xavier, Cremello Way, Cavalcade Drive, and Kentucky Derby Drive. The Zone improvements are currently maintained at Level 1 service (4-week rotation) due to funding. The overall improvements include approximately 53,774 square feet of landscaped area and 89 trees.

Local Landscaping Zone 04 (Moreno Valley Ranch - East)

The properties within Zone 04 receive special benefits from parkway and median landscaping generally surrounding the developments bordered by Hammett Court, Oliver Street, and Moreno Beach Drive to the west, Iris Avenue, John F. Kennedy Drive, and Cactus Avenue to the north, and generally the City boundary to the southeast. The overall improvements include approximately 980,404 square feet of landscaped area and 1,710 trees.

Because assessments in the Zone have been capped at the 1996/97 rate, the CSD has not been able to provide the level of service in this Zone that is provided in other Zones. The Zone improvements are currently maintained at Level 5 service (20-week rotation) due to funding.

Local Landscaping Zone 05 (Stoneridge Ranch)

The properties within Zone 05 receive special benefits from parkway and median landscaping generally surrounding the Stoneridge Ranch residential neighborhood, bordered by Nason Street on the west, Dracaea Avenue on the south, Eucalyptus Avenue on the east and Fir Avenue on the north. The Zone improvements are currently maintained at Level 1 service (4-week rotation). The overall improvements include approximately 98,392 square feet of landscaped area and 202 trees.

Local Landscaping Zone 06 (Mahogany Fields)

The properties within Zone 06 receive special benefits from parkway and median landscaping generally located within the Mahogany Fields community along Alessandro Boulevard, Morrison Street, Cottonwood Avenue, and Darwin Drive. The Zone improvements are currently maintained at Level 1 service (4-week rotation). The overall improvements include approximately 178,564 square feet of landscaped area and 345 trees.

Local Landscaping Zone 07 (Celebration)

The properties within Zone 07 receive special benefits from parkway and median landscaping generally located within the Celebration community along Nason Street, Cactus Avenue, and Oliver Street. The Zone improvements are currently maintained at Level 1 service (4-week rotation). For FY 2018/19, the CSD anticipates incurring expenses to maintain buffer landscaping located on the slope of a flood control at the south side of Zone 07. These improvements were included in the budget for Zone 07 at the time it last went to property owner assessment balloting. The CSD anticipates accepting the improvements for ongoing maintenance in FY 2018/19. The overall improvements include approximately 44,591 square feet of landscaped area, 180,563 square feet of open space area (flood control channel slope), and 119 trees.

Local Landscaping Zone 08 (Shadow Mountain)

The properties within Zone 08 receive special benefits from parkway and median landscaping generally surrounding the Shadow Mountain residential neighborhood, bordered by Pigeon Pass Road on the west, Sunnymead Ranch Parkway on the south, Espada Creek Road on the east, and Lawless Road on the north. The Zone improvements are currently maintained at Level 1 service (4-week rotation). The overall improvements include approximately 76,771 square feet of landscaped area and 172 trees.

Local Landscaping Zone 09 (Savannah)

The properties within Zone 09 receive special benefits from parkway landscaping generally surrounding the Savannah residential neighborhood, bordered by Morrison Street on the west, Eucalyptus Avenue on the south, Fir Avenue on the north, and the tract boundary to the east. The landscape improvements associated with Zone 09 were accepted for ongoing maintenance by the CSD in late 2017/18. The FY 2018/19 budget for this Zone accounts for a full year of maintenance. The overall improvements include approximately 64,456 square feet of landscaped area and 138 trees.

PART II - METHOD OF APPORTIONMENT

The 1972 Act permits the establishment of assessment districts by agencies for the purpose of providing certain public improvements, including the acquisition, construction, installation and servicing of landscape improvements and related facilities. The 1972 Act requires that the cost of these improvements be levied according to benefit rather than assessed value:

Section 22573 defines the net amount to be assessed as follows:

“The net amount to be assessed upon lands within an assessment district may be apportioned by any formula or method which fairly distributes the net amount among all assessable lots or parcels in proportion to the estimated benefits to be received by each such lot or parcel from the improvements.”

Section 22574 provides for zones as follows:

“The diagram and assessment may classify various areas within an assessment district into different zones where, by reason of variations in the nature, location, and extent of the improvements, the various areas will receive differing degrees of benefit from the improvements. A zone shall consist of all territory which will receive substantially the same degree of benefit from the improvements.”

The formulas used for calculating assessments and the designation of zones herein reflect the composition of parcels within the District and the improvements and activities to be provided, and have been designed to fairly apportion the cost of providing those improvements based on a determination of the proportional special benefits to each parcel, consistent with the requirements of the 1972 Act and the provisions of Proposition 218 and Article XIII D of the California Constitution.

PROPOSITION 218 BENEFIT ANALYSIS

The costs of the proposed improvements for FY 2018/19 have been identified and allocated to properties within the District based on special benefit. The improvements provided by this District and for which properties are assessed are local public landscape improvements and related amenities that were installed in connection with the development of the properties or would otherwise be required for the development of properties within each respective Zone of the District. The assessments and method of apportionment is based on the premise that these improvements would otherwise not have been required without the development of those parcels within the District.

Article XIID Section 2(d) defines District as follows:

“District means an area determined by an agency to contain all parcels which will receive a special benefit from a proposed public improvement or property-related service”;

Article XIID Section 2(i) defines Special Benefit as follows:

“Special benefit” means a particular and distinct benefit over and above general benefits conferred on real property located in the district or to the public at large. General enhancement of property value does not constitute “special benefit.”

Article XIIID Section 4a defines proportional special benefit assessments as follows:

“An agency which proposes to levy an assessment shall identify all parcels which will have a special benefit conferred upon them and upon which an assessment will be imposed. The proportionate special benefit derived by each identified parcel shall be determined in relationship to the entirety of the capital cost of a public improvement, the maintenance and operation expenses of a public improvement, or the cost of the property related service being provided. No assessment shall be imposed on any parcel which exceeds the reasonable cost of the proportional special benefit conferred on that parcel.”

BENEFIT ANALYSIS

Special Benefit

The ongoing maintenance of local public landscaped areas within the District provides aesthetic benefits to the properties within each respective Zone and provides a more pleasant environment to walk, drive, live, and work. The primary function of these landscape improvements and related amenities is to serve as an aesthetically pleasing enhancement and green space for the benefit of the immediately surrounding developments for which the improvements were constructed and installed. These improvements are an integral part of the physical environment of parcels in associated Zones, and if the improvements were not properly maintained, it is these parcels that would be aesthetically burdened. In addition, the street landscaping in these Zones serve as both a physical buffer as well as a sound reduction or buffer between the roadways and the properties in the District and the open spaces, where applicable, provide a physical buffer and openness between properties. Furthermore, open spaces serve as an extension of the recreational features of parcels, such as their front or rear yards, and entry landscaping serves as a pleasant aesthetic amenity that enhances the approach to the parcels. As a result, the maintenance of these landscaped improvements is a particular and distinct benefit to the properties and developments within each Zone.

General Benefit

In reviewing the location and extent of the specific landscaped areas and improvements to be funded by District assessments and the proximity and relationship to properties to be assessed, it is evident these improvements are local improvements that were installed in connection with the development of properties in each respective Zone or are improvements that would otherwise be shared by and required for the future development of properties in those Zones. It is also evident that the aesthetic maintenance of these improvements and the enhanced level of maintenance provided only has a direct and particular impact on those properties (special benefit) and such maintenance beyond that which is required to ensure the safety and protection of the general public and property in general, has no identifiable benefit to the public at large or properties outside each respective Zone.

In the absence of a special funding Zone, the City would typically provide only weed abatement and erosion control services for landscaped areas. These services would typically be provided twice annually. This level of service provides for public safety and avoids negative impacts on adjacent roadways and vehicles traveling on those roadways, but results in a far less visually pleasing environment than is created with the enhanced levels of services associated with the District. The cost to provide the baseline level of service is approximately \$0.0217165 per square foot per servicing for streetscape areas and \$0.0108583 per square foot per servicing for open space areas that require maintenance. Utilizing these per square foot costs, the square footages of the improvement areas, and the number of servicing in each Zone, the following table summarizes the current estimated general benefit costs calculated for each District Zone:

Fiscal Year 2018/19 Estimated General Benefit Costs

Zone	General Benefit Cost ⁽¹⁾
Zone 01	\$14,056
Zone 01A	3,142
Zone 02	28,364
Zone 03	37,655
Zone 03A	2,336
Zone 04	42,582
Zone 05	4,274
Zone 06	7,756
Zone 07	2,918
Zone 08	3,335
Zone 09	2,800
\$149,218	

⁽¹⁾ The General Benefit Costs presented in the table above are reflected in the budgets for each Zone. As with most landscape maintenance costs, these General Benefit Costs are subject to an annual CPI increase and as such the General Benefit Cost contributions are adjusted annually for inflation.

General Fund Maintained Areas

The following improvements are excluded from assessment funding and instead funded from other sources. These particular improvement areas are identified on the District Diagrams provided in Part IV of this Report as “General Fund Maintained” improvements and include the improvements in the following Zones:

The 31,000 square feet of planter area and 8 trees in the greenbelt drainage area south of Iris Avenue and west of Turnberry Street previously included in CSD Zone E-4A (Daybreak) is maintained and funded by other general fund revenues and not included in the assessments for Zone 04. These improvements constitute all the landscaped areas previously in CSD Zone E-4A.

The 2,230 square feet of parkway planter area on the east side of Nason Street north of Damascus Road that was previously included in CSD Zone E-15 (Celebration), will be maintained and funded by other general fund revenues and not included in the assessments for Zone 07.

Areas which require a General Fund Maintained Area contribution are re-evaluated annually to reflect estimated cost.

ASSESSMENT METHODOLOGY

The method of apportionment for this District calculates the receipt of special benefit from the respective improvements based on the land use of the parcels.

Equivalent Benefit Unit Application

To proportionally allocate special benefit to each parcel, it is necessary to correlate each property’s proportional benefit to other properties that benefit from the improvements and services being funded. In order to do this, the assessment methodology assigns each parcel a number of Equivalent Benefit Units (EBUs) based on its land use as of March 1st, preceding the fiscal year addressed herein. One EBU is defined as the special benefit allocable to a single family home (basic EBU). In each case, a parcel is only allocated EBUs if the landscaping serving the Zone has been accepted by the City or will be accepted by the City during the upcoming fiscal year.

Single Family Residential — This land use is defined as a fully subdivided single family residential home site with or without a structure. As previously noted, the single family residential parcel has been selected as the basic EBU for calculation of assessments and each single-family residential home site is assigned 1.0 Equivalent Benefit Unit (1.0 EBU per lot or parcel).

Condominium Residential — This land use is defined as a fully subdivided condominium residential unit assigned its own Assessor’s Parcel Number by the County. EBUs are assigned to these parcels by multiplying the overall acreage of the condominium development by 4 (the typical number of single family homes in an acre of typical development), and then dividing the result by the number of condominium units/parcels in the development.

Multi-Family Residential and Mobile Home Park — This land use classification identifies properties that are used for residential purposes and contain more than one residential unit. The proportional special benefit and EBU for these parcels is based on acreage, at 4.0 EBUs per acre.

Developed Non-Residential — This classification includes developed properties including parking lots that are identified or zoned for commercial, industrial, or other non-residential use including offices, hotels, recreational facilities (excluding parks), and institutional facilities including, hospitals, churches or facilities utilized by other non-profit organizations, whether those facilities are publicly owned (non-taxable) or privately owned. Like Multi-Family Residential and Mobile Home Park properties the proportional special benefit and EBU for these parcels is based on acreage, at 4.0 EBUs per acre.

Planned Residential Development — This land use is defined as a property that is currently consider vacant or undeveloped land, but for which the number of residential lots to be developed on the property is known or has been approved. These properties benefit from the existing Zone improvements, but may as part of their development install additional landscape improvements to be maintained either solely by the development or as part of the District improvements depending on the location and extent of those improvements. The proportional special benefit and EBU for these parcels is based on the planned residential units for the parcel, at 0.50 EBU per planned unit (50% of the basic EBU unit for a single family residential parcel).

Undeveloped/Vacant Property — This land use is defined as a parcel that is currently consider vacant or undeveloped land that can be developed, but for which the use and/or development of the property has not been fully determined. These parcels are assigned a proportional EBU that is based on 50% of the proportional benefit established for a developed property in the District. The proportional special benefit and EBU for these parcels is based on acreage, at 2.0 EBUs per acre.

Special Case Property — In some Zones there may be one or more properties that the standard land use classifications identified above do not accurately identify the use and special benefit received from the improvements and/or it has been determined that the property receives special benefit, but has not been previously assessed for various reasons. Properties that are typically classified as Special Case properties usually involve some type of development or land restrictions whether those restrictions are temporary or permanent and affect the properties proportional special benefit. Examples of such restrictions may include situations where only a small percentage of the parcel's total acreage can actually be developed. In such a case, the net usable acreage of the parcel rather than the gross acreage of the parcel may be applied to calculate the parcel's proportional special benefit. In addition, in certain Zones there are a few parcels that have been identified as properties that receive special benefit from the Zone improvements, but likely because of their ownership or tax status (government or non-profit owned properties) these parcels were not previously levied the annual assessment. The proportional special benefit and proposed assessment for each of these parcels is calculated along with all other properties in the Zone, but rather than ballot these properties for a new or increased assessment at this time, the agency will make an off-setting contribution to the Zone that is equal to the assessment amount these Non-Assessed parcels would otherwise have been assessed.

Exempt — means a lot, parcel of land, or Assessor’s Parcel that is considered to not specially benefit directly from improvements. This classification includes, but is not limited to, areas of public streets, private streets, and other roadways; and public easements or right-of-ways including landscaped parkways or easements; and utility right-of-ways or easements such as irrigation or drainage ditches, channels or basins, and flood plains. These types of parcels (similar to the improvements) are typically the result of property development rather than the direct cause of development and have little or no need for the improvements. (These types of properties may or may not be assigned an Assessor’s Parcel Number by the County).

Also, exempt from assessment are Assessor’s Parcels that are identified as common areas (properties for which the surrounding residential parcels have a shared interest); bifurcated lots; small parcels vacated by the County or similar sliver parcels that cannot be developed independent of an adjacent parcel. These types of parcels are generally not separately assessed because they are functionally a part of another parcel that is assessed for its own benefit and the benefit of the associated parcel. Based on the improvements maintained in this District it has been determined that public schools, public parks, golf courses, and open space areas provide landscape amenities that are available to the public or are similar in nature to the improvements of a Zone and any benefit these properties may derive from the Zone improvements are more than off-set by the public benefit they provide to properties in the Zone.

PART III - ESTIMATE OF COSTS

CALCULATION OF ASSESSMENTS

An assessment amount per EBU in each Zone is calculated by:

Taking the “Total Annual Expenses” (Total budgeted costs) and subtracting the “Total General Benefit Contribution”, to establish the “Special Benefit Costs”;

Total Annual Expenses – Total General Benefit Contribution = Special Benefit Costs

To the resulting “Special Benefit Costs”, various “Other Available Funding” adjustments are applied. For further information please reference line items in the budget on the following pages under “Other Available Funding.”

These adjustments to the Special Benefit Costs result in the “Net Special Benefit Assessment”;

Special Benefit Costs +/- Other Available Funding = Net Special Benefit Assessment

The amount identified as the “Net Special Benefit Assessment” is divided by the total number of EBUs of parcels that benefit to establish the “Assessment Rate” or “Assessment per EBU” for the fiscal year. This Rate is then applied back to each parcel’s individual EBU to calculate the parcel’s proportionate special benefit and assessment for the improvements.

Net Special Benefit Assessment / Total EBU = Assessment per EBU

DISTRICT BUDGETS

The following budgets outline the estimated costs to maintain the improvements and the anticipated expenditures for each Zone for FY 2018/19.

Description	Total District Budget	Zone 01 TownGate	Zone 01A Renaissance Park	Zone 02 Hidden Springs
Operation & Maintenance (O&M)				
Operations & Personnel	\$1,752,745	\$217,547	\$34,781	\$382,326
Utilities	473,000	79,500	18,900	119,800
Total O&M Expenses	\$2,225,745	\$297,047	\$53,681	\$502,126
Incidental/Administrative Expenses				
District Administration	\$149,071	\$12,987	\$4,040	\$33,154
County Fees	7,002	610	190	1,557
Miscellaneous Administration Expenses	7,510	746	215	1,638
Total Incidental/Administrative Expenses	\$163,583	\$14,343	\$4,445	\$36,349
Contribution to Reserves	\$3,670	\$0	\$0	\$0
TOTAL ANNUAL EXPENSES	\$2,392,998	\$311,390	\$58,125	\$538,474
General Benefit Costs	(\$149,218)	(\$14,056)	(\$3,142)	(\$28,364)
General Fund Maintained Area Costs	(14,192)	0	0	0
Total General Benefit Contribution	(\$163,410)	(\$14,056)	(\$3,142)	(\$28,364)
SPECIAL BENEFIT COSTS	\$2,229,588	\$297,334	\$54,983	\$510,110
Other Available Funding				
Use of Reserve Fund ⁽¹⁾	(\$106,667)	(\$736)	(\$4,750)	(\$2)
Interest Income - Unrealized Gains/Losses	(11,700)	(973)	(304)	(1,989)
Reimbursement Agreements	(2,500)	(2,500)	0	0
Total Contributions/Adjustments	(\$120,867)	(\$4,209)	(\$5,054)	(\$1,991)
NET SPECIAL BENEFIT ASSESSMENT	\$2,108,721	\$293,125	\$49,929	\$508,119
District Statistics				
Total Parcels	11,422	1,186	557	1,151
Total Assessed Parcels	11,404	1,185	557	1,151
Total EBU	12,639.02072	2,184.24781	557.00000	1,178.00000
Proposed Assessment per EBU (FY 2018/19)	\$2,287.72	\$134.20	\$89.64	\$431.34
Maximum Assessment per EBU		\$146.39	\$89.64	\$461.77
EBU of Non-Assessed Parcels	204.20200	5.00000		
Contribution for Non-Assessed Parcels ⁽²⁾	(\$25,362)	(\$671)	\$0	\$0
NET BALANCE TO LEVY	\$2,083,359	\$292,454	\$49,929	\$508,119
Reserve Fund/Fund Balance				
Estimated Beginning Fund Balance as of July 1, 2018	\$4,703,240	\$456,403	\$113,416	\$914,338
Revenues and City Contributions.	2,122,921	296,598	50,233	510,108
Use of Reserve Funds ⁽¹⁾	(106,667)	(736)	(4,750)	(2)
Expenditures Less General Benefit Costs	(2,229,588)	(297,334)	(54,983)	(510,110)
Estimated Ending Fund Balance as of June 30, 2019	\$4,489,907	\$454,930	\$103,917	\$914,333

(1) Additional funds are being used to meet proposed levy amount.

(2) Agency Contribution for parcels that benefit, but have not historically been assessed (typically government owned properties).

The budget dollar amounts above are calculated to the penny, but are shown here as rounded amounts (nearest dollar). Any variance in the addition or subtraction of the amounts displayed above is due to this rounding.

Description	Zone 03 Moreno Valley Ranch West	Zone 03A Lasselle Powerline Parkway	Zone 04 Moreno Valley Ranch East	Zone 05 Stoneridge Ranch
Operation & Maintenance (O&M)				
Operations & Personnel	\$518,626	\$27,570	\$223,494	\$66,297
Utilities	92,500	6,000	50,200	27,000
Total O&M Expenses	\$611,126	\$33,570	\$273,694	\$93,297
Incidental/Administrative Expenses				
District Administration	\$40,010	\$3,220	\$33,363	\$3,846
County Fees	1,879	151	1,567	181
Miscellaneous Administration Expenses	2,039	175	1,643	200
Total Incidental/Administrative Expenses	\$43,928	\$3,546	\$36,573	\$4,227
Contribution to Reserves	\$0	\$0	\$575	\$0
TOTAL ANNUAL EXPENSES	\$655,054	\$37,116	\$310,841	\$97,523
General Benefit Costs	(\$37,655)	(\$2,336)	(\$42,582)	(\$4,274)
General Fund Maintained Area Costs	0	0	(13,682)	0
Total General Benefit Contribution	(\$37,655)	(\$2,336)	(\$56,264)	(\$4,274)
SPECIAL BENEFIT COSTS	\$617,399	\$34,780	\$254,577	\$93,249
Other Available Funding				
Use of Reserve Fund ⁽¹⁾	(\$17,319)	(\$1)	\$0	(\$42,039)
Interest Income - Unrealized Gains/Losses	(2,314)	(184)	(1,652)	(1,110)
Reimbursement Agreements	0	0	0	0
Total Contributions/Adjustments	(\$19,633)	(\$185)	(\$1,652)	(\$43,149)
NET SPECIAL BENEFIT ASSESSMENT	\$597,766	\$34,595	\$252,925	\$50,100
District Statistics				
Total Parcels	4,513	467	2,087	334
Total Assessed Parcels	4,509	467	2,074	334
Total EBU	4,492.45291	467.00000	2,299.32000	334.00000
Proposed Assessment per EBU (FY 2018/19)	\$133.06	\$74.08	\$110.00	\$150.00
Maximum Assessment per EBU	\$146.39	\$77.85	\$110.00	\$460.06
EBU of Non-Assessed Parcels	120.48200	0	78.72000	0
Contribution for Non-Assessed Parcels ⁽²⁾	(\$16,031)	\$0	(\$8,659)	\$0
NET BALANCE TO LEVY	\$581,734	\$34,595	\$244,266	\$50,100
Reserve Fund/Fund Balance				
Estimated Beginning Fund Balance as of July 1, 2018	\$1,018,160	\$78,369	\$520,703	\$375,794
Assessment Revenues	600,080	34,779	254,577	51,210
Use of Reserve Funds ⁽¹⁾	(17,319)	(1)	0	(42,039)
Expenditures	(617,399)	(34,780)	(254,577)	(93,249)
Estimated Ending Fund Balance as of June 30, 2019	\$983,522	\$78,368	\$520,703	\$291,716

(1) Additional funds are being used to meet proposed levy amount⁽²⁾ Agency Contribution for parcels that benefit, but have not historically been assessed (typically government owned properties).

The budget dollar amounts above are calculated to the penny, but are shown here as rounded amounts (nearest dollar). Any variance in the addition or subtraction of the amounts displayed above is due to this rounding.

Description	Zone 06 Mahogany Fields	Zone 07 Celebration	Zone 08 Shadow Mountain	Zone 09 Savannah
Operation & Maintenance (O&M)				
Total Maintenance Costs	\$99,938	\$77,722	\$76,281	\$28,165
Utilities	31,700	6,200	15,800	25,400
Total O&M Expenses	\$131,638	\$83,922	\$92,081	\$53,565
Incidental/Administrative Expenses				
District Administration	\$6,261	\$6,827	\$3,115	\$2,250
County Fees	294	321	146	106
Miscellaneous Administration Expenses	327	221	173	133
Total Incidental/Administrative Expenses	\$6,882	\$7,369	\$3,434	\$2,489
Contribution to Reserves	\$0	\$0	\$0	\$3,095
TOTAL ANNUAL EXPENSES	\$138,520	\$91,291	\$95,515	\$59,149
General Benefit Costs	(\$7,756)	(\$2,918)	(\$3,335)	(\$2,800)
General Fund Maintained Area Costs	0	(510)	0	0
Total General Benefit Contribution	(\$7,756)	(\$3,428)	(\$3,335)	(\$2,800)
SPECIAL BENEFIT COSTS	\$130,764	\$87,863	\$92,180	\$56,349
Other Available Funding				
Use of Reserve Fund ⁽¹⁾	(\$8)	(\$41,809)	(\$3)	\$0
Interest Income - Unrealized Gains/Losses	(800)	(1,488)	(710)	(176)
Reimbursement Agreements	0	0	0	0
Total Contributions/Adjustments	(\$808)	(\$43,297)	(\$713)	(\$176)
NET SPECIAL BENEFIT ASSESSMENT	\$129,956	\$44,566	\$91,467	\$56,172
District Statistics				
Total Parcels	424	262	291	150
Total Assessed Parcels	424	262	291	150
Total EBU	424.00000	262.00000	291.00000	150.00000
Proposed Assessment per EBU (FY 2018/19)	\$306.50	\$170.10	\$314.32	\$374.48
Maximum Assessment per EBU	\$322.14	\$385.91	\$339.83	\$696.96
EBU of Non-Assessed Parcels	0.00000	0	0	0
Contribution for Non-Assessed Parcels ⁽²⁾	\$0	\$0	\$0	\$0
NET BALANCE TO LEVY	\$129,956	\$44,566	\$91,467	\$56,172
Reserve Fund/Fund Balance				
Estimated Beginning Fund Balance as of July 1, 2018	\$343,591	\$587,183	\$250,160	\$45,123
Assessment Revenues	130,756	46,054	92,177	56,349
Use of Reserve Fund ⁽¹⁾	(8)	(41,809)	(3)	0
Expenditures	(130,764)	(87,863)	(92,180)	(56,349)
Estimated Ending Fund Balance as of June 30, 2019	\$343,575	\$503,566	\$250,154	\$45,123

(1) Additional funds are being used to meet proposed levy amount.

(2) Agency Contribution for parcels that benefit, but have not historically been assessed (typically government owned properties).

The budget dollar amounts above are calculated to the penny, but are shown here as rounded amounts (nearest dollar). Any variance in the addition or subtraction of the amounts displayed above is due to this rounding.

Attachment: LMD 2014-02 Assessment Engineer's Report (3021 : ADOPT RESOLUTIONS TO INITIATE PROCEEDINGS TO LEVY ASSESSMENTS

ASSESSMENT RATES

The following shows the assessment rates applicable to each Zone for FY 2018/19 based on the budget and the method of apportionment presented above.

Fiscal Year 2018/19 Assessment Rates

Zone	Maximum Assessment Rate per EBU ⁽¹⁾	Proposed Rates per EBU for FY 2018/19
Zone 01	\$146.39	\$134.20
Zone 01 Condo	\$66.06	\$60.54
Zone 01A	\$89.64	\$89.64
Zone 02	\$461.77	\$431.34
Zone 03	\$146.39	\$133.06
Zone 03 Condo 32142	\$64.85	\$58.96
Zone 03 Condo 32143 & 32144	\$62.49	\$56.81
Zone 03 Condo 32145	\$36.55	\$33.23
Zone 03 Condo 32146	\$35.36	\$32.16
Zone 03A	\$77.85	\$74.08
Zone 04	\$110.00	\$110.00
Zone 05	\$460.06	\$150.00
Zone 06	\$322.14	\$306.50
Zone 07	\$385.91	\$170.10
Zone 08	\$339.83	\$314.32
Zone 09	\$696.96	\$374.48

⁽¹⁾ The Maximum Assessment Rate for all Zones (except Zone 04) includes an inflationary adjustment that was approved by the property owners as part of the balloted assessment proceeding.

ANNUAL INFLATIONARY ADJUSTMENT (ASSESSMENT RANGE FORMULA)

Zone 01 through Zone 03A and Zone 05 through Zone 08

The Maximum Assessment Rate per EBU established for the improvements in the previous fiscal year may be adjusted by the percentage change calculated for the previous calendar year in the Los Angeles-Riverside-Orange County Consumer Price Index (CPI), as published by the Department of Labor’s Bureau of Labor Statistics.

The “All Urban Consumers” Index for Los Angeles-Riverside-Orange County is used to calculate the annual inflation adjustment. The inflation adjustment from December 2016 to December 2017 is 3.61%.

Zone 04

The Maximum Assessment Rate does not inflate.

Zone 09

Each fiscal year the Maximum Assessment Rate will be automatically adjusted by the percentage change in the CPI for All Urban Consumers for the Los Angeles-Riverside-Orange County Region as published by the Department of Labor's Bureau of Labor Statistics or three percent (3%), whichever is greater.

Each year, the Board of Directors will consider whether the assessment needs to be levied at the adjusted maximum rate; and the Board may levy it at some lower rate or choose not to implement an automatic rate adjustment.

PART IV - DISTRICT DIAGRAMS

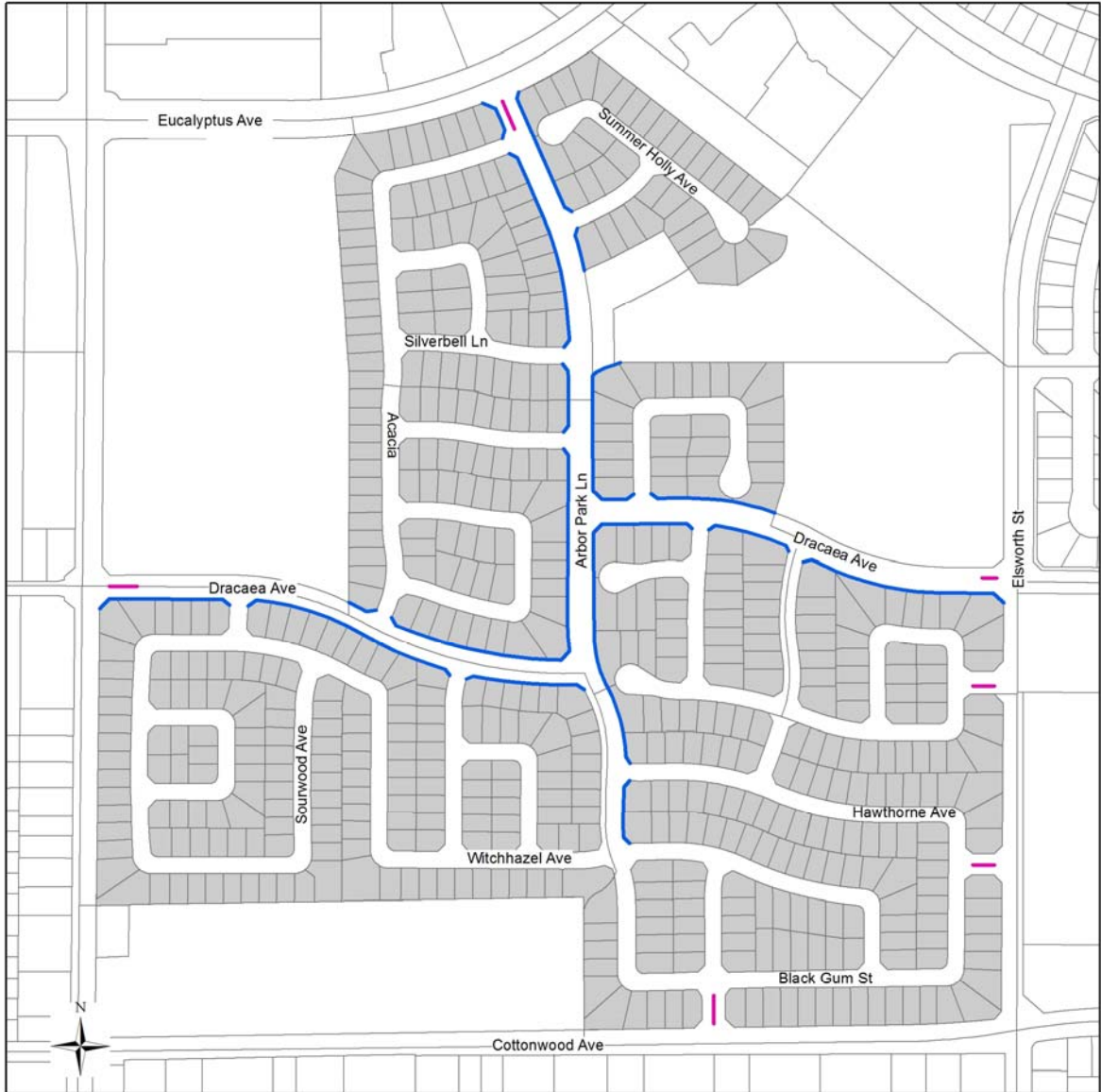
The following pages provide boundary diagrams for each Zone within the District, as well as a general depiction of the location of the improvements as identified at the time this Report was prepared. Detailed maps of the full extent and location of the improvement areas are on file in the Office of the Public Works Department, Special Districts Division. The combination of these map and the Assessment Roll referenced by this Report constitute the Assessment Diagrams for the District.

Moreno Valley Community Services District
Landscape Maintenance District No. 2014-02
Zone 01 (TownGate)



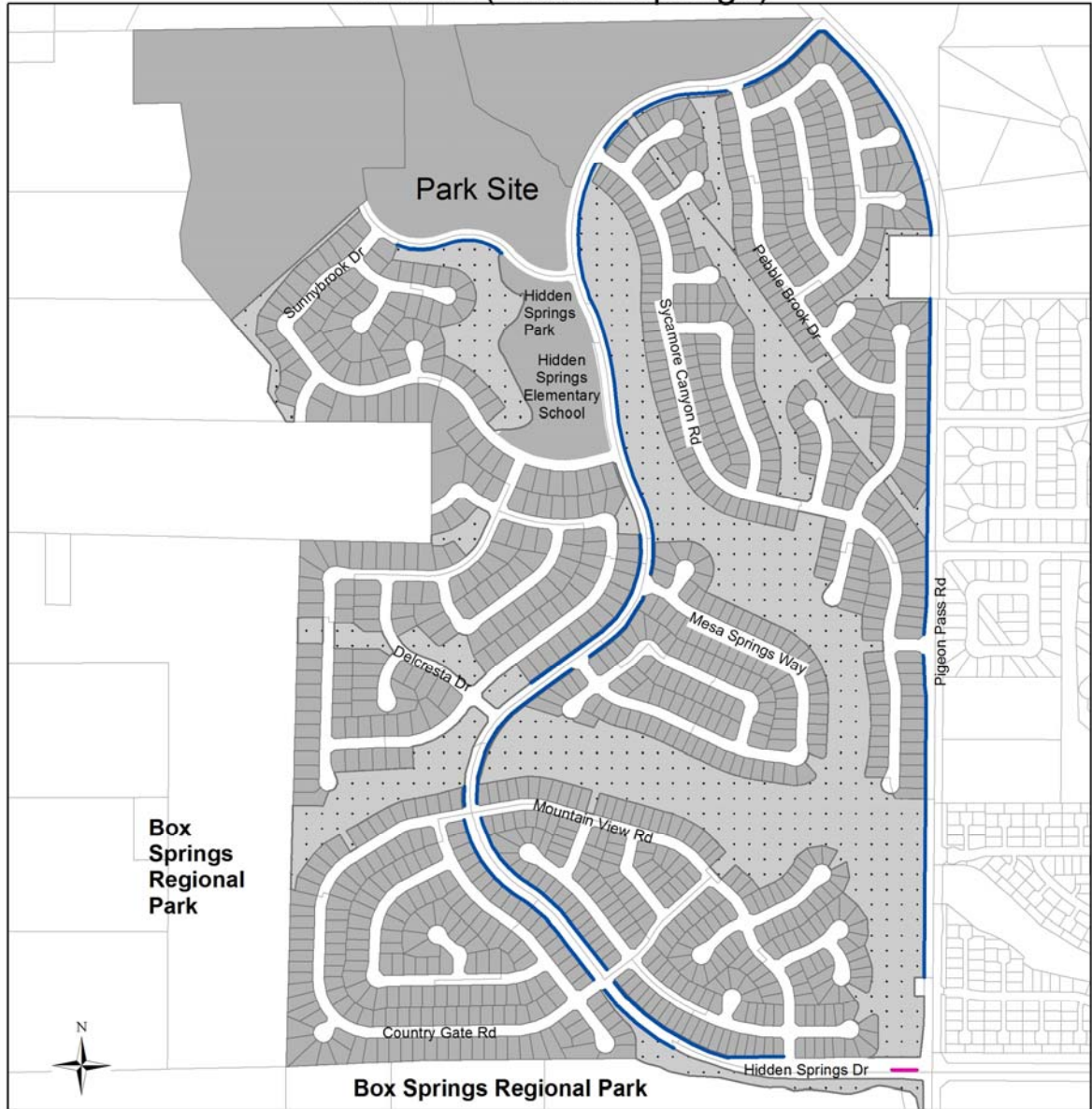
- Landscaped Parkway
- Landscaped Median
- Parcels within the Boundaries of Zone 01

Moreno Valley Community Services District
Landscape Maintenance District No. 2014-02
Zone 01A (Renaissance Park)



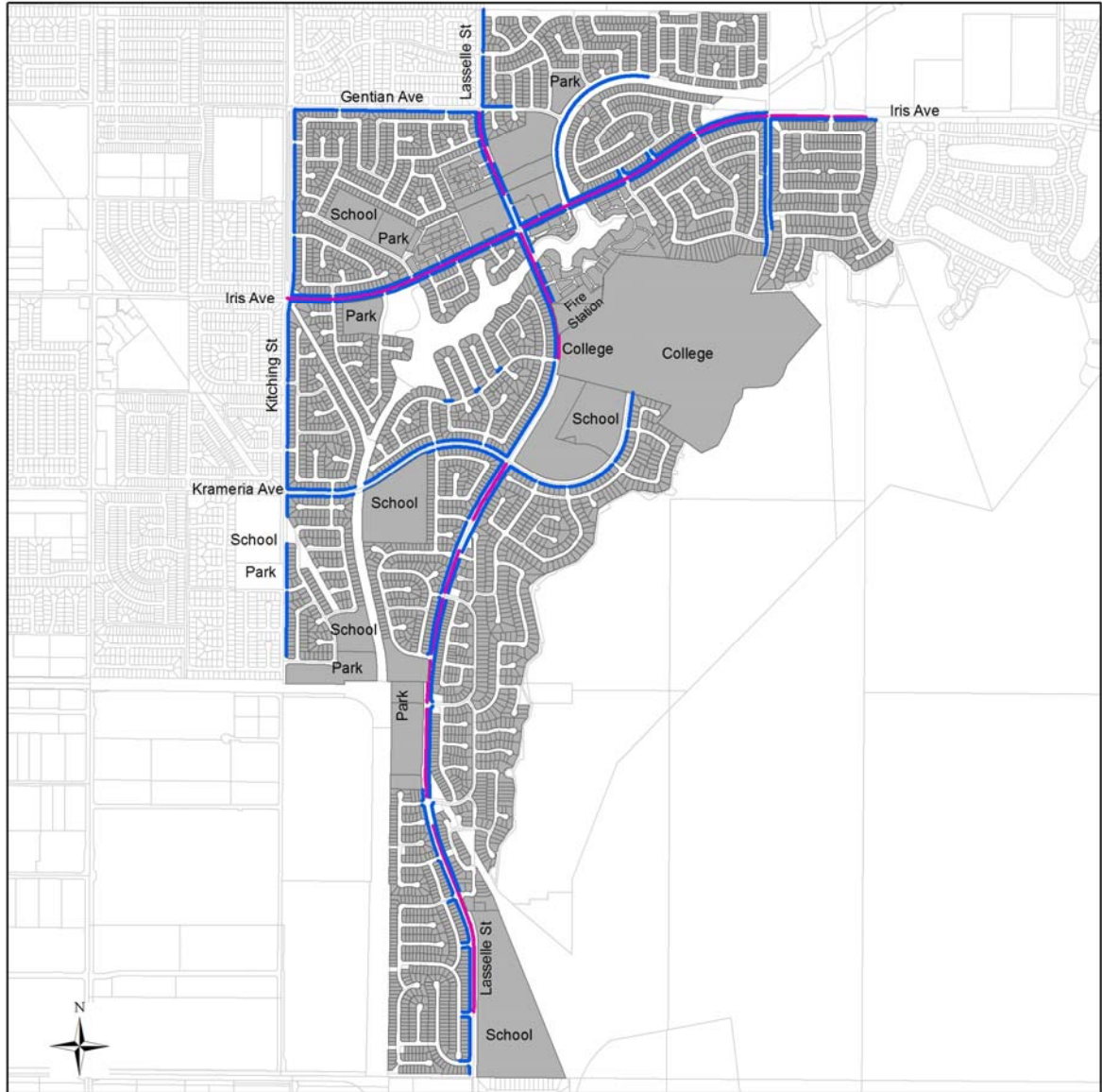
- Landscaped Parkway
- Landscaped Median
- Parcels within the Boundaries of Zone 01A

Moreno Valley Community Services District
Landscape Maintenance District No. 2014-02
Zone 02 (Hidden Springs)



- Landscaped Median
- Landscaped Parkway
- Landscaped Open Space
- Parcels within the Boundaries of Zone 02

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 03 (Moreno Valley Ranch - West)



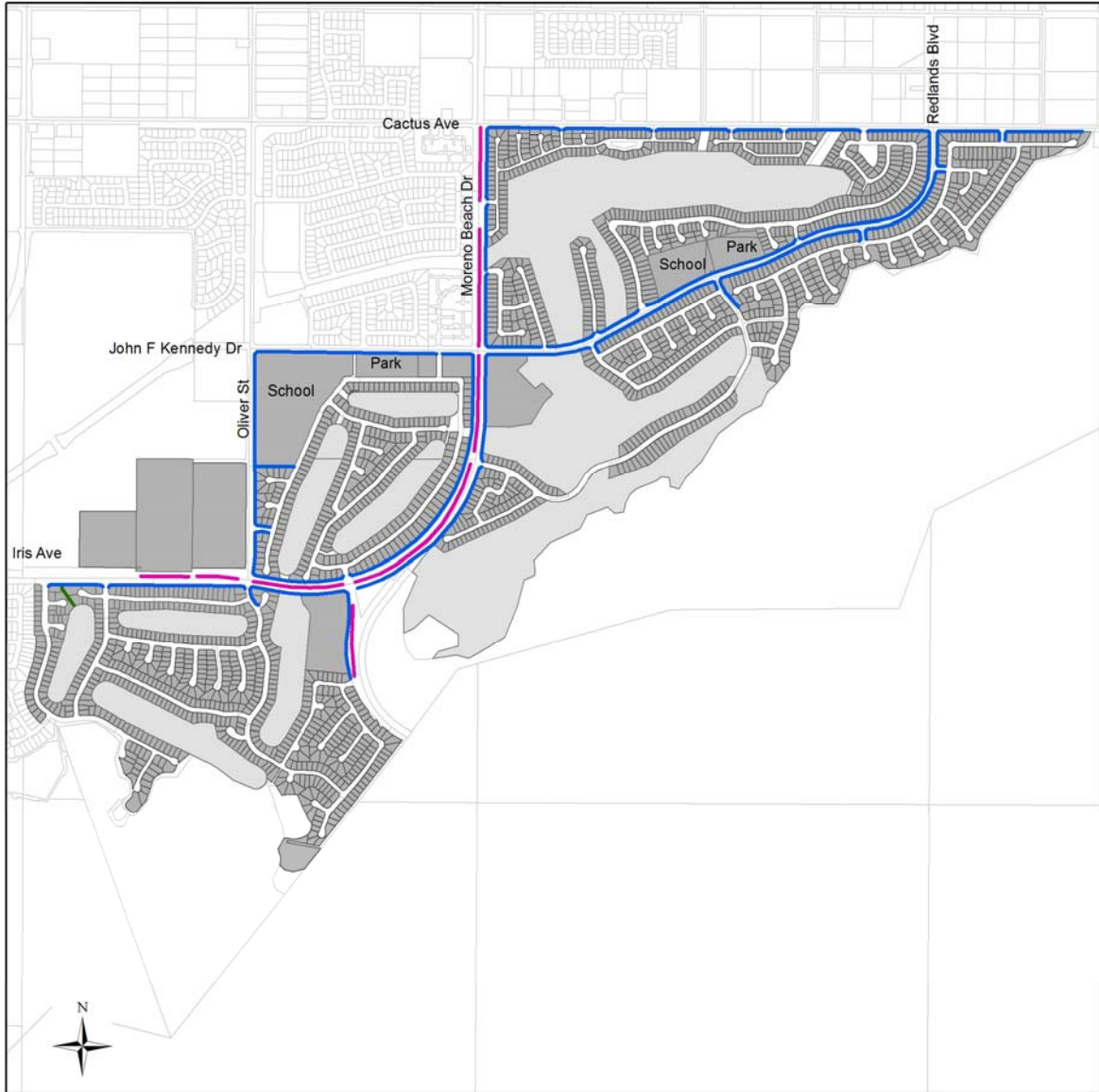
- Landscaped Parkway
- Landscaped Medians
- Parcels within the Boundaries of Zone 03

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 03A (Lasselle Powerline Parkway)



- Landscaped Parkway
- Parcels within the Boundaries of Zone 03A

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 04 (Moreno Valley Ranch - East)



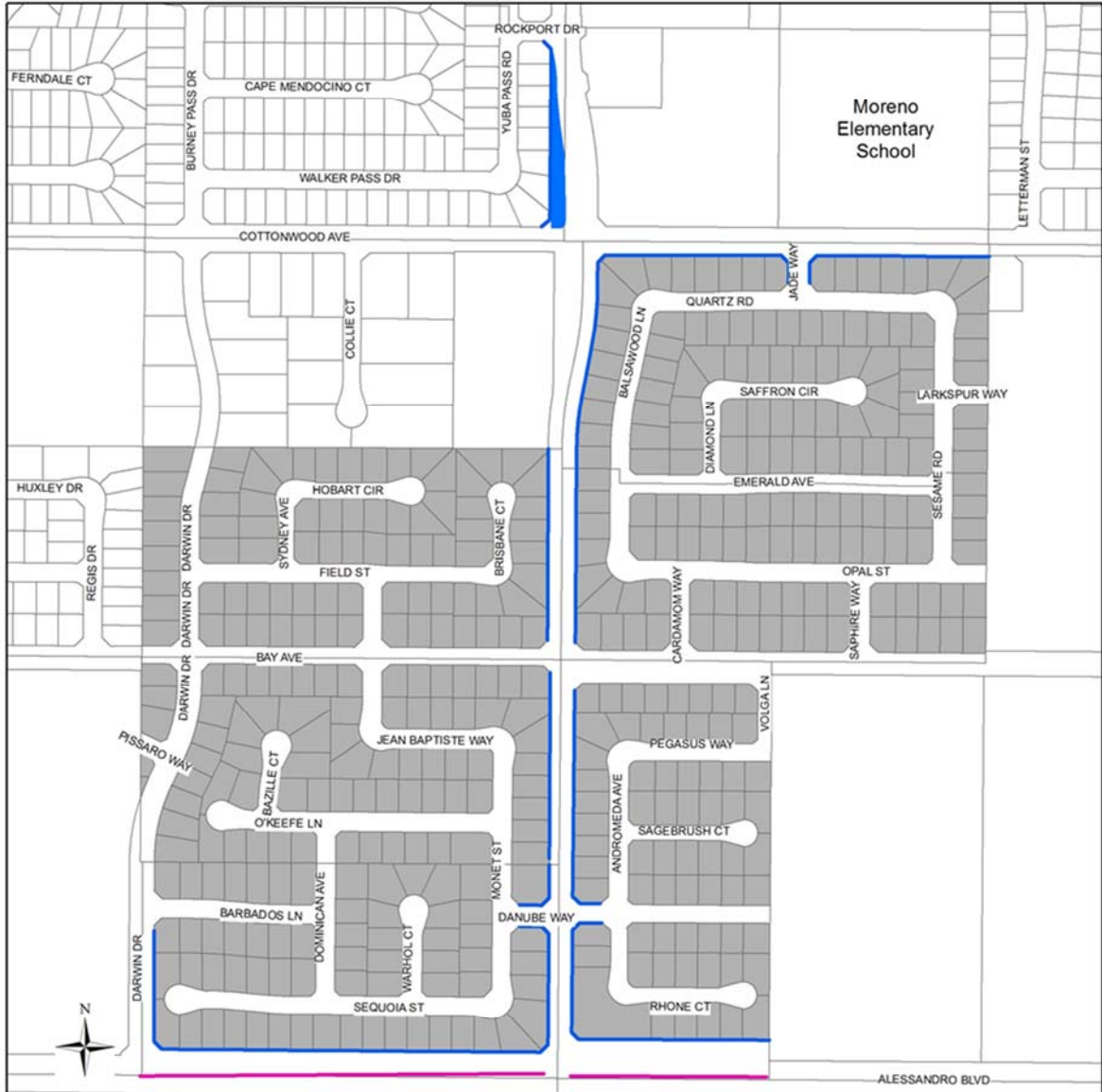
- Landscaped Parkway
- Landscaped Medians
- General Fund Maintained Greenbelt Drainage Area
- Parcels within the Boundaries of Zone 04

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 05 (Stoneridge Ranch)



- Landscaped Parkway
- Landscaped Median
- Parcels within the Boundaries of Zone 05

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 06 (Mahogany Fields)



- Landscaped Parkway
- Landscaped Median
- Parcels within the Boundaries of Zone 06

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 07 (Celebration)



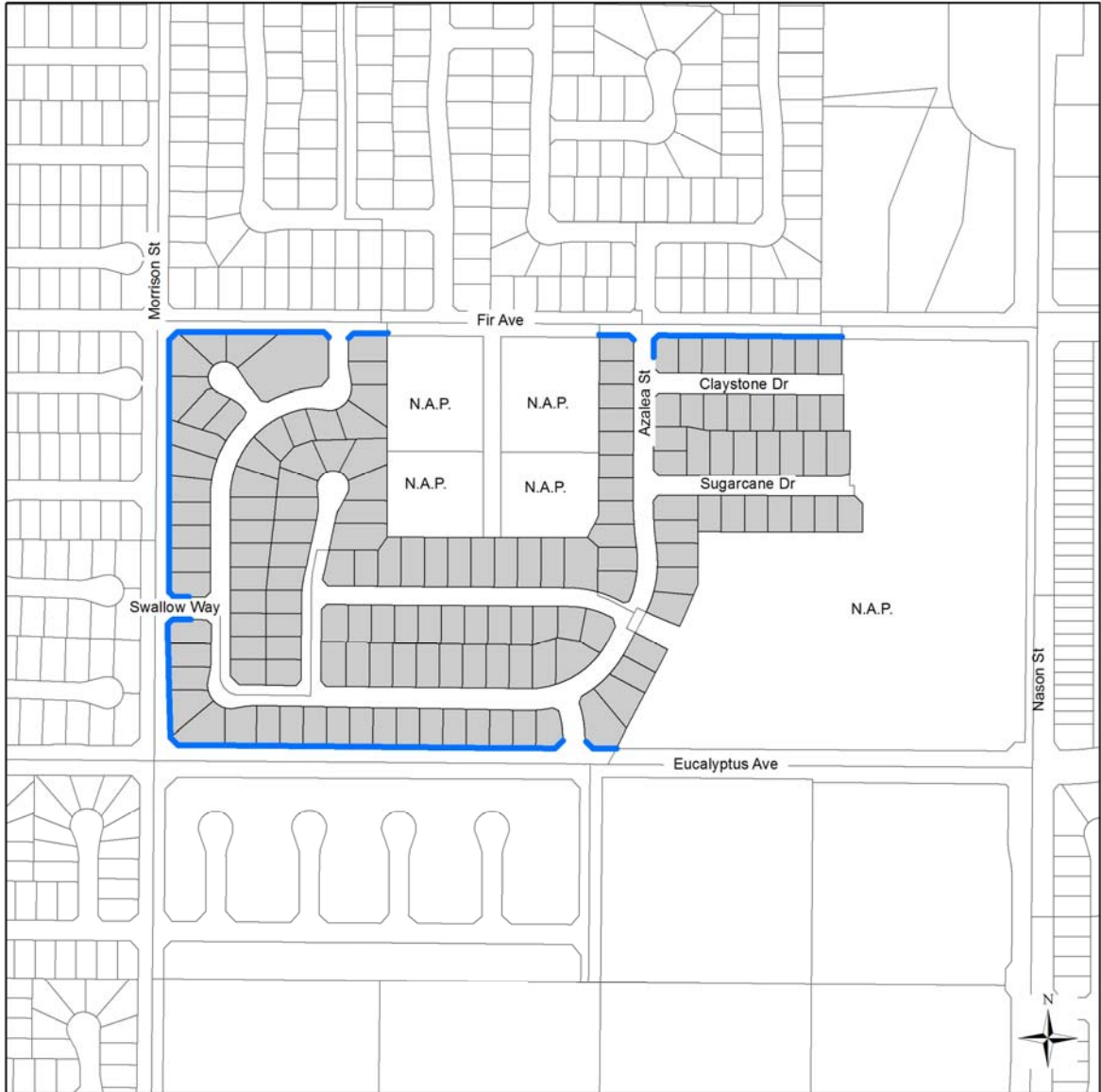
- General Fund Maintained Parkway
- Landscaped Parkway
- Landscaped Median
- Flood Control Channel
- Parcels within the Boundaries of Zone 07

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 08 (Shadow Mountain)



- Landscaped Parkway
- Landscaped Median
- Parcels within the Boundaries of Zone 08

Moreno Valley Community Services District Landscape Maintenance District No. 2014-02 Zone 09 (Savannah)



- Proposed Landscaped Parkway
- Parcels within the Boundaries of Zone 09

PART V - ASSESSMENT ROLL

Parcel identification for each lot or parcel within the District is based on available parcel maps and property data from the Riverside County Assessor's Office. A listing of the Assessor's Parcel Numbers (APNs) to be assessed within this District, along with the corresponding Assessment Amounts to be levied for FY 2018/19 has been provided electronically to the Secretary of the CSD Board (City Clerk). The listing is incorporated herein by reference. The Report can also be found online at the City's website at www.moval.org/sf. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the CSD Board. Please note, totals may not match budget due to rounding.



Report to City Council

TO: Mayor and City Council Acting in its Capacity as President and Members of the Board of Directors of the Moreno Valley Community Services District (CSD)

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL INTO COMMUNITY FACILITIES DISTRICT NO. 1 (PARK MAINTENANCE) — AS ANNEXATION NO. 2018-45

RECOMMENDED ACTION

Recommendation:

1. That the Community Services District (CSD) of the City of Moreno Valley acting as the legislative body of Community Facilities District No. 1 (Park Maintenance) approve and adopt Resolution No. CSD 2018-___, a Resolution of the Board of Directors of the Moreno Valley Community Services District of the City of Moreno Valley, California, ordering the annexation of territory for Annexation No. 2018-45 to its Community Facilities District No. 1 and approving the amended map for said District.

SUMMARY

Approval of the proposed resolution will certify the annexation of one parcel into Community Facilities District (CFD) No. 1 (Park Maintenance) ("District"). This action impacts one property owner, not the general citizens or taxpayers of the City.

The City requires new development to mitigate the cost of certain impacts created by the proposed development, such as the increase in demand on parks created by residential development. As a condition of approval, property owners are required to provide an ongoing funding source for the cost of maintaining parks. The City created CFD No. 1 to provide the development community with a funding mechanism to assist in satisfying the requirement. After the property owner elects to annex their property into the District

and the CSD Board approves the annexation, the City can levy a special tax on the property tax bill(s) of the annexed parcel(s). Revenue generated by the District supports the ongoing maintenance and/or repair of parks, trails, park improvements, and all efforts by Park Rangers for facilities associated with the District.

As a condition of approval for development of their project, Continental East Fund III (the "Property Owner") is required to provide a funding source to maintain parks and has elected to annex the parcel(s) of their project into the District. The Property Owner submitted a Landowner Petition approving the annexation and the City Clerk has confirmed the petition is valid.

DISCUSSION

History

The CSD established zones to fund and account for the costs of specific public services provided by the City to properties receiving benefit from those services. CSD Zone A revenue funds the maintenance of parks, park facilities, and multi-use trails, as well as recreation program services, which serve the residents of Moreno Valley. CSD Zone A's annual parcel tax has remained fixed at \$87.50 per parcel or dwelling unit (for multi-family parcels) since FY 1992/93. Zone A's parcel tax alone is insufficient to fund expenses for the operation and maintenance of both existing and future parks and community services.

On July 8, 2003, the CSD formed CFD No. 1 to fund the maintenance and/or repair of parks, trails, park improvements, and all efforts by Park Rangers related to those park facilities constructed after the District was formed. New residential development projects are required to provide an ongoing funding source to support CFD No. 1 as a condition of approval for the project.

Residential housing Tracts 30924 and 31050 formed the original boundaries of CFD No. 1. Since formation of CFD No. 1, the CSD Board has certified and approved an additional 77 landowner's requests to annex their residential developments into the District.

Annexation to CFD No. 1

At the time CFD No. 1 was formed, the CSD Board authorized a future annexation area boundary to provide a simplified process for the development community to annex into the District. Annexations can occur without additional public hearing as long as the annexing landowner provides unanimous consent. Once annexed, parcels are subject to the annual special tax to fund the benefits they are receiving.

The Property Owner is approved to construct a 125-unit apartment project on the northwest corner of Lasselle St. and Cahuilla Dr. As a condition of approval, the project is required to provide an ongoing funding source for park maintenance. Information for the parcel under development ("Subject Property") is shown in the following table:

Property Owner/Project	APN(s)	Proposed Number of DUs¹	Location
Continental East Fund III PEN17-0159/SCP17-0015 125-unit apartment project	308-040-052	125	Northwest corner of Lasselle St. and Cahuilla Dr.
¹ DU = Dwelling Units (single-family residential lot or dwelling unit for multi-family)			

Property owners have two options to satisfy their condition of approval:

- 1) Submit a landowner petition approving annexation of the Subject Property into the District. Approval of the petition and special tax rate allows the City to annually levy the special tax on the property tax bill(s) of the Subject Property. This option is only available if there are fewer than 12 registered voters living within the proposed annexation area, or.
- 2) Fund an endowment to satisfy the annual requirement.

The Property Owner elected to annex the Subject Property into CFD No. 1 and have the special tax applied to the annual property tax bill. The Office of the Riverside County Registrar of Voters confirmed there were no registered voters residing at the Subject Property, allowing for a special election of the landowner to be conducted. The City Clerk received and reviewed the Property Owner's Landowner Petition and confirmed the Property Owner unanimously approved annexation of the Subject Property into the District. Adoption of the attached resolution (Attachment 1) adds the Subject Property into CFD No. 1 and directs the recordation of the boundary map (Attachment 2) and amended notice of special tax lien for Annexation No. 2018-45.

Successful completion of the annexation process satisfies the project's condition of approval to provide an ongoing funding source for park maintenance.

ALTERNATIVES

1. Adopt the proposed resolution. *Staff recommends this alternative as it will annex the Subject Property into CFD No. 1 at the request of the Property Owner and satisfy the condition of approval for the proposed development.*
2. Do not adopt the proposed resolution. *Staff does not recommend this alternative as it is contrary to the Property Owner's request, will not satisfy the condition of approval, and may delay development of the project.*
3. Do not adopt the proposed resolution but rather continue the item to a future regular CSD Board (City Council) meeting. *Staff does not recommend this alternative as it will delay the Property Owner from satisfying the condition of approval and may delay development of the project.*

FISCAL IMPACT

Revenue received from the special tax is restricted and can only be used to fund the maintenance and operation of CFD No. 1 park facilities and services. The special tax can only be applied to the property tax bill of a parcel wherein the property owner has previously provided approval. The maximum estimated special tax revenue which can be generated from the project is detailed below:

Property Owner/ Project Name	Proposed Number of DUs ^{1,2}	FY 2017/18 Maximum Special Tax ^{2,3}	Estimated FY 2017/18 Maximum Special Tax for the Project
Continental East Fund III 125-unit apartment project	125	\$164.89/DU	\$20,611.25
¹ DU = Dwelling Unit (single-family residential lot or dwelling unit for multi-family). ² Based on the current project description. The special tax will be calculated based on the final development of the project. ³ The special tax applied to the project tax bill will be based on the needs of the District, which can be lower than, but cannot exceed the maximum special tax. The FY 2017/18 applied rate is \$134.36 per DU.			

The maximum special tax rate is subject to an annual inflation adjustment based on the change in Consumer Price Index (CPI) or by two percent (2%), whichever is greater. Each year, the CSD Board must authorize any proposed CPI adjustment prior to the levy of the special tax on the property tax bills. The increase to the maximum special tax rate cannot exceed the annual inflationary adjustment without approval of the qualified electors (landowners or registered voters depending upon the number of registered voters) within the District.

NOTIFICATION

Annexation materials were mailed to the Property Owner on March 15, 2018. A cover letter, Landowner Petition, Rates and Method of Apportionment of Special Tax, and an envelope to return the completed petition were included.

PREPARATION OF STAFF REPORT

Prepared by:
Isa Rojas
Management Analyst

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

Concurred by:
Candace E. Cassel
Special Districts Division Manager

Concurred by:
Patti Solano
Acting Parks & Community Services Director

CITY COUNCIL GOALS

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

Public Facilities and Capital Projects. Ensure that needed public facilities, roadway improvements, and other infrastructure improvements are constructed and maintained.

Positive Environment. Create a positive environment for the development of Moreno Valley's future.

Community Image, Neighborhood Pride and Cleanliness. Promote a sense of community pride and foster an excellent image about our City by developing and executing programs which will result in quality development, enhanced neighborhood preservation efforts, including home rehabilitation and neighborhood restoration.

CITY COUNCIL STRATEGIC PRIORITIES

- 1. Economic Development
- 2. Public Safety
- 3. Library
- 4. Infrastructure
- 5. Beautification, Community Engagement, and Quality of Life
- 6. Youth Programs

Objective 5.2: Promote the installation and maintenance of cost effective, low maintenance landscape, hardscape and other improvements which create a clean, inviting community.

ATTACHMENTS

- 1. Resolution Ordering Annexation 2018-45
- 2. Annexation Map 2018-45
- 3. Certificate of Election Official Annexation 2018-45

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/23/18 5:48 PM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 4:58 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:52 PM

RESOLUTION NO. CSD 2018-____

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, ORDERING THE ANNEXATION OF TERRITORY NO. 2018-45 TO ITS COMMUNITY FACILITIES DISTRICT NO. 1 AND APPROVING THE AMENDED MAP FOR SAID DISTRICT

WHEREAS, by its Resolution No. CSD 2003-23, the Board of Directors of the Moreno Valley Community Services District (the "CSD") established the CSD's Community Facilities District No. 1 (the "CFD") pursuant to the Mello-Roos Community Facilities Act of 1982 (Government Code Section 53311 *et seq.*) (the "Act"); and

WHEREAS, by its Ordinance No. 41, the Board of Directors levied an annual special tax against all non-exempt parcels of real property within the CFD (the "Special Tax") to fund parks and park improvements; and

WHEREAS, by its Resolution No. CSD 2003-26, the Board of Directors designated all territory within the City of Moreno Valley to be a Future Annexation Area for the CFD; and

WHEREAS, pursuant to Resolution No. CSD 2003-26 territory located within the Future Annexation Area may be annexed to the CFD upon the unanimous approval of the owner or owners of each parcel or parcels at the time that the parcel or parcels are annexed, without additional hearings; and

WHEREAS, the landowners of the parcels listed on Exhibit A to this Resolution, which is attached hereto and incorporated herein by reference, have submitted a petition requesting and approving annexation of the listed parcel (the "Annexation Parcel") to the CFD; and

WHEREAS, the boundary map entitled "Annexation Map No. 2018-45 of Community Facilities District No. 1 of the Moreno Valley Community Services District City of Moreno Valley, County of Riverside, State of California," showing the extent of the proposed annexation is included as Exhibit B to this Resolution and incorporated herein by reference (the "Boundary Map"); and

WHEREAS, the Board of Directors desires to annex the Annexation Parcel to the CFD.

NOW, THEREFORE, THE BOARD OF DIRECTORS OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

1
Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

1. Recitals. The above recitals are all true and correct and are herein incorporated.
2. Annexation Ordered. The Annexation Parcel is hereby added to and part of the CFD with full legal effect. The Annexation Parcel is subject to the Special Tax levied in connection with the CFD.
3. Description of Services. The following is a general description of the services provided in the CFD:

The maintenance and/or repair of Parks and Park Improvements including, but not limited to, the planting, replanting, mowing, trimming, irrigation and fertilization of grass, trees, shrubs, and other ornamental plants and vegetation, the operation, maintenance, repair, and replacement of irrigation systems associated with Parks and Park Improvements, and all the effort by Park Rangers that is devoted to the maintenance of the Parks and Park Improvements and public safety. "Parks and Park Improvement" means parks and park improvements which are to be developed, constructed, installed, and maintained within and in the area of the CSD and which will be owned and operated by the CSD for the benefit of the residents of the CFD.

Such maintenance shall include, but not be limited to, the provision of all labor, material, administration, personnel, equipment and utilities necessary to maintain such Parks and Park Improvements.

It is the intention of the Board of Directors to fund all direct, administrative and incidental annual costs and expenses necessary to provide the authorized maintenance and services.

4. Amended Boundary Map. The Boundary Map attached hereto as Exhibit B is hereby approved. This map amends, and does not supersede, the existing map of the CFD. The City Council directs that said map be filed with the Riverside County Recorder pursuant to Section 3113 of the Streets and Highways Code.
5. Notice of Special Tax Lien. The City Council directs that an amended notice of special tax lien be recorded pursuant to Section 3117.5 of the Streets and Highways Code with respect to the Annexation Parcel associated with the Boundary Map.
6. Severability. That should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this resolution as hereby adopted shall remain in full force and effect.
7. This Resolution shall be effective immediately upon adoption.
8. The City Clerk shall certify to the adoption of this Resolution, and shall maintain on

2
Resolution No. CSD 2018-____
Date Adopted: May 1, 2018

file as a public record this Resolution.

APPROVED AND ADOPTED this 1st day of May, 2018.

Mayor of the City of Moreno Valley,
Acting in the capacity of President of the
Moreno Valley Community Services District

ATTEST:

City Clerk, acting in the capacity of
Secretary of the Moreno Valley
Community Services District

APPROVED AS TO FORM:

City Attorney, acting in the capacity
of General Counsel of the Moreno
Valley Community Services District

Resolution No. CSD 2018- 3
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation 2018-45 [Revision 1] (3049 : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL

RESOLUTION JURAT

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

I, Pat Jacquez-Nares, Secretary of the Moreno Valley Community Services District, Moreno Valley, California do hereby certify that Resolution No. CSD 2018-____ was duly and regularly adopted by the Board of Directors of the Moreno Valley Community Services District at a regular meeting held on the 1st day of May, 2018, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

(Boardmembers, Vice-President and President)

SECRETARY

(SEAL)

Resolution No. CSD 2018-____⁴
Date Adopted: May 1, 2018

Attachment: Resolution Ordering Annexation 2018-45 [Revision 1] (3049 : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL

EXHIBIT A

List of Annexation Parcel(s)

Annexation Map No.	Assessor's Parcel Numbers
2018-45	308-040-052

Attachment: Resolution Ordering Annexation 2018-45 [Revision 1] (3049 : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL

Resolution No. CSD 2018-5
Date Adopted: May 1, 2018

EXHIBIT B
Annexation Map No. 2018-45

SHEET 1 OF 1

**ANNEXATION MAP NO. 2018-45 OF
COMMUNITY FACILITIES DISTRICT NO. 1**

OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY OF MORENO VALLEY
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	308-040-052

VICINITY MAP

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____ 201__

CITY CLERK, ACTING IN THE CAPACITY OF THE SECRETARY OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES OF ANNEXATION NO. 2018-45 TO COMMUNITY FACILITIES DISTRICT NO. 1 OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT, CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA WAS APPROVED BY THE BOARD OF DIRECTORS OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT AT A REGULAR MEETING THEREOF, HELD ON THE _____ DAY OF _____, 201__, BY ITS RESOLUTION NO. _____

CITY CLERK, ACTING IN THE CAPACITY OF THE SECRETARY OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY OF MORENO VALLEY

FILED THIS _____ DAY OF _____ 201__
AT THE HOUR OF _____ O'CLOCK _____ M IN BOOK _____ PAGE(S) _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICT AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 1 OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT, CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON JULY 17, 2003 IN BOOK 53 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGES 48 THROUGH 45 AS INSTRUMENT NO. 2003-04246

THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.

Legend

MAP REFERENCE NUMBER

CFD No. 1 Annexation 2018-45

1 inch = 168 feet

WILLDAN
FINANCIAL SERVICES

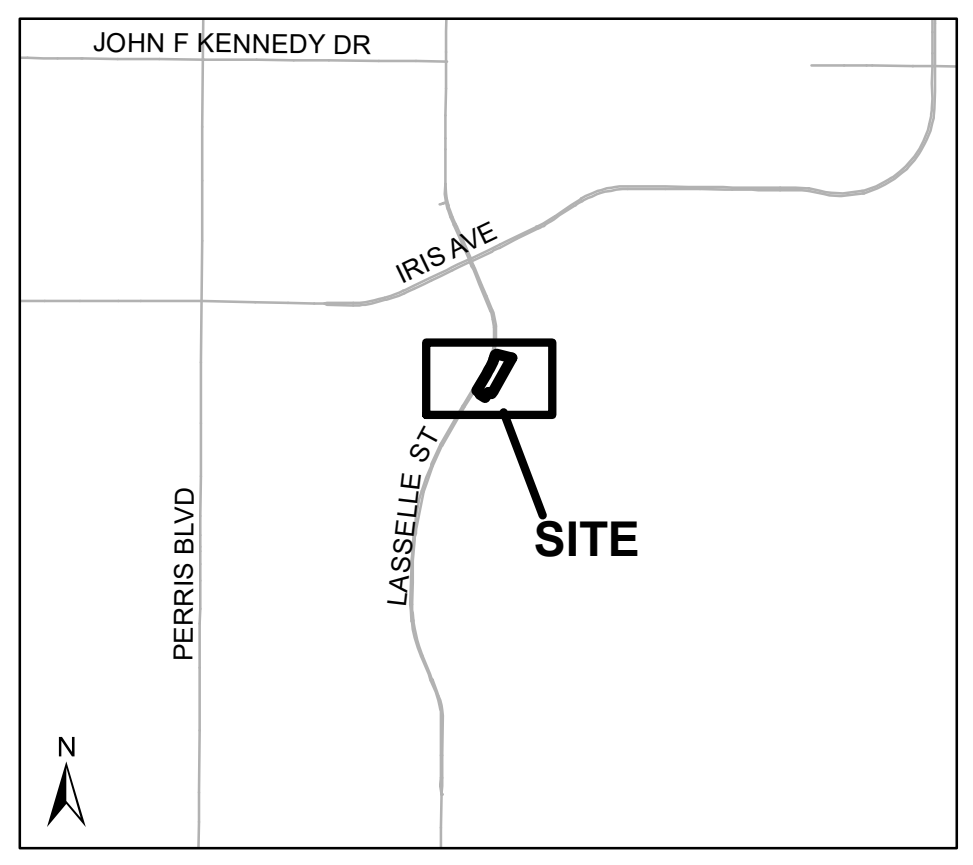
2788 Via Industria, Suite 200
San Jose, CA 95128
(408) 537-3633

Attachment: Resolution Ordering Annexation 2018-45 [Revision 1] (3049 : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL

ANNEXATION MAP NO. 2018-45 OF COMMUNITY FACILITIES DISTRICT NO. 1

OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT
CITY OF MORENO VALLEY
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

VICINITY MAP



MAP REFERENCE NUMBER	ASSESSOR'S PARCEL NUMBER
1	308-040-052

FILED IN THE OFFICE OF THE CITY CLERK THIS _____ DAY OF _____, 201____.

CITY CLERK, ACTING IN THE CAPACITY OF THE SECRETARY OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT

CITY OF MORENO VALLEY

I HEREBY CERTIFY THAT THE WITHIN MAP SHOWING PROPOSED BOUNDARIES OF ANNEXATION NO. 2018-45 TO COMMUNITY FACILITIES DISTRICT NO. 1 OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT, CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA WAS APPROVED BY THE BOARD OF DIRECTORS OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT AT A REGULAR MEETING THEREOF, HELD ON THE _____ DAY OF _____, 201____. BY ITS RESOLUTION NO. _____.

CITY CLERK, ACTING IN THE CAPACITY OF THE SECRETARY OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT

CITY OF MORENO VALLEY

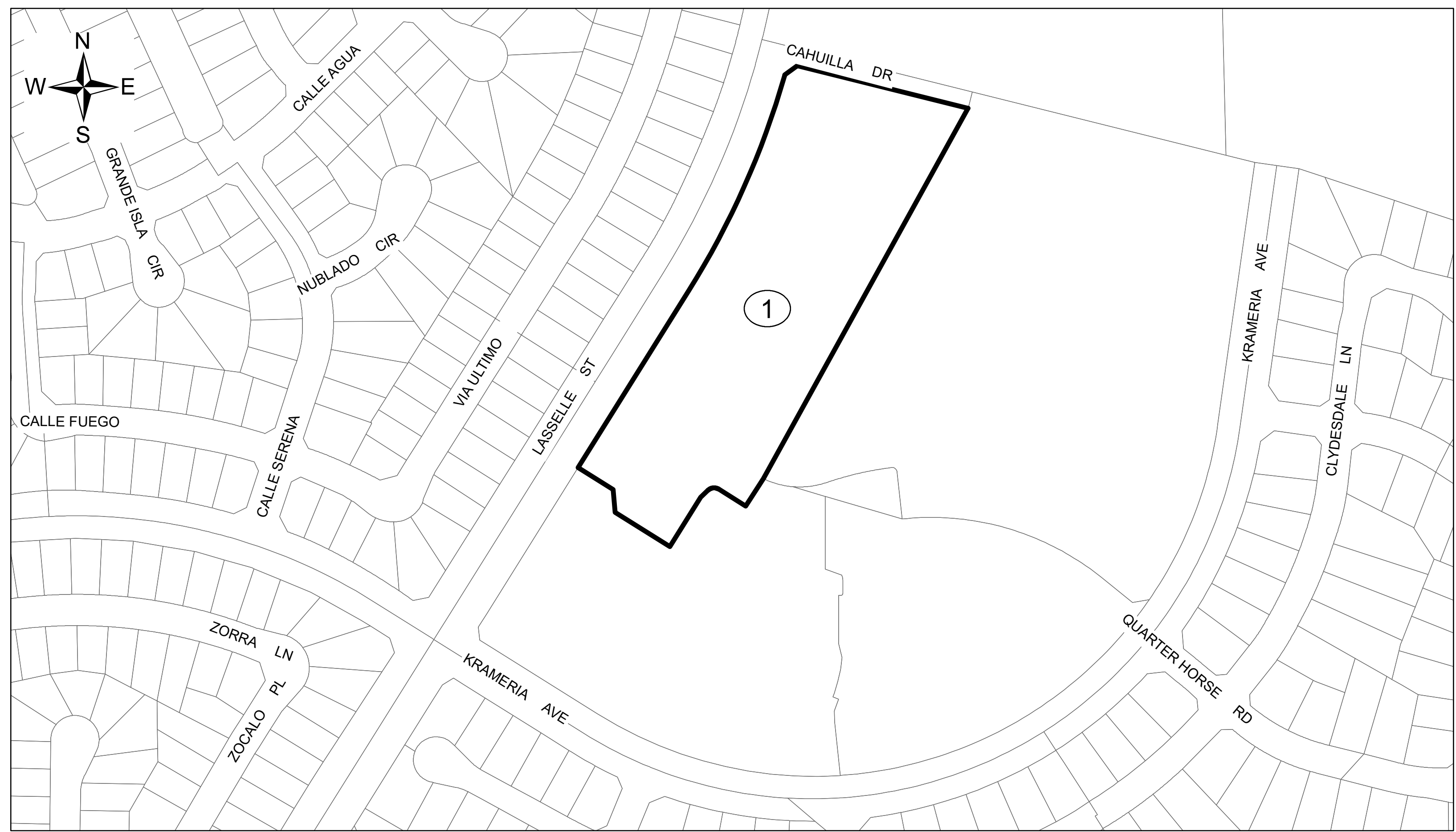
FILED THIS _____ DAY OF _____, 201____, AT THE HOUR OF _____ O'CLOCK _____ M. IN BOOK _____ PAGE(S) _____ OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICT AND INSTRUMENT NO. _____ IN THE OFFICE OF THE COUNTY RECORDER IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

COUNTY RECORDER
COUNTY OF RIVERSIDE
STATE OF CALIFORNIA

REFERENCE IS MADE TO THAT BOUNDARY MAP OF THE COMMUNITY FACILITIES DISTRICT NO. 1 OF THE MORENO VALLEY COMMUNITY SERVICES DISTRICT, CITY OF MORENO VALLEY RECORDED WITH THE RIVERSIDE COUNTY RECORDER'S OFFICE ON JULY 17, 2003 IN BOOK 53 OF MAPS OF ASSESSMENT AND COMMUNITY FACILITIES DISTRICTS, PAGES 46 THROUGH 48 AS INSTRUMENT NO. 2003-534249.

THE LINES AND DIMENSIONS OF EACH LOT OR PARCEL SHOWN ON THIS DIAGRAM SHALL BE THOSE LINES AND DIMENSIONS AS SHOWN ON THE RIVERSIDE COUNTY ASSESSOR'S MAPS FOR THOSE PARCELS LISTED.

THE RIVERSIDE COUNTY ASSESSOR'S MAPS SHALL GOVERN FOR ALL DETAILS CONCERNING THE LINES AND DIMENSIONS OF SUCH LOTS OR PARCELS.



Legend

- MAP REFERENCE NUMBER
 - CFD No. 1 Annexation 2018-45
- 1 inch = 168 feet



27368 Via Industria, Suite 200
Temecula, CA 92590
(951) 587-3500

Attachment: Annexation Map 2018-45 (3049) : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL INTO COMMUNITY FACILITIES DISTRICT NO. 1 (PARK MA)

**CERTIFICATE OF ELECTION OFFICIAL
AND STATEMENT OF VOTES CAST**

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF MORENO VALLEY)

The undersigned, Election Official of the City of Moreno Valley, County of Riverside, State of California, Does Hereby Certify that on April 12, 2018, I did verify the completeness of the Landowner Petition for the annexation of property into

COMMUNITY FACILITIES DISTRICT NO. 1 OF THE
MORENO VALLEY COMMUNITY SERVICES DISTRICT
OF THE CITY OF MORENO VALLEY

ANNEXATION NO. 2018-45

WITNESS my hand this 12th day of April, 2018.

for Regina Flores
SECRETARY OF THE BOARD OF DIRECTORS
ELECTION OFFICIAL
MORENO VALLEY COMMUNITY SERVICES
DISTRICT OF THE CITY OF MORENO VALLEY
STATE OF CALIFORNIA

Attachment: Certificate of Election Official Annexation 2018-45 (3049 : PURSUANT TO A LANDOWNER PETITION, ANNEX ONE PARCEL INTO



Report to City Council

TO: Mayor and City Council

FROM: Marshall Eyerman, Chief Financial Officer

AGENDA DATE: May 1, 2018

TITLE: PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-2022/23 AND THE ANNUAL ACTION PLAN FOR FISCAL YEAR 2018/19

RECOMMENDED ACTION

Recommendations: That the City Council:

1. Conduct a Public Hearing for the Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG) Programs to allow the public an opportunity to comment on (1) the FY 2018/19-2022/23 Consolidated Plan and (2) the 2018/19 Annual Action Plan.
2. Approve the Annual Action Plan (2018/19) as an application to the U.S. Department of Housing and Urban Development (HUD) for funding under the federal CDBG, HOME, and ESG programs with Council amendments, if any.
3. Adopt (1) the FY 2018/19-2022/23 Consolidated Plan and (2) the 2018/19 Annual Action Plan.

SUMMARY

The U.S. Department of Housing and Urban Development (HUD) requires that the grantee cities, such as Moreno Valley, prepare (1) a Consolidated Plan every five years and (2) an Annual Action Plan every year as a condition to receiving federal funding under the Community Development Block Grant (CDBG), HOME Investment Partnerships (HOME), and Emergency Solutions Grants (ESG) Programs.

The Consolidated Plan is a planning document that covers a five-year period between July 1, 2018 and June 30, 2023 and establishes the City's strategies for addressing low- and moderate-income needs of the community, as defined by HUD regulations.

The Annual Action Plan identifies how the CDBG, HOME, and ESG Programs funds will be utilized to provide programs and projects that benefit low- and moderate-income households and neighborhoods in the City. It also serves as the City's official grant application to HUD. Normally, the Action Plan must be submitted no later than 45 days prior to the start of the fiscal year (FY). The activities recommended under CDBG, HOME, and ESG are summarized in Attachment 3.

As of the date of this report, the final allocations from HUD have not been released. Upon receipt of the final allocations if there are any changes to the anticipated allocations from HUD, the City will allocate the adjusted amount of actual award as outlined in Attachment 3 per each HUD award.

DISCUSSION

Consolidated Plan

Attachment 1 to this report is the proposed Consolidated Plan for FY 2018/19-2022/23. The Consolidated Plan provides the City with a five-year strategic plan for addressing housing, homelessness, special needs, and community and economic development activities in the City. The Consolidated Plan provides four functions including (1) the development of a planning document that encourages citizen participation, (2) a consolidated application to HUD, (3) a strategy to be followed in carrying out HUD programs, and (4) an action plan that provides a basis for assessing performance. The Consolidated Plan matches the community needs with identified implementation strategies and available resources to address those needs.

Annual Action Plan

Attachment 2 to this report is the Annual Action Plan proposed for Council consideration which specifically identifies how Moreno Valley will allocate CDBG, HOME, and ESG funds for the upcoming year. The 2018/19 Action Plan serves as the first annual update to the City's five-year Consolidated Plan (2018/19-2022/23). Tonight's Public Hearing represents the last Public Hearing in a series of meetings conducted under the City's Citizen Participation Plan.

Citizen Participation

Citizen participation for the development of the Consolidated Plan and Annual Action Plan was accomplished through a series of public notices, announcements, public meetings, and public hearings. City staff conducted meetings with residents and non-profit organizations to solicit input on the community's needs. Public hearings were conducted to determine priority needs, review funding applications, and approve the 5-Year Consolidated Plan (FY 2018/2019 to FY 2022/2023) and the Annual Action Plan (FY 2018/2019).

The City Council established CDBG funding priorities at the November 28, 2017,

meeting. The first review of the initial funding recommendations occurred on March 27, 2018. The City Council approved the project selections for inclusion in the 2018/19 Action Plan on April 17, 2018. In conformance with HUD requirements, a draft Annual Action Plan was made available for a 30-day public review from March 30, 2018 through May 1, 2018. As of the date of this report, no public comments have been received. The following provides a summary of the events that have occurred during the application process:

- November 28, 2017 Public Meeting #1 - Finance Subcommittee review of grant policies and objectives
- December 19, 2017 Public Hearing #1 - City Council Public Hearing to review Policies and Objectives and to collect community needs and comments
- December 28, 2017 Notification of Notice of Funding Available (NOFA) posted in the Press Enterprise and by City Clerk in various satellite locations
- January 2-5, 2018 Application sent by email to interested parties; Application made available on City website
- January 11, 2018 Community Meeting - In-Person Application Workshop held
- January 31, 2018 Application submittal deadline
- March 27, 2018 Public Meeting #2 - Technical Review Committee Meeting held during the Finance Subcommittee meeting for applicants to provide application summaries and receive public comments
- April 17, 2018 Public Hearing #2 - City Council Public Hearing to review and consider project selections

The following provides a summary of the events that are scheduled to occur during the continued application process:

- May 1, 2018 Public Hearing #3 - City Council Public Hearing to approve Consolidated Plan and FY 18/19 Annual Action Plan and close of public comment / review period
- May 15, 2018 Estimated date for submittal of Approved Consolidated Plan and FY 18/19 Annual Action Plan to HUD.

Community Development Block Grant (CDBG) – Grant Purpose

The Community Development Block Grant (CDBG) Program is authorized by Title I of the Housing and Community Development Act of 1974, as amended. The primary objective of the CDBG program is to develop viable urban communities by providing decent housing, a suitable living environment, and expanded economic opportunities, principally for persons of low and moderate income.

The CDBG objective is to be achieved in two ways: First, a grantee can only use funds to assist eligible activities that meet one of three national objectives of the program:

- Benefit low- and moderate-income persons,
- Aid in the prevention or elimination of slums and blight, or
- Meet community development needs having a particular urgency.

Second, at least 70 percent of funds must be spent (over a period of up to 3 years) for activities that address the national objective of benefiting low- and moderate-income persons.

Community Development Block Grant (CDBG) – Funding and Limitations

Fiscal Year 2018/2019 Estimated Allocation	Funding Allocation
Planning and Administration Cap (20% of annual grant)	\$388,183.20
Public Services Cap (15% of annual grant)	291,137.40
Available for Other Activities (65% of annual grant)	1,261,595.40
TOTAL Estimated Allocation	\$1,940,916.00

A summary of application, funding request, and activities recommended under the CDBG program is summarized in Attachment 3.

HOME Investment Partnership (HOME) – Grant Purpose

The Home Investment Partnership Program was established by the Title II of the Cranston-Gonzalez National Affordable Housing Act. The objectives of the HOME Program include:

- Expanding the supply of decent and affordable housing, particularly housing for low- and very low-income Americans;
- Strengthening the abilities of State and local governments to design and implement strategies for achieving adequate supplies of decent, affordable housing;
- Providing financial and technical assistance to participating jurisdictions, including the development of model programs for affordable low-income housing; and
- Extending and strengthening partnerships among all levels of government and the private sector, including for-profit and non-profit organizations, in the production and operation of affordable housing.

HOME Investment Partnership (HOME) – Funding and Limitations

Fiscal Year 2018/2019 Estimated Allocation	Funding Allocation
Planning and Administration Cap (10% of annual grant)	\$53,330.10
Mandatory CHDO set-aside (15% of annual grant)	79,995.15
Available for Other Activities	399,975.75
TOTAL Estimated Allocation	\$533,301.00

Emergency Solutions Grant (ESG) – Grant Purpose

The ESG program is issued to assist, protect, and improve living conditions for the homeless. The program provides funding to:

- Engage homeless individuals and families living on the street;
- Improve the number and quality of emergency shelters for homeless individuals and families;
- Help operate these shelters;
- Provide essential services to shelter residents,
- Rapidly re-house homeless individuals and families, and
- Prevent families/individuals from becoming homeless.

Emergency Solutions Grant (ESG) – Funding and Limitations

Fiscal Year 2018/2019 Estimated Allocation	Funding Allocation
Planning and Administration Cap (7.5% of annual grant)	\$13,050.15
Available for Other Activities	160,951.85*
TOTAL Estimated Allocation	\$174,002.00

*The City will have approximately \$42,739 of prior-year uncommitted funds to utilize on other activities.

As part of our application process, the City has contracted Willdan Financial Services to collaborate with City Staff and Officials, as the Technical Review Committee for the CDBG, HOME, and ESG project selections. The draft report of the application review with funding recommendations is attached (Attachment 3).

ALTERNATIVES

The Council has the following alternatives:

1. Conduct a public hearing, provide City Council modifications, if any, and adopt the Consolidated Plan and Annual Action Plan. *Staff recommends this alternative*

as it will allow the Consolidated Plan and Annual Action Plan to be submitted per HUD's instructions and be the federal deadline.

2. Do not conduct a public hearing providing the public with an opportunity to comment on the proposed Consolidated Plan and Annual Action Plan and NOT approve the FY 2018/19-2022/23 Consolidated Plan and FY 2018/19 Annual Action Plan. *Staff does not recommend this alternative as it would result in the City not meeting HUD's established deadline for submission of these documents.*

FISCAL IMPACT

Expenses for these programs are reimbursed by the Federal grants. The ESG program requires a 100% match which will be met by the City's ESG subrecipients. Based on the recommended actions, there is no impact to the General Fund.

NOTIFICATION

Notice of this meeting was published in the Press-Enterprise newspaper on March 29, 2018. Additional notification was available through the City's website and directly e-mailed to those who applied for funding.

PREPARATION OF STAFF REPORT

Prepared By:
Dena Heald
Financial Operations Division Manager

Department Head Approval:
Marshall Eyerman
Chief Financial Officer

CITY COUNCIL GOALS

None

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

ATTACHMENTS

1. Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT
2. Action Plan - FY18/19 - DRAFT
3. FY18-19 CDBG, ESG and HOME Funding Recommendations

- 4. Eligible & Ineligible Grant Activities
- 5. CDBG Target Areas

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/20/18 11:03 AM
City Attorney Approval	<u>✓ Approved</u>	4/20/18 9:43 AM
City Manager Approval	<u>✓ Approved</u>	4/23/18 5:27 PM



CITY OF MORENO VALLEY
CONSOLIDATED PLAN
2018 – 2023

Plan Effective: July 1, 2018 – June 30, 2023

City of Moreno Valley
14177 Frederick St. PO Box 88005
Moreno Valley, CA 92552-0805
PH: 951.413.3450 Email: np@moval.org

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City of Moreno Valley Draft Consolidated Plan

Executive Summary

ES-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

Moreno Valley is characterized by a beautiful valley bounded by mountains and hills on three sides. The city limits are bounded on the north by the Box Springs Mountains. The gullied hills of the Badlands lie to the east. The mountains of the Lake Perris Recreation Area, the floodplain of Mystic Lake and the San Jacinto Wildlife Area and level terrain in the City of Perris are located to the south. Gently sloping terrain lies west of the city limits within March Air Reserve Base, the City of Riverside and the County of Riverside.

Moreno Valley is located approximately 52 miles east of downtown Los Angeles and 42 miles west of Palm Springs. The City is located near the eastern edge of the Los Angeles metropolitan area. Moreno Valley is situated along two major freeways. The Moreno Valley Freeway (State Route 60) connects directly to downtown Los Angeles and the regional freeway system. State Route 60 connects to Orange County via the Riverside Freeway (State Route 91). To the east, State Route 60 connects with Interstate 10, running to Palm Springs, Phoenix, and beyond. Interstate 215 runs by the westerly city limits, and is an important north-south link from San Diego through western Riverside and San Bernardino counties and beyond.

The Pass, or more specifically the San Gorgonio Pass Area, provides a passage between Moreno Valley and the desert areas to the east located in Coachella Valley. The Pass is a distinctive geographical area between the Coachella, San Jacinto, and Moreno Valley's. The Pass derives its name from its location: the narrow gap between two of southern California's most spectacular mountain ranges - the San Bernardino and San Jacinto Mountains. These two ranges are accented by the distinctive San Gorgonio Mountain on the north, reaching to an elevation of 11,485 feet, and the southerly Mount San Jacinto, at a height of 10,831 feet.

The Consolidated Plan is a five-year community development plan covering the period July 1, 2018 to June 30, 2023. The plan outlines the community's needs, the strategies for addressing those needs, citizen participation and a one-year action plan (which will be updated annually). As a recipient of Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG) funds the City is required to prepare a Consolidated Plan. The Plan must be submitted to the U.S. Department of Housing and Urban Development (HUD). The Consolidated Plan serves four functions. These functions include the development of a planning document that encourages citizen participation, a consolidated application to HUD, a strategy to be followed in carrying out HUD programs, and an action plan that provides a basis for assessing performance.

2. Summary of the objectives and outcomes identified in the Plan Needs Assessment Overview

The overall goals of the CDBG, HOME and ESG Programs, as included in the Consolidated Plan, are to develop viable urban communities by providing (1) decent housing, (2) a suitable living environment and (3) expanded economic opportunities principally for low and moderate-income persons.

Decent housing includes assisting homeless persons, retention of the affordable housing stock, increasing the availability of permanent housing in standard condition and affordable cost to low-income and moderate-income persons.

A suitable living environment includes improving the safety and livability of neighborhoods, increasing access to quality public and private facilities and services, and the revitalization of deteriorating or deteriorated neighborhoods.

Expanded economic opportunities include job creation and retention, as well as establishment, stabilization and expansion of small businesses. The primary means towards this end is to extend and strengthen partnerships among all levels of government and the private sector, including for-profit and non-profit organizations, in the production and operation of affordable housing.

3. Evaluation of past performance

The description of past performance is based on the most recent available data which includes the period from FY 2013/2014 thru FY 2016/2017. During this period, Moreno Valley was committed to maximizing existing resources and opportunities to achieve a better quality of life for its low-to-moderate income residents. At the end of the 2013-18 Consolidated Plan the City anticipates significant accomplishments resulting from the expenditure of CDBG, HOME and ESG funds.

Homeless Strategy: 5-YR Goal: To assist 2,500 homeless persons and persons threatened with homelessness with housing and public service activities. Thus far, 1,163 persons have been assisted: homeless prevention has assisted 563 persons; overnight shelter has assisted 355 persons; tenant-based rental assistance/rapid re-housing has assisted 85 persons; and public service activities have assisted 160 persons. Approximately 50% of the five-year goal has been achieved during the first four years of the ConPlan period.

Special Needs Strategy: 5-YR Goal: Assist 15,000 special needs persons, including the elderly and disabled, with housing and public services. Thus far, 16,937 persons have been assisted through public service activities. The 5-year goal was exceeded in the first four years of the ConPlan period.

Housing Strategy: 5-YR Goals: Rehabilitate or construct 175 housing units; create homeownership opportunities for 5 low-to-moderate income residents; provide proactive code enforcement in the CDBG target areas to 5000 households; and provide fair housing and landlord/tenant services to educate and assist 2500 households on their rights and responsibilities. Thus far, 37 rental housing units have been constructed and 73 housing units have been rehabilitated. Almost 63% of the 5-year goal was attained during the first three years of the ConPlan period. The homeownership goal was exceeded as 14 households have been assisted. Proactive code enforcement has assisted 4,160 households/housing units. The fair housing goal of assisting 2,500 households was exceeded.

Community and Economic Development Strategy: 5-YR Goals: To assist 125 low and moderate income individuals with employment training and placement services; construct infrastructure improvements that will assist 250 parcels located within CDBG Target Areas; and to assist 50,000 low-to-moderate income residents with non-housing public service activities. Assistance was provided to 101 business and 122 jobs have been created or retained. Public service activities have assisted more than 120,000 persons; therefore, the five-year goal was greatly exceeded.

4. Summary of citizen participation process and consultation process

Citizen participation for the development of the Consolidated Plan and Annual Action Plan was accomplished through a series of public notices, announcements, public meetings and public hearings. City staff conducted meetings with residents and non-profit organizations to solicit input on the community's needs. Public hearings were conducted to determine priority needs, review funding applications, and approve the 5-Year Consolidated Plan (FY 2018/2019 to FY 2022/2023) and the Annual Action Plan (FY 2018/2019). In addition, the public was provided a 30-day period to review and comment on the Draft Consolidated Plan/Annual Action Plan. The citizen participation outreach effort is described in greater detail in part PR-15 Citizen Participation.

5. Summary of public comments

To be added following the 30-day public review period which ends on May 1, 2018.

6. Summary of comments or views not accepted and the reasons for not accepting them

To be added following the 30-day public review period which ends on May 1, 2018.

7. Summary

The City of Moreno Valley has undertaken diligent and good faith efforts in outreaching to all segments of the community that may benefit from the CDBG, HOME and ESG Programs.

The Process

PR-05 Lead & Responsible Agencies 24 CFR 91.200(b)

1. Describe agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source

The following are the agencies/entities responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
Lead Agency	MORENO VALLEY	
CDBG Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
HOPWA Administrator		
HOME Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
ESG Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
HOPWA-C Administrator		

Table 1 – Responsible Agencies

Narrative

Consolidated Plan Public Contact Information

Dena Heald
 Financial Operations Division Manager
 Financial & Management Services
 City of Moreno Valley
 14177 Frederick Street
 Moreno Valley, CA 92553
 951.413.3063
 denah@moval.org

PR-10 Consultation - 91.100, 91.200(b), 91.215(I)

1. Introduction

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I)).

City staff works closely with outside agencies in both the public and private sectors. Through working with nonprofit agencies and other public institutions, the City hopes to achieve all the goals set forth in the Consolidated Plan.

The City enjoys a cooperative relationship with surrounding jurisdictions and agencies, as well as nonprofit organizations. The City meets on a regular basis with the Riverside County Department of Public Social Services as part of the Continuum of Care process. The City utilizes a variety of nonprofit organizations to address community needs, such as homelessness, special needs, fair housing and food distribution services. In addition, the City also works with state and federal agencies through several grant programs to facilitate services and programs, which meet housing and safety needs in the community.

As a result of cooperation with surrounding jurisdictions, the City has been able to address a wide variety of community needs including housing rehabilitation, housing programs, public services, and public safety. To facilitate the coordination and cooperation, the City will continue to work with these entities through meetings, correspondence, and joint endeavors.

The City has been and will continue to be supportive of direct applications for funds from housing providers as well as local Community Housing and Development Organizations (CHDO's) and other entities. In addition, the City will continue to support funding applications for local nonprofit service providers.

The City hopes to work with resources available through affordable housing financial institutions. These private businesses will be included in the annual plans as applicable. Also, the City will work with businesses that provide loans to high risk small businesses for the purpose of creating and/or retaining jobs.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness

The City participates in the Riverside County Continuum of Care (CoC). The CoC consists of local government agencies as well as non-profit agencies that work together to address homeless issues in the region. Funding is provided to local public and non-profit agencies to provide homeless services and shelter. Monthly and quarterly meetings provide an opportunity for networking and working towards the common goal. Moreno Valley staff is part of the Continuum of Care working group charged with developing and implementing the County's 10 Year Plan to End Homelessness. In addition, the City continues to locally organize the Riverside County Homeless Count. Participating in these counts provides staff with a firsthand knowledge of homeless needs through direct interaction with potential

recipients of homeless services. Data from the homeless count is utilized to determine homeless service needs and levels in the City.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards and evaluate outcomes, and develop funding, policies and procedures for the administration of HMIS

The City staff serves as a representative on the Board of Governance for the Continuum of Care (CoC). The Board provides governance and strategic oversight to the CoC, monitors the established goals of the 10 Year Plan to End Homelessness, and serves as the planning body for the County's submission of the Riverside County Consolidated Application for HUD funds such as ESG. City staff has historically participated in rating grantee applications for ESG funding and have been instrumental in helping making determinations for the allocation of funds. The CoC developed a Homeless Management Information System (HMIS) working group to develop policies and procedures for the administration of the HMIS in the region. The working group has been instrumental in gaining compliance from HMIS users throughout the region. City staff attends the regional HMIS conference hosted by the CoC and Riverside County Department of Public Social Services.

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdictions consultations with housing, social service agencies and other entities

Refer to Table 2.

Agency/Group/ Organization	Agency/Group/ Organization Type	What Section of the Plan was addressed by Consultation?	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?
HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE	PHA Other government- County	Housing Need Assessment Public Housing Needs Non-Homeless Special Needs	Throughout the year, the City reviews proposed development sites, the comprehensive plan of the PHA, and any proposed demolition or disposition of public housing developments. In reviewing PHA comprehensive plan the City is able to determine regional housing needs as established by the PHA. It is anticipated this continued relationship with the PHA will allow the City to identify needs and gaps in service in order to improve service delivery.
HABITAT FOR HUMANITY RIVERSIDE	Housing	Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy	The City had several meetings with the organization to discuss the coordination of local housing programs for low/moderate income and special needs populations (elderly and disabled). The meetings have been helpful in identify potential future programs to be implemented during the Consolidated Plan period.
FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY, INC.	Service-Fair Housing	Housing Needs Assessment	Several meetings were conducted with the Fair Housing Council of Riverside County (FHCRC) to assist the City in the development of the Housing Strategy as well as the Draft Assessment of Fair Housing. The City and FHCRC held meetings with apartment managers and residents on fair housing laws, rights and responsibilities during the Con Plan development process. FHCRC was also instrumental in helping the City to develop a fair housing survey which was posted online for the public to complete.
FAMILY SERVICE ASSOCIATION OF WESTERN	Services-Children Services-Elderly Persons	Housing Need Assessment Homelessness	The City has had a long relationship with Family Services Association (FSA) and meets with the

RIVERSIDE COUNTY (FSA)	Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-Victims of Domestic Violence, Services-homeless Services-Health Services-Education Services-Employment	Strategy Homeless Needs- Chronically homeless Homeless Needs- Families with children Homelessness Needs-Veterans Homelessness Needs- Unaccompanied youth Non-Homeless Special Needs Anti-poverty Strategy	organization periodically to discuss community needs . It is anticipated that the City will continue to collaborate with FSA on meeting the needs of Moreno Valley residents.
RIVERSIDE UNIVERSITY HEALTH SYSTEM – PUBLIC HEALTH AND BEHAVIORAL HEALTH	Services – Health Health Agency	Housing Need Assessment Non-Homeless Special Needs	The City obtained information on the Mental Health Services Act and housing units in affordable housing developments. One of these developments is located in Moreno Valley. Needs assessment and service area planning data was reviewed.
COUNTY OF RIVERSIDE DEPARTMENT OF PUBLIC SOCIAL SERVICES	Services – Employment Other government - County	Non-Homeless Special Needs Anti-poverty Strategy	The City obtained information on the number of persons enrolled in safety net programs who live in Moreno Valley by zip code and the number of months the persons participate in each program.
RIVERSIDE COUNTY OFFICE OF AGING	Services – Elderly Persons Services – Persons with Disabilities	Housing Needs Assessment Non-Homeless Special Needs Anti-poverty Strategy	The City obtained information on the elderly needs assessment, priority needs, and affordable housing developments serving seniors and disabled persons.
INLAND REGIONAL CENTER	Services-Persons with Disabilities Regional organization	Non-Homeless Special Needs Housing Needs Assessment	The City obtained information on the developmentally disabled needs assessment and housing needs.
COMMUNITY ACTION PARTNERSHIP (CAP)	Other government - County	Non-Homeless Special Needs Anti-poverty Strategy	The CAP provided the City with poverty data, services provided, and anti-poverty efforts undertaken in Riverside County.
CALIFORNIA DEPARTMENT OF	Services-Health Other government –	Non-Homeless Special Needs	The Department’s Health Facilities Consumer System was consulted for

HEALTH	State	Housing Needs Assessment	purposes of developing an inventory of Intermediate Care Facilities for Developmentally Disabled Persons and Congregate Care Facilities for the Elderly.
CALIFORNIA DEPARTMENT OF SOCIAL SERVICES	Other government – State	Non-Homeless Special Needs Housing Needs Assessment	The Community Care Licensing Division provided information on the number, capacity and location of Adult Residential Facilities and Residential Care Facilities which are located in the City.

Table 2 – Agencies, groups, organizations who participated

Identify any Agency Types not consulted and provide rationale for not consulting

All relevant housing, social service agencies and other entities were consulted. Also refer to text below.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Riverside County Department of Public Social Services	The CoC plan and the City’s Consolidated Plan are very consistent in their goals for the Region and are in agreement that a regional effort is required.
2016-2020 Area Plan	Riverside County Office on Aging	The 2016-2018 Area Plan provided guidance to the needs assessment, priorities and goals of the Consolidated Plan.
2018-2019 Community Action Plan	Community Action Partnership of Riverside County (War on Poverty agency)	The 2018-2019 Community Action Plan include poverty data and helped to shape the anti-poverty goals and strategies.

Table 3 – Other local / regional / federal planning efforts

Describe cooperation and coordination with other public entities, including the State and any adjacent units of general local government, in the implementation of the Consolidated Plan (91.215(I))

The City coordinated efforts and consulted with several public entities including local governmental agencies such as the relevant County Departments, public housing organizations, and State government departments during the development of the Consolidated Plan. The Riverside County Public Housing Authority provided information regarding public and assisted housing in Moreno Valley. The Riverside County Department of Public Social Services works closely with the City to assist homeless persons through the Continuum of Care Consortium; and the Riverside County Department of Mental Health also coordinates efforts to assist mentally ill homeless persons.

Narrative (optional):

Pursuant to the ConPlan regulations, during the process of developing the Consolidated Plan the City's consultation process included gathering information on broadband internet service providers, organizations engaged in narrowing the digital divide, agencies whose primary responsibilities include the management of flood prone areas, public land or water resources, and emergency management agencies.

Broadband Internet Service Providers/Organization Engaged in Narrowing the Digital Divide

The FCC definition of broadband includes download speeds faster than 25 Mbps. The City has three types of internet service providers: cable, DSL and fiber. The internet service providers include, but are not limited, to AT&T, Frontier, Spectrum, Mediacom, HughesNet and Time Warner.

According to Stanford University, the "digital divide" refers to the growing gap between the underprivileged members of society, especially the poor, rural, elderly, and handicapped portion of the population who do not have access to computers or the internet; and the wealthy, middle-class, and young Americans living in urban and suburban areas who have access.

Stanford University has described the following governmental initiatives:

- The Schools and Libraries Division of the Universal Service Administrative Company (USAC)

Enables schools, libraries, and rural health care providers - that could normally not afford them - with network wiring and access to both telecommunications and Internet services. Otherwise known as the "E-rate" program, requires telecommunications companies to provide services to those eligible at rates discounted from 20 to 90%. The highest priority and discounts are given to the most economically or geographically disadvantaged schools and libraries, based on the household incomes of student's families. Congress and the FCC approved \$2.25 billion in annual funding. In the first year of funding, the program helped connect 80,000 schools and 38 million children.

- The Community Technology Center's Program sponsored by the U.S. Department of Education

Promotes the development of programs aimed at increasing and demonstrating the value of technology in "urban and rural areas and economically distressed communities." The program awards three-year grants on a competitive basis to fund Community Technology Centers.

- The Neighborhood Networks Program sponsored by the U.S. Department of Housing and Urban Development (HUD)

As a community based initiative, encourages the development of resource and computer learning centers in privately owned HUD-assisted and HUD-insured housing in order to make technology more accessible. Each community independently plans, manages, and funds their Neighborhood Networks center, but HUD often provides grants, loans, and volunteer service. The centers mainly offer computer access, computer assistance and training, GED certification, health and social services. The program currently contains 608 active centers, and plans on establishing 705 more with the help of business and community partners.

RICVOconnect is a Riverside County initiative, supported by the Riverside County Board of Supervisors and Executive Office, and led by Riverside County Information Technology (RCIT), that seeks to remove the road blocks that obstruct service providers from building out current infrastructure. RIVCOconnect invites the private sector to deliver broadband services Countywide at speeds of 1 Gbps and above.

The Moreno Valley Public Library provides computer labs and online resources to all its patrons.

Management of Flood Prone Areas

The flood prone areas within the City have been mapped by the County of Riverside and the Federal Emergency Management Agency (FEMA).

The Riverside County Flood Control and Water Conservation District has responsibility for planning and construction of regional flood control facilities. The City retains the responsibility for designing, construction, and maintenance of local drainage facilities.

Four types of flooding conditions could occur in Moreno Valley: flooding in defined watercourses; ponding; sheet flow; and dam inundation flooding. Flood levels within defined watercourses vary along many of the drainage ways and floodplains.

Ponding occurs when water flow is obstructed due to manmade obstacles. Within the planning area, these obstructions include the embankments of State Route 60 and other roadways crossing defined watercourses.

Sheet flows occur when capacities of existing drainage channels are exceeded and water flow diverts from its originally defined path over a generally broad and undefined area.

Portions of the City are also subject to potential dam inundation due to failure of the Pigeon Pass Dam and Lake Perris Dam. The potential for significant damage to occur within the planning area as a result of failure of Lake Perris Dam is considered remote. The flood potential due to failure of Pigeon Pass Dam is even more remote because it does not retain water throughout the year.

The City of Moreno Valley is required by Section 8589.5 of the California Government Code to have in place emergency procedures for the evacuation and control of populated areas within the limits of inundation below dams. In addition, real estate disclosure upon sale or transfer of property in the inundation area is required under AB 1195 Chapter 65 passed on June 9, 1998.

Emergency Management Agencies

The Moreno Valley Fire Department is very involved in emergency management. The Fire Department will be the incident commander, or be working in a unified command with other responding agencies depending on the nature of the emergency. The objective of the Fire Department is to mitigate emergencies and disasters by keeping loss of life, property, and environment to a minimum. The Fire Department maintains a clear understanding of the statutory responsibility and authority it has depending upon the emergency; along with a working knowledge of the Incident Command System, California Disaster and Civil Defense Master Mutual Aid Agreement, and Standardized Emergency Management System (SEMS).

Land or Water Resources

According to the General Plan Conservation Element, water resources include two hydrological groundwater basins in the planning area: the Perris Basin and the San Jacinto Basin.

The primary purveyor of water in Moreno Valley since the 1950's has been the Eastern Municipal Water District.

The State Water Project brought additional imported water to Moreno Valley and EMWD's service area. It brought water from the rivers of northern California through a series of aqueducts, pipelines and reservoirs, including Lake Perris. Lake Perris was completed in 1973. An underground segment of the aqueduct runs from the northwest corner of Moreno Valley to Lake Perris. Water from Lake Perris is pumped to the Mills Filtration Plant in the City of Riverside before it is distributed to Moreno Valley customers. Water from the State Water Project was needed to supplement water supplies from the Colorado River.

DRAFT

PR-15 Citizen Participation

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

Two Community Meetings on the *Assessment of Fair Housing* were held on August 30, 2017 and September 12, 2017. A total of 14 persons attended these meetings. Public comments pertained to fair housing but other issues as well and included: What is the City doing to promote jobs? What efforts are being made to provide consumer education to first time homebuyers? Has the City considered providing down payment assistance? What efforts are being made to encourage high school students to attend college?

Staff provided the public with descriptions of the City's efforts to generate jobs and how it partners with the Fair Housing Council of Riverside County, Inc. to sponsor workshops on lending and first time homebuyer education. Staff also provided a description of the Moreno Valley College Promise Initiative. Through the Promise Initiative, the City commits \$50,000 to help provide gap funding to offset first year college costs such as tuition, various fees and textbooks.

A Community Need Meeting, Notice of Funding Availability and Application Workshop were held on January 11, 2018. Public participation included the following:

- Assemblies of God
- Boys and Girls Club
- Centro Cristiano Sinai Church
- Fair Housing Council of Riverside County, Inc.
- Friends of Moreno Valley Senior Center
- GRID Alternatives
- Habitat for Humanity
- Hands of Mercy
- Lutheran Social Services
- Moreno Valley Police Department
- Neighborhood Services
- Operation Safehouse
- US Vets
- Voices for Children

Input received during the public participation process and follow-up outreach contributed particularly to the goal-setting for public services. The community meetings also contributed to goal-setting for housing and economic development. During a December 19, 2017 public hearing the public also stressed the need to deal with the problem of poverty.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/ attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
	Public Meeting	Non-targeted/ broad community	Public meeting held on November 28, 2017 to review Consolidated Plan/Action Plan calendar schedule	No comments were received	N/A	N/A
	Newspaper Ad	Non-targeted/ broad community	Notice of Public Hearing to be held on December 19, 2017 published in the Riverside Press Enterprise on November 30, 2017	No comments were received	N/A	N/A
	Public Hearing	Minorities Non-English Speaking – Specify other language: Spanish Persons with disabilities	Public Hearing held on December 19, 2017 to consider and approve the CDBG, HOME and ESG Grant Objectives and Policies for the Consolidated Plan and 2018/2019 Program Year Action Plan	No comments were received	N/A	N/A

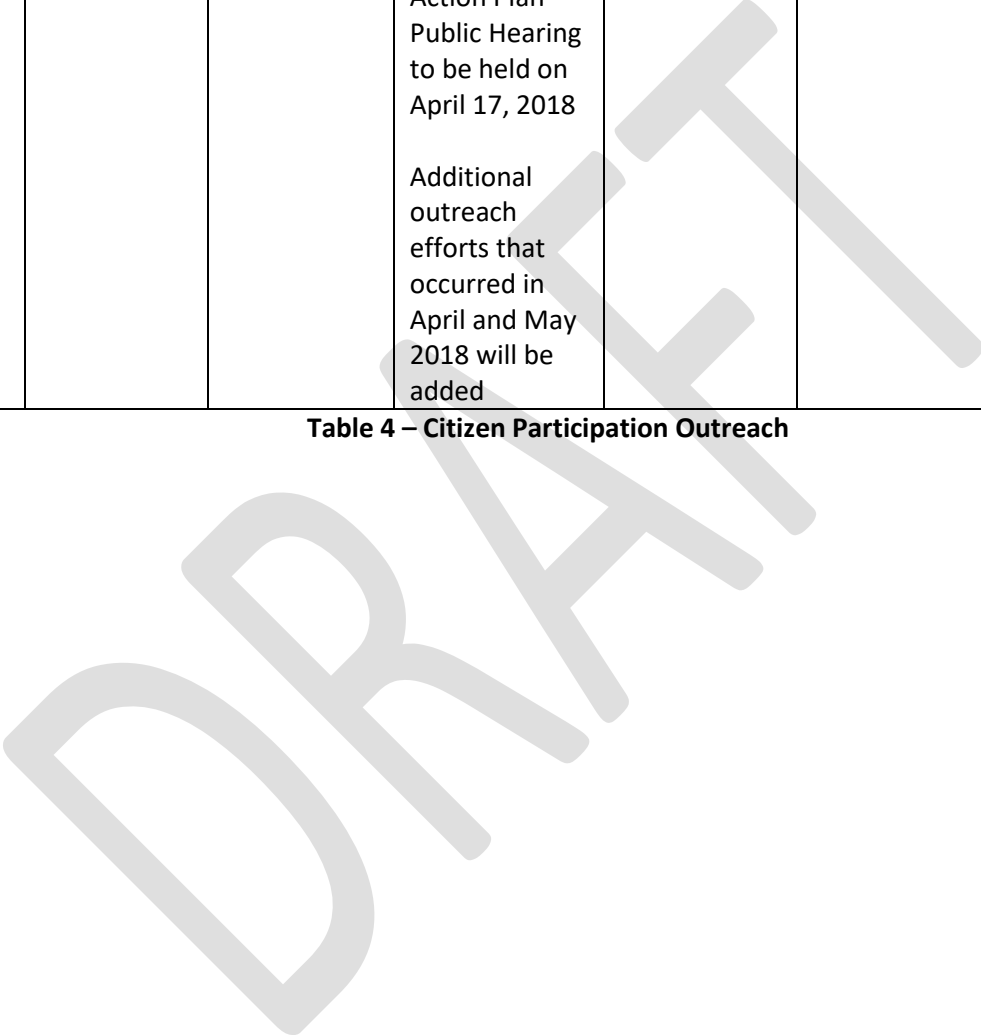
Sort Order	Mode of Outreach	Target of Outreach	Summary of response/ attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
	Newspaper Ad	Non-targeted/ broad community	Community Need Meeting, Notice of Funding Availability and Application Workshop to be held on January 11, 2018 were published in the Riverside Press Enterprise on December 28, 2017.	No comments were received	N/A	N/A
	Community Needs Meeting	Non-targeted/ broad community	Community Needs Meeting to discuss Objective and Policies, availability of CDBG, HOME and ESG funding and to describe how to apply for funds held on January 11, 2018. 32 individuals attended the meeting and represented 17 organizations.	Attendees asked questions regarding the City's policies and objectives and eligible uses per HUD requirements. Questions related to completing applications were addressed during the meeting.	All comments were considered in the preparation of the Consolidated Plan	N/A

Attachment: Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/ attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
	Newspaper Ad	Non-targeted/ broad community	Notice of Public Meeting of the Technical Review Committee to be held on March 27, 2018 published in the Riverside Press Enterprise on March 8, 2018	No comments were received	N/A	N/A
	Newspaper Ad	Non-targeted/ broad community	Publication on March 15, 2018 of notice of availability of the Draft Consolidated Plan/Action Plan for public review and comment from March 30, 2018 to May 1, 2018	No comments were received	N/A	N/A
	Public Meeting	Non-targeted/ broad community	Public meeting of the Technical Review Committee held on March 27, 2018 to allow funding applicants to explain programs	Comments to be added	N/A	N/A

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/ attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
	Newspaper Ad	Non-targeted/ broad community	<p>Publication on March 29, 2018 in the Riverside Press Enterprise of Action Plan Public Hearing to be held on April 17, 2018</p> <p>Additional outreach efforts that occurred in April and May 2018 will be added</p>	No comments were received	N/A	N/A

Table 4 – Citizen Participation Outreach



Attachment: Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR

Needs Assessment

NA-05 Overview

Needs Assessment Overview

The needs assessment includes data on:

- Housing Needs Assessment (NA-10)
- Disproportionately Greater Need: Housing Problems (NA-15)
- Disproportionately Greater Need: Severe Housing Problems (NA-20)
- Disproportionately Greater Need: Housing Cost Burdens (NA-25)
- Public Housing (NA-35)
- Homeless Needs Assessment (NA-40)
- Non-Homeless Special Needs Assessment (NA-45)
- Non-Housing Community Development Needs (NA-50)

Housing needs refer to:

- A housing unit that lacks complete kitchen facilities
- A housing unit that lacks complete plumbing facilities
- Crowding – more than one person per room
- Severe crowding - more than 1.5 persons per room
- Cost burden more than 30%
- Severe cost burden more than 50%

NA-10 Housing Needs Assessment - 24 CFR 91.205 (a,b,c)

Summary of Housing Needs

Table 5 shows that Moreno Valley's population grew by 38% between 2000 and 2013. During the same period, the number of households increased by almost 10,000. Median household increased from \$47,387 to \$54,918 (+16%).

Table 6 shows that Moreno Valley has approximately 51,225 households. Of this number of households, 22,375 have low/moderate incomes (44%). An estimated 6,220 low/moderate income households are large family households (5 or more persons).

As defined by HUD in the Comprehensive Housing Affordability Strategy (CHAS) data, housing problems include:

- Units with physical defects (lacking complete kitchen or bathroom)
- Overcrowded conditions (housing units with more than one person per room)
- Housing cost burden (including utilities) exceeding 30% of gross income
- Severe housing cost burden (including utilities) exceeding 50% of gross income

There is a need for affordable housing in Moreno Valley. Housing problems in the city impact renter households more significantly than owner households. In general, renter-households experience substandard housing, overcrowding and severe cost burdens to a greater extent than owner-households. (Refer to Table 7 – Housing Problems Table)

Of all the housing problems described above, the most common one in Moreno Valley is housing cost burden. In fact, almost 18,000 low/mod income households are cost burdened. (Refer to Table 9 Cost Burden >30%)

The quality of the City's housing stock, which includes age and the condition of the structure, could also present potential housing issues for low- and moderate-income households.

To further dissect the housing problems, the following tables provide additional details on housing needs and problems:

- Table 7 presents the number of households with one or more housing problem (inadequate housing, overcrowding, cost burden of 50%, or cost burden of 30%) by income and tenure.
- Table 8 summarizes the number of households with more than one or more severe housing problems by income and tenure. Severe housing problems are: inadequate housing; severe overcrowding (1.51 persons or more per room); and housing cost burden of 50%.
- Table 9 isolates those households with housing cost burden of over 30% (inclusive of those with cost burden of over 50%) by income and tenure.
- Table 10 further isolates those households with cost burden of over 50%.
- Table 11 presents overcrowding by household type.
- Table 12 is intended to show overcrowding for households with children. However, the American Community Survey provides no data for the City.

Demographics	Base Year: 2000	Most Recent Year: 2013	% Change
Population	142,381	196,234	38%
Households	41,431	51,222	24%
Median Income	\$47,387.00	\$54,918.00	16%

Table 5 - Housing Needs Assessment Demographics

Data Source: 2000 Census (Base Year), 2009-2013 ACS (Most Recent Year)

Number of Households Table

	0-30% HAMFI	>30-50% HAMFI	>50-80% HAMFI	>80-100% HAMFI	>100% HAMFI
Total Households	6,385	5,800	10,190	5,250	23,600
Small Family Households	3,155	2,830	4,885	2,520	12,905
Large Family Households	1,600	1,405	3,215	1,535	4,890
Household contains at least one person 62-74 years of age	775	875	1,485	740	4,795
Household contains at least one person age 75 or older	409	515	815	465	1,200
Households with one or more children 6 years old or younger	2,525	1,933	3,920	1,629	4,475

Table 6 - Total Households Table

Data Source: 2009-2013 CHAS

Housing Needs Summary Tables

1. Housing Problems (Households with one of the listed needs)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Substandard Housing - Lacking complete plumbing or kitchen facilities	70	20	80	85	255	10	35	25	0	70
Severely Overcrowded - With >1.51 people per room (and complete kitchen and plumbing)	420	65	215	94	794	14	65	50	30	159
Overcrowded - With 1.01-1.5 people per room (and none of the above problems)	615	295	625	215	1,750	130	320	725	235	1,410
Housing cost burden greater than 50% of income (and none of the above problems)	2,860	1,885	745	35	5,525	1,230	1,450	1,575	300	4,555
Housing cost burden greater than 30% of income (and none of the above problems)	130	645	2,065	825	3,665	85	505	1,905	1,505	4,000

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
Zero/negative Income (and none of the above problems)	210	0	0	0	210	120	0	0	0	120

Table 7 – Housing Problems Table

Data 2009-2013 CHAS
Source:

2. Housing Problems 2 (Households with one or more Severe Housing Problems: Lacks kitchen or complete plumbing, severe overcrowding, severe cost burden)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Having 1 or more of four housing problems	3,970	2,265	1,665	435	8,335	1,385	1,870	2,370	560	6,185
Having none of four housing problems	525	820	2,745	1,585	5,675	185	840	3,405	2,675	7,105
Household has negative income, but none of the other housing problems	210	0	0	0	210	120	0	0	0	120

Table 8 – Housing Problems 2

Data 2009-2013 CHAS
Source:

3. Cost Burden > 30%

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	2,320	1,525	1,760	5,605	525	1,110	1,900	3,535
Large Related	1,090	630	985	2,705	370	630	1,240	2,240
Elderly	340	254	198	792	305	389	450	1,144

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
Other	320	425	400	1,145	245	215	320	780
Total need by income	4,070	2,834	3,343	10,247	1,445	2,344	3,910	7,699

Table 9 – Cost Burden > 30%

Data 2009-2013 CHAS
Source:

4. Cost Burden > 50%

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	2,265	965	505	3,735	505	840	795	2,140
Large Related	1,035	495	155	1,685	320	415	440	1,175
Elderly	285	175	28	488	270	240	215	725
Other	320	370	80	770	245	205	225	675
Total need by income	3,905	2,005	768	6,678	1,340	1,700	1,675	4,715

Table 10 – Cost Burden > 50%

Data 2009-2013 CHAS
Source:

5. Crowding (More than one person per room)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Single family households	815	345	574	165	1,899	119	260	410	195	984
Multiple, unrelated family households	220	20	265	144	649	30	140	360	70	600
Other, non-family households	15	0	0	85	100	0	0	0	0	0
Total need by income	1,050	365	839	394	2,648	149	400	770	265	1,584

Table 11 – Crowding Information – 1/2

Data 2009-2013 CHAS
Source:

	Renter				Owner			
	0-30% AMI	>30- 50% AMI	>50- 80% AMI	Total	0-30% AMI	>30- 50% AMI	>50- 80% AMI	Total
Households with Children Present								

Table 12 – Crowding Information – 2/2

Describe the number and type of single person households in need of housing assistance.

According to the 2016 American Community Survey (ACS), approximately 10.8% (N =5,378) of the City's households were single person households. The tenure breakdown of single person households was: 52% were homeowners while 48% were renters. Furthermore, more than one-third (35.2%) of the single-person owner-households in the City were senior households.

ACS data indicates that approximately 17% (almost 1,000) of the City's population living alone had incomes below the poverty level.

Estimate the number and type of families in need of housing assistance who are disabled or victims of domestic violence, dating violence, sexual assault and stalking.

Persons with Disabilities: In Moreno Valley, almost one of every four households has a member with 1 or more disability. The City has approximately 13,500 households with a disabled person, according to the 2010 Census and data from the American Community Survey. Ninety-six percent of disabled people live in a housing unit – mobile home, apartment, condominium or single-family home – rather than in an assisted living facility or other types of housing designed to meet the needs of people with disabilities. Therefore, the vast majority of disabled persons live in integrated neighborhood settings. The elderly and frail elderly may need in home supportive services and eventually, as disabilities worsen, may need to relocate to one of the City's assisted living facilities.

Almost 23% of disabled persons had poverty level incomes, according to the 2016 American Community Survey. This percentage is an indicator of the need for housing assistance. Specific data are unavailable on the housing problems (i.e., cost burden) experienced by disabled householders. Since there are approximately 13,500 households with one or more disabled person, it is reasonable to assume that such households also experience housing problems to the same or greater extent that households with no disabled members do. That is, problems such as cost burden and severe cost burden are also problems confronting households with a disabled member.

According to a report prepared by the Riverside County Office on Aging:

Affordable housing is a serious problem for seniors and adults with disabilities at this time in Riverside County and will increase in importance as efforts are made to reduce institutionalization and provide support to individuals living in community settings.

According to the State Department of Developmental Services:

Affordable housing is a cornerstone to individuals with developmental disabilities residing in their local communities. Due to the high cost of housing in California, many individuals served by

the regional centers require deep subsidies in order to make housing affordable. DDS is actively pursuing projects that will increase capacity and precipitate the construction of new affordable housing.

The Inland Regional Center has commented that “our clients will require HUD based affordable housing options due to the low amount of monthly income they receive.”

According to the 2017 County of Riverside Point-in-Time Homeless Count, 34% of the unsheltered homeless reported having a physical disability and 12% reported having a developmental disability.

Victims of Domestic Violence: Based on the 2017 County of Riverside Point-in-Time Homeless Count, 25% of the 73 unsheltered homeless reported being a victim of domestic violence.

Statistics compiled by the California Attorney General’s Office indicate that in 2012, there were 625 calls for assistance in Moreno Valley related to domestic violence. The vast majority of these instances (90%) did not involve a weapon.

Dating Violence, Sexual Assault and Stalking: According to the California Women’s Health Survey (CWS), approximately 40% of California women experience physical intimate partner violence in their lifetimes (male lifetime prevalence rates are not available).

Emergency shelter as well as counseling and other services often are needed by the victims of domestic violence, dating violence, sexual assault and stalking.

What are the most common housing problems?

As mentioned previously, the most common housing problem in Moreno Valley is housing cost burden. In fact, almost 17,500 low/mod income households are cost burdened (>30%). Units with physical defects, or substandard units, were the least common housing problem for the City.

Low and moderate income households are especially adversely impacted by severe housing cost burdens. A recent Harvard study remarked on the consequences of high housing costs:

After paying large shares of their incomes for housing, cost burdened households cut back spending on other vital needs. According to the 2014 Consumer Expenditure Survey, severely burdened households in the bottom expenditure quartile (a proxy for low income) had just \$500 left over to cover all other monthly expenses, while otherwise similar households living in affordable housing had more than twice that amount to spend. As a result, severely cost-burdened households spent 41 percent less on food and 74 percent less on healthcare than their counterparts living in housing they could afford. To avoid cost burdens, low-income households often trade off location for affordability. In consequence, low-income households living in housing they can afford spend nearly three times more on transportation than households with severe burdens. Low-income households without cost burdens are also more likely to live in inadequate units.

Based on the 2010-2014 CHAS data, City Table 1 describes the number of *low and moderate income* renter and owner households that experience cost burden and severe cost burden. Among low and moderate income *renters*, 86% are cost burdened and 56% are extremely cost burdened. The data

demonstrate that 76% of all low and moderate income *owners* are cost burdened and 46% are severely cost burdened.

City Table 1
City of Moreno Valley
Cost Burden and Severe Cost Burden
By Income and Tenure: 2014

Tenure	Total Low/Moderate Income	Number Cost Burdened	Percent Cost Burdened	Number Severely Cost Burdened	Percent Severely Cost Burdened
Renters	11,935	10,215	86%	6,705	56%
Owners	9,585	7,240	76%	4,390	46%

Note: Low/moderate income means less than 80% of the area median income

Cost burden = 30% or more of income spent on housing costs

Severe cost burden = 50% or more spent on housing costs

Source: Comprehensive Housing Affordability Strategy ("CHAS") Data, 2010-2014 American Community Survey

Table construction by Castañeda & Associates

Are any populations/household types more affected than others by these problems?

Overall, renter-households are more impacted by housing cost burden issues than owner households. Renters also experience crowding to a greater extent than owners. Small related families experience cost burdens to a greater degree than large related families.

Describe the characteristics and needs of Low-income individuals and families with children (especially extremely low-income) who are currently housed but are at imminent risk of either residing in shelters or becoming unsheltered 91.205(c)/91.305(c)). Also discuss the needs of formerly homeless families and individuals who are receiving rapid re-housing assistance and are nearing the termination of that assistance

The City has almost 1,700 extremely low income renter large related families who are severely cost burdened. These families face difficulties in meeting their monthly housing obligations and could lose their housing because of financial constraints

If a jurisdiction provides estimates of the at-risk population(s), it should also include a description of the operational definition of the at-risk group and the methodology used to generate the estimates:

Households at risk of becoming homeless include those extremely low income households with a severe housing cost burden (spending 50% or more of their income on housing).

Specify particular housing characteristics that have been linked with instability and an increased risk of homelessness

Extremely low income households with a severe housing cost burden are more likely to lose their housing in the event of loss of employment or other unexpected expenses. Income stagnation combined with rising rents increase the risk of homelessness.

Whereas incomes have not increased over the past few years, rents have continued to rise. The rental housing cost index of the Consumer Price Index increased by 5.1% between April 2016 and April 2017 in the southern California area. The Los Angeles-Riverside-Orange County, CA. metropolitan area covered in the most recent release is comprised of Los Angeles, Orange, Riverside, San Bernardino, and Ventura Counties.

While efforts to produce affordable housing are important to reducing disproportionate housing needs, it also is important to find ways to increase household incomes through jobs having higher wages and other economic development strategies.

Discussion

See discussions above.

NA-15 Disproportionately Greater Need: Housing Problems – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

Introduction

A disproportionately greater need exists when the members of a racial or ethnic group at a given income level experience housing problems at a greater rate (10 percentage points or more) than the income level as a whole. For example, assume that 60% of all low-income households within a jurisdiction have a housing problem and 70% of low-income Hispanic households have a housing problem. In this case, low-income Hispanic households have a disproportionately greater need.

This section has four tables that capture the number of housing problems by income, race, and ethnicity. Each table provides data for a different income level (0–30%, 30–50%, 50–80%, and 80–100% AMI). The four housing problems are: 1) lacks complete kitchen facilities; 2) lacks complete plumbing facilities; 3) more than one person per room; and 4) cost burden greater than 30%. The four tables are:

- Table 13 - Disproportionally Greater Need 0-30% AMI
- Table 14 - Disproportionally Greater Need 30 - 50% AMI
- Table 15 - Disproportionally Greater Need 50 - 80% AMI
- Table 16 - Disproportionally Greater Need 80 - 100% AMI

Households having no/negative income (column 4 in the tables) refers to the number of households whose income is zero or negative due to self-employment, dividends, and net rental income. These households are not included in the other two categories. Households with zero or negative income cannot actually have a cost burden, but still require housing assistance and are therefore counted separately.

0%-30% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	5,575	485	330
White	800	120	48
Black / African American	1,510	120	200
Asian	340	30	14
American Indian, Alaska Native	0	0	0
Pacific Islander	110	0	0
Hispanic	2,750	220	59

Table 13 - Disproportionally Greater Need 0 - 30% AMI

Data Source: 2009-2013 CHAS

*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

30%-50% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	5,290	515	0
White	935	120	0
Black / African American	1,105	130	0
Asian	195	20	0
American Indian, Alaska Native	8	0	0
Pacific Islander	4	0	0
Hispanic	2,950	240	0

Table 14 - Disproportionally Greater Need 30 - 50% AMI

Data Source: 2009-2013 CHAS

*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

50%-80% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	8,005	2,190	0
White	1,125	490	0
Black / African American	1,555	250	0
Asian	305	100	0
American Indian, Alaska Native	55	10	0
Pacific Islander	75	0	0
Hispanic	4,740	1,290	0

Table 15 - Disproportionally Greater Need 50 - 80% AMI

Data Source: 2009-2013 CHAS

*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

80%-100% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	3,325	1,925	0
White	640	584	0
Black / African American	685	180	0
Asian	150	125	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	1,780	980	0

Table 16 - Disproportionally Greater Need 80 - 100% AMI

Data Source: 2009-2013 CHAS

*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

Discussion

The racial and ethnic groups experiencing disproportionate housing needs include:

- 0%-30 % Area Median Income: None
- 30%-50% Area Median Income: None
- 50%-80% Area Median Income: Pacific Islander (N = 75)
- 80%-100% Area Median Income: Black/African American (N = 685)

100% of the Pacific Islanders in the 50%-80% AMI group have one or more housing problems compared to 78.5% in the jurisdiction as a whole.

79.2% of the Black/African Americans in the 80%-100% AMI group have one or more housing problems compared to 63.3% in the jurisdiction as a whole.

NA-20 Disproportionately Greater Need: Severe Housing Problems – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

Introduction

A disproportionately greater need exists when the members of racial or ethnic group at a given income level experience housing problems at a greater rate (10 percentage points or more) than the income level as a whole. The following tables identify the extent of *severe* housing problems by income and race. Severe housing problems include inadequate housing (lacking complete kitchen or plumbing facilities); severe overcrowding (1.51 persons per room); and housing cost burden of 50% or more.

This section has four tables that capture the number of housing problems by income, race, and ethnicity. The four tables are:

- Table 17 – Severe Housing Problems 0-30% AMI
- Table 18 – Severe Housing Problems 30 - 50% AMI
- Table 19 – Severe Housing Problems 50 - 80% AMI
- Table 20 – Severe Housing Problems 80 - 100% AMI

0%-30% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	5,355	710	330
White	730	190	48
Black / African American	1,450	180	200
Asian	330	40	14
American Indian, Alaska Native	0	0	0
Pacific Islander	110	0	0
Hispanic	2,665	300	59

Table 17 – Severe Housing Problems 0 - 30% AMI

Data Source: 2009-2013 CHAS

*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%

30%-50% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	4,135	1,660	0
White	685	365	0
Black / African American	955	290	0
Asian	145	75	0
American Indian, Alaska Native	4	4	0
Pacific Islander	4	0	0
Hispanic	2,285	895	0

Table 18 – Severe Housing Problems 30 - 50% AMI

Data Source: 2009-2013 CHAS

*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%

50%-80% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	4,035	6,150	0
White	445	1,175	0
Black / African American	835	980	0
Asian	70	340	0
American Indian, Alaska Native	30	30	0
Pacific Islander	55	20	0
Hispanic	2,505	3,530	0

Table 19 – Severe Housing Problems 50 - 80% AMI

Data Source: 2009-2013 CHAS

*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%

80%-100% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	995	4,260	0
White	200	1,020	0
Black / African American	155	715	0
Asian	65	210	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	570	2,195	0

Table 20 – Severe Housing Problems 80 - 100% AMI

Data Source: 2009-2013 CHAS

*The four severe housing problems are:

1. Lacks complete kitchen facilities,
2. Lacks complete plumbing facilities,
3. More than 1.5 persons per room,
4. Cost Burden over 50%

Discussion

The racial and ethnic groups experiencing disproportionate severe housing needs include:

- 0%-30 % Area Median Income: Pacific Islander (N = 110)
- 30%-50% Area Median Income: Pacific Islander (N = 4)
- 50%-80% Area Median Income: American Indian, Alaska Native (N =30) and Pacific Islander (N = 55)
- 80%-100% Area Median Income: None

100% of the Pacific Islanders in the 0%-30% AMI group have one or more housing problems compared to 88.3% in the jurisdiction as a whole.

100% of the Pacific Islanders in the 30%-50% AMI group have one or more housing problems compared to 71.4% in the jurisdiction as a whole.

50% of the American Indian, Alaska Natives in the 50%-80% AMI group has one or more housing problems compared to 39.6% in the jurisdiction as a whole.

73% of the Pacific Islanders in the 50%-80% AMI group have one or more housing problems compared to 39.6% in the jurisdiction as a whole.

NA-25 Disproportionately Greater Need: Housing Cost Burdens – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

Introduction:

A disproportionate greater need exists when the members of a racial or ethnic group at a given income level experience housing problems at a greater rate (10 percentage points or more) than the income level as a whole.

Housing Cost Burden

Housing Cost Burden	<=30%	30-50%	>50%	No / negative income (not computed)
Jurisdiction as a whole	25,255	13,200	12,400	370
White	8,665	2,465	2,190	58
Black / African American	3,795	2,960	3,300	200
Asian	1,640	680	620	14
American Indian, Alaska Native	60	45	20	0
Pacific Islander	49	24	160	0
Hispanic	10,625	6,650	5,895	94

Table 21 – Greater Need: Housing Cost Burdens AMI

Data Source: 2009-2013 CHAS

Discussion:

The two groups with a disproportionate housing cost burden are Black/African American and Pacific Islander.

61% of Black/African Americans experience housing cost burdens compared to 50% of all households.

79% of Pacific Islanders experience housing cost burdens compared to 50% of all households.

NA-30 Disproportionately Greater Need: Discussion – 91.205(b)(2)

Are there any Income categories in which a racial or ethnic group has disproportionately greater need than the needs of that income category as a whole?

Please see discussions provided under specific needs by income group presented earlier.

If they have needs not identified above, what are those needs?

Housing needs of low- and moderate-income minority households have been previously identified.

Are any of those racial or ethnic groups located in specific areas or neighborhoods in your community?

Moreno Valley has one “racially or ethnically concentrated area of poverty” meaning “a geographic area with significant concentrations of poverty and minority concentrations.” The term “racially or ethnically concentrated areas of poverty” refers to a census tract that –

- Have a minority population of 50% or more
- Have 40% or more individuals living at or below the poverty line

Census Tract 425.15 meets both criteria. An estimated 1,022 households live in Census Tract 425.15. The majority of the population living in the census tract is Hispanic. Because a high percentage of households have poverty level incomes, it is reasonable to assume that a high percentage of the households also are cost burdened.

NA-35 Public Housing – 91.205(b)

Introduction

The City of Moreno Valley does not have public housing units in its housing inventory. The data in the following tables is for the Housing Authority for the County of Riverside (HACR):

- Table 22 – Public Housing by Program Type
- Table 23 – Characteristics of Public Housing Residents by Program Type
- Table 24 – Race of Public Housing Residents by Program Type
- Table 25 – Ethnicity of Public Housing Residents by Program Type

Totals in Use

	Program Type								
	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher		
				Total	Project-based	Tenant-based	Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
# of units vouchers in use	0	79	456	8,748	36	8,364	135	178	19

Table 22 - Public Housing by Program Type

*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Data Source: PIC (PIH Information Center)

Characteristics of Residents

	Program Type								
	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher		
				Total	Project-based	Tenant-based	Veterans Affairs Supportive Housing	Family Unification Program	
Average Annual Income	0	12,664	13,261	13,870	10,805	13,850	13,465	14,983	
Average length of stay	0	6	4	6	2	6	0	5	
Average Household size	0	1	3	2	1	2	1	3	
# Homeless at admission	0	2	331	205	1	197	2	5	

	Program Type							
	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher	
				Total	Project-based	Tenant-based	Veterans Affairs Supportive Housing	Family Unification Program
# of Elderly Program Participants (>62)	0	67	38	3,249	9	3,211	15	10
# of Disabled Families	0	12	70	2,587	26	2,422	82	33
# of Families requesting accessibility features	0	79	456	8,748	36	8,364	135	178
# of HIV/AIDS program participants	0	0	0	0	0	0	0	0
# of DV victims	0	0	0	0	0	0	0	0

Table 23 – Characteristics of Public Housing Residents by Program Type

Data Source: PIC (PIH Information Center)

Race of Residents

Race	Program Type								
	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher		
				Total	Project-based	Tenant-based	Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
White	0	66	318	5,469	26	5,195	79	144	15
Black/African American	0	10	126	2,967	8	2,867	55	29	3
Asian	0	1	9	209	2	203	0	2	1
American Indian/Alaska Native	0	0	2	80	0	76	1	3	0
Pacific Islander	0	2	1	23	0	23	0	0	0
Other	0	0	0	0	0	0	0	0	0

*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Table 24 – Race of Public Housing Residents by Program Type

Data Source: PIC (PIH Information Center)

Ethnicity of Residents

Ethnicity	Program Type								
	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher		
				Total	Project-based	Tenant-based	Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
Hispanic	0	29	250	2,318	7	2,220	13	74	1
Not Hispanic	0	50	206	6,430	29	6,144	122	104	18

*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Table 25 – Ethnicity of Public Housing Residents by Program Type

Data Source: PIC (PIH Information Center)

Section 504 Needs Assessment: Describe the needs of public housing tenants and applicants on the waiting list for accessible units:

Not applicable to the City of Moreno Valley.

Most immediate needs of residents of Public Housing and Housing Choice voucher holders

Public housing units are not located in Moreno Valley. The most immediate need of Section 8 Housing Choice voucher holders is continued rental assistance. Without this rental assistance the voucher holders would face food insecurity as well as other basic needs and potential homelessness.

How do these needs compare to the housing needs of the population at large

Moreno Valley’s extremely low income renters have needs similar to voucher holders: food insecurity and other basic human needs. However, the majority of extremely low income renters do not receive Section 8 rental assistance. Consequently, they have similar but more severe needs.

Discussion

The City does not have public housing; however, the Housing Authority of the County of Riverside administers the Section 8 Housing Choice Voucher program within Moreno Valley. There are 1,139 Moreno Valley families receiving rental assistance from the Section 8 Housing Choice Voucher Program. HUD data shows that only 5% of the Section 8 voucher holders reside in a racially/ethnically concentrated area of poverty. The racial/ethnic distribution of the Section 8 voucher holders is as follows:

- Asian/Other 2%
- White 14%
- Hispanic 17%
- Black 67%

The Housing Authority of Riverside County provided the City with the zip code (not census tract) location in which the assisted families are living. Approximately one-half of all voucher holders reside in Zip Code 92553. An estimated 73,700 people live in Zip Code 92553 which represents 38% of Moreno Valley's total population. Voucher holders could be attracted to this zip code because of the availability of rental units and landlords willing to participate in the Section 8 program as well as other factors.

The Housing Authority has prepared a five-year Strategic Plan and an Annual Plan. The Plans guide the actions of the Housing Authority in addressing the needs of extremely low and very low income families and include goals to increase the supply of affordable housing, promote self-sufficiency and asset development, ensure equal opportunity and affirmatively further fair housing, and in achieving consistency with each jurisdiction's Consolidated Plan. The City will continue to monitor the Housing Authority's Plans and provide input as it pertains to Moreno Valley residents in an effort to increase the supply of affordable housing.

DRAFT

NA-40 Homeless Needs Assessment – 91.205(c)

Introduction:

Factors contributing to homelessness include a lack of housing affordable to low- and moderate-income persons, increases in the number of persons whose income falls below the poverty level, reductions in subsidies to the poor, drug/alcohol abuse, and the deinstitutionalization of the mentally ill.

The County of Riverside 2017 Point-in-Time Homeless Count found that among the unsheltered homeless population, 33% stated unemployment and 27% stated lack of income as a primary reason for homelessness, respectively.

If data is not available for the categories "number of persons becoming and exiting homelessness each year," and "number of days that persons experience homelessness," describe these categories for each homeless population type (including chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth):

According to the County of Riverside 2017 Point-in-Time Homeless Count, there are an estimated 73 unsheltered homeless in Moreno Valley. The homeless count estimated 14 chronically homeless individuals.

No detailed information on the characteristics of the homeless population in Moreno Valley is available. Therefore, the following information for the different homeless populations is unavailable:

- # experiencing homelessness each year
- # becoming homeless each year
- # exiting homelessness each year
- # of days persons experience homelessness

Nature and Extent of Homelessness: (Optional)

Race:	Sheltered:	Unsheltered (optional)
Ethnicity:	Sheltered:	Unsheltered (optional)

Estimate the number and type of families in need of housing assistance for families with children and the families of veterans.

Among the 73 unsheltered homeless, there were no homeless persons in households with adults and children. Three veterans were among the 73 unsheltered homeless.

Describe the Nature and Extent of Homelessness by Racial and Ethnic Group.

In Moreno Valley, Blacks (N=26) and Whites (N=25) comprised the vast majority of the unsheltered homeless population. Although few in number, American Indian or Alaska Natives (N=3) and Native Hawaiian, Pacific Islanders (2) represent a greater share of the unsheltered homeless population than they do of the non-homeless population.

Describe the Nature and Extent of Unsheltered and Sheltered Homelessness.

Moreno Valley has an estimated 73 unsheltered homeless individuals. Within the City limits, Clearwater Residential Care for the Elderly provides transitional housing for homeless persons. Outside but adjacent to the City limits at the March Air Reserve Base, the US Vets provides housing and supportive services to 280 veterans and their families.

Discussion:

Despite all the best efforts to end homelessness, individuals and families experience temporary homelessness due to a lack of sufficient and stable income, chronic or sudden health problems, domestic violence, untreated mental illness, chronic substance abuse, and youth who lack parental, foster or institutional care among other causes.

NA-45 Non-Homeless Special Needs Assessment - 91.205 (b,d)

Introduction:

Certain households, because of their special characteristics and needs, may require special accommodations and may have difficulty finding housing due to their special needs. Special needs groups include the elderly, frail elderly, persons with disabilities, persons with alcohol or drug addiction, and victims of domestic violence.

Describe the characteristics of special needs populations in your community:

Elderly: According to the 2016 ACS, Moreno Valley's elderly population (65+) is comprised of 15,226 persons, which represents 7.4% of the total population (N = 205,516). The City's elderly population is comprised of 6,345 men and 8,881 women. Approximately 12% (N=1,894) of the elderly householders (65+) live alone. Housing costs are a burden to the elderly as a high proportion live on fixed income. In fact, according to the 2016 ACS, 10,982 households receive Social Security Income (SSI). The 2016 ACS estimates that 8,163 households have retirement income. Almost 10% of elderly persons have incomes below the poverty threshold, according to the 2016 American Community Survey.

Frail Elderly: Moreno Valley's frail elderly population could be as large as approximately 6,717 persons. This number represents seniors 65 years of age or older with a self-care limitation (N= 2,350) or an independent living limitation (N=4,367). It is possible that some elderly have both difficulties. Many of the frail elderly also live on fixed incomes. And many also need home modifications in order to help prevent falls.

Persons with Mental, Physical, and/or Developmental Disabilities: There almost 18,000 persons with a disability. Physical disabilities may include hearing, vision, ambulatory, self-care, and independent living difficulties. Approximately 8,600 persons have a cognitive difficulty, which is an indicator of mental disabilities. *Cognitive difficulty* refers to persons who have serious difficulty concentrating, remembering, or making decisions. According to the Inland Regional Center, in 2013, there were approximately 1,714 individuals actively utilizing services at the Center for a developmental disability.

Persons with Alcohol or Other Drug Addiction: The U.S. Department of Health and Human Services conducts annual National Surveys on Drug Use and Health (NSDUH). Estimates are based on annual averages of data collected in 2016. The Survey found that 6% of the population aged 12 or older were heavy alcohol users. According to American Community Survey 2016 1-year estimates, 161,373 persons residing in the City were over the age of 12. Therefore, an estimated 9,682 persons are over the age of 12 may be considered as having in alcohol addiction.

Estimates of "illicit drug use" reported from NSDUH reflect the data from these 10 drug categories: marijuana, cocaine (including crack), heroin, hallucinogens, inhalants, and methamphetamine, as well as the misuse of prescription pain relievers, tranquilizers, stimulants, and sedatives. In 2016, the Survey found that 1 in 10 Americans aged 12 or older were current (past month) illicit drug users, meaning that they had used an illicit drug during the month prior to the survey interview. This number translates to 16,137 persons in the City.

Victims of Domestic Violence Based on the 2017 County of Riverside Point-in-Time Homeless Count, 25% of the 73 unsheltered homeless reported being a victim of domestic violence.

Statistics compiled by the California Attorney General's Office indicate that in 2012, there were 625 calls for assistance in Moreno Valley related to domestic violence. The vast majority of these instances (90%) did not involve a weapon.

Domestic violence victims may need to leave their housing several times and, therefore, experience multiple periods of homelessness. Emergency shelter resources are needed to accommodate these victims of domestic violence. Women survivors of domestic violence also face numerous barriers to securing safe housing such as limited incomes, lack of a credit history, and landlord discrimination. The Federal Fair Housing act bans landlords and housing providers from discriminating against domestic violence survivors by either denying an applicant or evicting a survivor.

What are the housing and supportive service needs of these populations and how are these needs determined?

Elderly: Among the top elderly needs, as reported in the *FY 2016-2020 Area Plan on Aging*, were: transportation; in home supportive services; and housing.

Frail Elderly: By definition, the frail elderly need assistance to perform daily living activities. The frail elderly may experience difficulty eating, bathing, toileting, etc. by oneself and/or difficulty using the telephone, getting outside, shopping, and doing light house work, etc. by oneself. The frail elderly may be assisted by in-home care, or by residing in supportive housing arrangements. Seniors participating in the *Area Plan on Aging* needs assessment process mentioned the following needs: "in home supportive services" and "services for those who care for others". The *Area Plan* states that frail seniors are among the populations with the greatest economic and social needs.

Persons with Mental, Physical, and/or Developmental Disabilities: In general, the special housing needs of the disabled populations include independent living units with affordable housing costs; supportive housing with affordable housing costs; and housing with design features that facilitate mobility and independence. The shortage of available, accessible, and/or affordable housing is an acute problem for most people with disabilities (PWD). Like most individuals, people with disabilities prefer to live independent and productive lives in their own homes. They have a need and desire for safe and decent housing.

To assist in the provision of housing to meet the needs of persons living with a developmental disability, the City implements programs to coordinate housing activities and outreach with the Inland Regional Center. Moreno Valley also encourages housing developers to designate a portion of new affordable housing development for persons with disabilities, especially persons with developmental disabilities, and pursue funding sources designated for persons with special needs and disabilities.

Persons with Alcohol or Other Drug Addiction: In general, the residents of Moreno Valley are more likely to abuse pharmaceuticals than illicit drugs. Health professionals have identified the following needs: raise awareness about prescription drug abuse; make usage of CURES/PDMP, which can be used to identify clinicians with patterns of inappropriate prescribing and dispensing controlled substances, mandatory; and assistance with the safe disposal.

Some of the key needs of this special needs population include: obtain stable housing and employment; improve their mental health and coping skills; get needed medical treatment; and maintain good health.

Victims of Domestic Violence: Women who are victims of domestic violence experience unique housing issues. Women and their children are often forced to move out of their homes away from their abuser to seek other housing where they are safe. Emergency housing is needed to fill a short-term need. Barriers are confronted when seeking permanent housing because of a limited incomes, lack of credit, and housing discrimination. Transitional housing and transitional housing with supportive services is needed.

Discuss the size and characteristics of the population with HIV/AIDS and their families within the Eligible Metropolitan Statistical Area:

The County of Riverside Public Health Department uses two prevalence measures:

Standard Prevalence: PLWH who were living in Riverside County at the time of their diagnosis.

Migration Prevalence: PLWH who now live in Riverside County regardless of where they were diagnosed.

As of December 31, 2016, there were 51.4% more PLWH in Riverside County than has been previously reported using standard prevalence calculations. The prevalence rate for HIV/AIDS, or the number of people currently living with HIV or AIDS regardless of year of diagnosis, was 236.0 cases per 100,000 population using the standard calculations and 357.2 per 100,000 using the most-recent-address analysis. This study indicates that nearly 3,000 (2,852) more PLWH have moved into Riverside County (in-migration) than out (out-migration). This analysis does not include those people who are unaware of their HIV infection status. The Centers for Disease Control and Prevention (CDC) estimates that an additional 15% of people nationwide living with HIV/AIDS does not know their status. Using that estimate for Riverside County, there are approximately 1,260 additional PLWH who are unaware of their HIV-positive status.

Source: Riverside University Health System, Health Matters: *A New HIV/AIDS Prevalence Estimate for Riverside County, CA*, November 2017, page 2

Moreno Valley is located in western Riverside County and, according to the new prevalence estimate the prevalence rates in this sector of the County are:

Standard Prevalence: 142.3 per 100,000 population

Migration Prevalence: 160.9 per 100,000 population

According to HUD, the lack of affordable and medically appropriate housing for persons living with HIV/AIDS and their families is an ongoing concern for AIDS housing providers, policy makers, and advocates across the country. Stable housing promotes improved health status, sobriety or decreased use of nonprescription drugs, and a return for some persons with AIDS to productive work and social activities. HUD has pointed out that stable housing is the cornerstone of HIV/AIDS treatment.

Recent studies, according to HUD, confirm that persons living with HIV/AIDS must have stable housing to access comprehensive healthcare and adhere to complex HIV/AIDS drug therapies. Even though stable housing has been shown to be a necessary link to medical and supportive services, accessing housing is difficult as the wait for affordable housing increases in many communities across the country. Compounding the problem of waiting lists is access to housing with the services to care and treat the increasing number of persons living not only with HIV/AIDS but also with histories of homelessness, mental illness, and substance abuse.

Persons living with HIV/AIDS and their families may require housing that provides emergency, transitional, or long-term affordable solutions. A variety of HUD programs and projects provide such housing; however, this housing often is not the typical “house” structure. HIV/AIDS housing includes short and long-term rental assistance, live-in medical facilities, and housing sites developed exclusively for people living with AIDS.

Discussion:

Refer to narratives above.

DRAFT

NA-50 Non-Housing Community Development Needs – 91.215 (f)

Describe the jurisdiction's need for Public Facilities:

HUD Community Planning and Development funds (CDBG, HOME, and ESG) can be used for a variety of supportive services and community development activities. These include: economic development; public and infrastructure improvements; community facilities; and community services.

Moreno Valley has a wide range of community development issues, particularly in older neighborhoods where the housing stock, public improvements and community facilities are deteriorating, and businesses are declining.

Many of the CDBG and HOME programs and strategies are centered in the CDBG Target Areas. Infrastructure improvements are needed in the Target Areas which include some of the oldest areas in the City. To improve public safety and facilitate pedestrian traffic, the City plans to continue the development of public facilities within the CDBG Target Areas utilizing a combination of CDBG and city General Funds.

How were these needs determined?

The above noted needs are identified in City of Moreno Valley, *Adopted Capital Improvement Plan: Fiscal Years 2017/18 & 2018/2019* and *Momentum MoVal Strategic Plan, December 2017*.

Describe the jurisdiction's need for Public Improvements:

Sidewalks are an important component of a walking route to school. Undeveloped segments of curbs, gutters, and sidewalks are a concern for students, parents, schools, and the City. Resources from federal and County grants as well as Community Development Block Grants fund several projects to construct sidewalk improvements with ADA ramp upgrade at various locations throughout the City.

Projects listed in the Capital Improvement Plan include:

- Annual ADA Park Improvements
- Cycle 6 ADA Pedestrian Ramp Improvements
- Edgemont Neighborhood Pavement Rehabilitation
- Cycle 7 ADA Pedestrian Access Ramps
- Annual ADA Compliant Curb Ramp Upgrades

CDBG funds are allocated to ADA projects such as the Cycle 6 ADA Pedestrian Ramp Improvements. This project was completed in mid-year 2017 and it re-constructed 28 curb ramps at eight intersections to meet ADA standards. Some of the re-constructed curb ramps are located in a former (CT 425.19) and current (425.15) R/ECAP.

The Cycle 7 ADA Pedestrian Access Ramps project is to re-construct a number of pedestrian ramps to meet ADA requirements. CDBG is the funding source for this project and improvements will be

accomplished in CDBG Target Areas. The current and previous R/ECAPs are located in the CDBG Target Areas.

The Annual ADA Compliant Curb Ramp Upgrades is an annual commitment of \$200,000 to upgrade existing ADA non-compliant curb, ramps and sidewalks, missing curb ramps and sidewalks, and other non-compliant issues within the public right-of-way (PROW) throughout the City. The ADA administrator provides annual recommendations for curb ramp and sidewalk improvements including an ADA Transition Plan inspection.

CDBG funds are also allocated to complete ADA improvements at public buildings. For example, in Fiscal Year 2016/2017 funds were allocated to fund some of the ADA improvements found by Disability Access Consultants (DAC) in reference to the Senior Center parking lot and restrooms. Another example is the installation of ADA compliant flooring at the Parks & Community Services Department.

How were these needs determined?

The above noted needs are identified in City of Moreno Valley, *Adopted Capital Improvement Plan: Fiscal Years 2017/18 & 2018/2019* and *Momentum MoVal Strategic Plan, December 2017*.

Describe the jurisdiction's need for Public Services:

The highest priority public service needs are listed below:

- Basic Needs Related to Social Services Programs (such as but not limited to emergency food, shelter (homelessness), and utility assistance)
- Community Public Safety Programs
- Programs Offering Low-Cost Transportation
- Employment Services/Programs and Job Skills Training
- Free/Low-Cost Programs for School-Aged Youth
- Fair Housing

How were these needs determined?

The public service needs were determined through the community participation process. The City Council approved these priority needs at the public hearing held on December 19, 2017.

Housing Market Analysis

MA-05 Overview

Housing Market Analysis Overview:

The housing market analysis includes data on:

- Number of Housing Units (MA-10)
- Housing Market Analysis: Cost of Housing (MA-15)
- Housing Market Analysis: Condition of Housing (MA-20)
- Public and Assisted Housing (MA-25)
- Homeless Facilities and Services (MA-30)
- Special Needs Facilities and Services (MA-35)
- Barriers to Affordable Housing (MA-40)
- Non-Housing Community Development Assets (MA-45)
- Needs and Market Analysis Discussion (MA-50)

The housing market analysis provides information on the number and type of housing as well as the cost and condition of housing. The information also discusses the facilities and services that are available to address the needs of homeless persons as well as special needs populations such as the elderly, frail elderly and disabled. Information also is presented on the public sector barriers to the development of affordable housing. Finally, an analysis is presented of community development assets with a focus on employment and local economic conditions.

MA-10 Number of Housing Units – 91.210(a) & (b)(2)

Introduction

According to ACS data, 54,977 housing units comprise Moreno Valley's housing stock. Overall, the City's housing stock is comprised of about 81% single family units (detached and attached); 17% multi-family units, and about 2% mobile homes (Table 26). Approximately 61.5% of the 51,222 occupied housing units are owner-occupied and 38.5% are renter-occupied. (Table 27)

93% of owner-occupied housing units contain three or more bedrooms. (Table 27) In contrast, only 53% of the renter-occupied housing units have three or more bedrooms. Thus, there is a dearth of housing for large-family renter households which then causes crowding.

All residential properties by number of units

Property Type	Number	%
1-unit detached structure	43,064	78%
1-unit, attached structure	1,600	3%
2-4 units	1,695	3%
5-19 units	4,276	8%
20 or more units	3,149	6%
Mobile Home, boat, RV, van, etc	1,193	2%
Total	54,977	100%

Table 26 – Residential Properties by Unit Number

Data Source: 2009-2013 ACS

Unit Size by Tenure

	Owners		Renters	
	Number	%	Number	%
No bedroom	167	1%	453	2%
1 bedroom	126	0%	2,622	13%
2 bedrooms	1,974	6%	6,175	31%
3 or more bedrooms	29,239	93%	10,466	53%
Total	31,506	100%	19,716	99%

Table 27– Unit Size by Tenure

Data Source: 2009-2013 ACS

Describe the number and targeting (income level/type of family served) of units assisted with federal, state, and local programs.

Moreno Valley’s inventory of publicly supported housing includes the following program categories:

- HCV Program 1,139
- Multifamily Developments 288
- LIHTC Developments 981

The City has 11 tax credit support projects - 10 large family developments and one senior housing development. None are located within an R/ECAP.

In addition, the City has two senior housing developments supported by HUD Sections 201 and 811 programs: Eucalyptus Towers (69 units) and Telacu Villa (74 units). Eucalyptus Towers is located in an R/ECAP (CT 425.15).

The affordable housing inventory also includes 61 housing units located in nine small developments. These nine developments contain 50 2-bedroom units and 11 3-bedroom units. An 8-unit affordable housing development is located in an R/ECAP (CT 425.15).

Two developments address the needs of disabled persons: 24 units in the Ability First development and 15 units in the Rancho Dorado development located at the southeast corner of Perris Boulevard and John F. Kennedy Drive. These two developments are not located in an R/ECAP.

Provide an assessment of units expected to be lost from the affordable housing inventory for any reason, such as expiration of Section 8 contracts.

According to the *2014-2021 Housing Element*, the City of Moreno Valley does not have units at risk of conversion. The rent restricted units that the City has funded through its Rental Rehabilitation Program are restricted for thirty years and still have between 16 and 22 years left on their affordability terms. New construction projects have affordability covenants of 55 years.

Does the availability of housing units meet the needs of the population?

The City’s housing stock is comprised of almost 55,000 housing units. Single-family detached structures comprise almost four of every five housing units. Therefore, there is an abundance of housing available for owner occupancy by the elderly, small families and large families.

The rental housing inventory meets a variety of housing needs. However, there is a need for additional affordable rental housing as a high percentage of renters are cost burdened. The City continues to work with the non-profit housing organizations to expand the affordable housing stock. However, the state-mandated dissolution of the Redevelopment Agency hinders these efforts. The Redevelopment Agency was the source for the Low and Moderate Income Housing Fund.

Describe the need for specific types of housing:

Among the need for specific types of housing cited in the *2014-2021 Housing Element* are housing for special needs populations (i.e., disabled persons, female householders) and large families. The latter in particular need housing units with three or more bedrooms.

Discussion

Refer to the discussion in the preceding paragraphs.

DRAFT

MA-15 Housing Market Analysis: Cost of Housing - 91.210(a)

Introduction

One of the most important factors in evaluating a community's housing market is the cost of housing and, even more significant, whether the housing is affordable to households who live there or would like to live there. Housing problems directly relate to the cost of housing in a community. If housing costs are relatively high in comparison to household income, a correspondingly high rate of housing cost burden and overcrowding could result.

Cost of Housing

	Base Year: 2000	Most Recent Year: 2013	% Change
Median Home Value	117,800	178,400	51%
Median Contract Rent	641	1,108	73%

Table 28 – Cost of Housing

Data Source: 2000 Census (Base Year), 2009-2013 ACS (Most Recent Year)

Rent Paid	Number	%
Less than \$500	1,338	6.8%
\$500-999	6,536	33.1%
\$1,000-1,499	9,002	45.7%
\$1,500-1,999	2,231	11.3%
\$2,000 or more	609	3.1%
Total	19,716	100.0%

Table 29 - Rent Paid

Data Source: 2009-2013 ACS

Housing Affordability

% Units affordable to Households earning	Renter	Owner
30% HAMFI	555	No Data
50% HAMFI	1,290	1,155
80% HAMFI	6,545	7,220
100% HAMFI	No Data	11,524
Total	8,390	19,899

Table 30 – Housing Affordability

Data Source: 2009-2013 CHAS

Monthly Rent

Monthly Rent (\$)	Efficiency (no bedroom)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Fair Market Rent	800	957	1,197	1,682	2,072
High HOME Rent	800	859	1,033	1,184	1,301
Low HOME Rent	586	628	753	871	972

Table 31 – Monthly Rent

Data Source: HUD FMR and HOME Rents

Is there sufficient housing for households at all income levels?

Numerically, there is a sufficient supply of housing for all households. There are 3,755 vacant housing units (a 6.8% vacancy rate.) However, the cost of housing exceeds the ability to pay of many low and moderate income households. Thus, a significant number of both owner and renter low/moderate income households are cost burdened or crowded or both.

How is affordability of housing likely to change considering changes to home values and/or rents?

The median household income is \$54,918. Moreno Valley's median home value is \$178,400 and the median monthly contract rent is \$1,108 (Table 28). About 46% of all renter households pay between \$1,000 and \$1,499 a month for housing (Table 29). Although there is a supply of housing affordable to moderate income (50%-80%) AMI owners and renters, housing affordable to extremely low- and very low-income owners and renters is very limited (Table 30).

How do HOME rents / Fair Market Rent compare to Area Median Rent? How might this impact your strategy to produce or preserve affordable housing?

The Fair Market Rents and HOME rents (Table 31) generally approximate Moreno Valley's rents. Therefore, FMRs would probably not pose a major barrier to the rehabilitation and preservation of housing. The production of new rental housing would likely command rents higher than the FMRs and HOME rents. However, deep subsidies are necessary to produce housing affordable to extremely low- and low-income households. HOME funds often need to be combined with other state and federal resources in order to facilitate the production of affordable rental housing.

Discussion

Please refer to the text in the preceding paragraphs.

MA-20 Housing Market Analysis: Condition of Housing – 91.210(a)

Introduction

Assessing housing conditions in Moreno Valley can provide the basis for developing policies and programs to maintain and preserve the quality of the housing stock. The American Community Survey (ACS) defines a "selected condition" as owner- or renter-occupied housing units having at least one of the following conditions: 1) lacking complete plumbing facilities; 2) lacking complete kitchen facilities; 3) more than one occupant per room; and 4) selected monthly housing costs greater than 30% of household income. (Table 32) Based on this definition, about one-half of all renter-occupied housing units (49%) and two out of five owner-occupied housing units (40%) have at least one selected condition.

Definitions

Housing is considered to be substandard when physical conditions are below the minimum standards of living defined by Section 1001 of the Uniform Housing Code. Residents living in substandard conditions are considered to be in need of housing assistance even if they are not actively seeking alternative housing arrangements.

Housing is considered suitable for rehabilitation when it is economically feasible to renovate the building and bring it up to standard condition meeting all codes, including City codes.

Condition of Units

Condition of Units	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
With one selected Condition	13,699	43%	11,043	56%
With two selected Conditions	1,202	4%	1,987	10%
With three selected Conditions	21	0%	145	1%
With four selected Conditions	13	0%	11	0%
No selected Conditions	16,571	53%	6,530	33%
Total	31,506	100%	19,716	100%

Table 32 - Condition of Units

Data Source: 2009-2013 ACS

Year Unit Built

Year Unit Built	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
2000 or later	6,536	21%	5,644	29%
1980-1999	20,124	64%	9,186	47%
1950-1979	4,494	14%	4,546	23%
Before 1950	352	1%	340	2%
Total	31,506	100%	19,716	101%

Table 33 – Year Unit Built

Data Source: 2009-2013 CHAS

Risk of Lead-Based Paint Hazard

Risk of Lead-Based Paint Hazard	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
Total Number of Units Built Before 1980	4,846	15%	4,886	25%
Housing Units build before 1980 with children present	11,815	38%	6,370	32%

Table 34 – Risk of Lead-Based Paint

Data Source: 2009-2013 ACS (Total Units) 2009-2013 CHAS (Units with Children present)

Vacant Units

	Suitable for Rehabilitation	Not Suitable for Rehabilitation	Total
Vacant Units			
Abandoned Vacant Units			
REO Properties			
Abandoned REO Properties			

Table 35 - Vacant Units

Need for Owner and Rental Rehabilitation

The 2014-2021 Housing Element estimates that 840 housing units are in need of rehabilitation. Given that the older housing stock is evenly divided by tenure, about the same number of owner and renter are in need of rehabilitation.

Estimated Number of Housing Units Occupied by Low or Moderate Income Families with LBP Hazards

Housing age is the key variable used to estimate the number of housing units with lead-based paint (LBP). Starting in 1978, the federal government prohibited the use of LBP on residential property.

National studies estimate that 75% of all residential structures built prior to 1970 contain LBP. Housing built prior to 1940 is highly likely to contain LBP (estimated at 90% of housing units), and in housing built between 1960 and 1979, 62% of units are estimated to contain LBP.

Approximately 9,700 housing units were built before 1980 (Table 33). Based on the age of housing and the above-noted prevalence rates, it is likely that one-half (4,850) of the housing units built prior to 1980 may contain LBP. Forty-four percent are occupied by low and moderate income households. Therefore, it is estimated that 2,100 (.44 X 4,850) housing units with LBP hazards are occupied by low and moderate income families.

Discussion

Please refer to the analysis above. The key point is that the age of housing causes the need for rehabilitation and the risk for lead-based paint hazards.

MA-25 Public and Assisted Housing – 91.210(b)

Introduction

The City of Moreno Valley has no public housing units.

Table 36 – Public Housing by Program Type – contains data pertaining to the County of Riverside Housing Authority. Public housing is comprised of all sizes and types, from scattered single-family houses to high-rise apartments for elderly families. The Housing Authority currently manages 469 units of public housing throughout Riverside County.

The Housing Authority also administers the Section 8 Housing Choice Voucher Program. This program provides rental assistance to extremely low and very low income families. Approximately 1,139 Moreno Valley families receive Section rental assistance through the program administered by the County of Riverside Housing Authority.

HACR currently has 48 project-based vouchers at two developments; 10 units in Blythe and 38 units in Cathedral City. The agency proposes to expand the use of project based vouchers for FY2016-17 to further facilitate the development of affordable housing within Riverside County by developing Housing Authority or Successor Agency (HASA) owned properties, those that exclusively assist veterans or farmworker families or development projects to support applications for state and federal funding opportunities. To support this expansion, the maximum allotment allowed under regulations (20% of total allocation) will be reserved.

Totals Number of Units

	Program Type								
	Certificate	Mod-Rehab	Public Housing	Vouchers					
				Total	Project-based	Tenant-based	Special Purpose Voucher		
							Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
# of units vouchers available	0	77	469	8,681	48	8,633	819	1,759	342
# of accessible units			2						

*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Table 36 – Total Number of Units by Program Type

Data Source: PIC (PIH Information Center)

Describe the supply of public housing developments:

The Department of Housing and Urban Development (HUD) has conditionally approved three (3) Commitments to Enter into a Housing Assistance Payment (CHAPs) under the Rental Assistance Demonstration (RAD) program for its public housing properties which will result in the full conversion of HACR's 469 unit public housing portfolio to units assisted with Project Based Vouchers, which are commonly referred to as "Section 8" units.

Any public housing units converting to assistance under RAD long-term Project Based Voucher contracts shall no longer be subject to the program rules applicable to public housing. The formerly public housing units which become Section 8 units will be subject to the rules of the applicable Section 8 program, as modified by a few rules specific to RAD converted units. These specific RAD-related rules are intended to apply a few important provisions of the public housing rules to the RAD converted units, even though they would not normally be applicable in the Section 8 context.

Describe the number and physical condition of public housing units in the jurisdiction, including those that are participating in an approved Public Housing Agency Plan:

Table 37 – Public Housing Condition – does not apply to the City of Moreno Valley as there are no public housing units to inspect.

Public Housing Condition

Public Housing Development	Average Inspection Score

Table 37 - Public Housing Condition

Describe the restoration and revitalization needs of public housing units in the jurisdiction:

The City of Moreno Valley has no public housing units. However, all Housing Authority properties remain in good condition and comply with all the required HUD Housing Quality Standards (HQS). According to the Section 504 needs assessment, all units have been made accessible according to regulations and additional accommodations are made when necessary.

Describe the public housing agency's strategy for improving the living environment of low- and moderate-income families residing in public housing:

The City of Moreno Valley has no public housing units. However, the PHA's strategy for improving the management and operation of such public housing and for improving the living environment of low- and moderate-income families residing in public housing is that they are making efficient use of their limited subsidy, providing more energy efficient units, minimum vacancies and the enforcement of lease provisions.

Discussion:

Not applicable.

MA-30 Homeless Facilities and Services – 91.210(c)

Introduction

One of the City’s highest priorities for the use of CDBG and ESG funds is to address the emergency shelter and transitional housing needs of homeless persons. The City will continue to fund applications for homeless shelters that serve the Moreno Valley homeless population. The City will assist homeless persons make the transition to permanent housing and independent living through continued support of affordable housing developments that will provide long term affordability covenants.

Facilities and Housing Targeted to Homeless Households

	Emergency Shelter Beds		Transitional Housing Beds	Permanent Supportive Housing Beds	
	Year Round Beds (Current & New)	Voucher / Seasonal / Overflow Beds	Current & New	Current & New	Under Development
Households with Adult(s) and Child(ren)					
Households with Only Adults*	3				
Chronically Homeless Households					
Veterans*	3				
Unaccompanied Youth					

Table 38 - Facilities and Housing Targeted to Homeless Households

*operated by Clearwater

Describe mainstream services, such as health, mental health, and employment services to the extent those services are use to complement services targeted to homeless persons

The Department of Public Social Services, as the County of Riverside’s Continuum of Care Collaborative Applicant and lead agency, maintains and creates the commitment and resources needed to leverage community stakeholders, agencies, business, and non-profit partners. These partnerships have become solidified through the annual HUD CoC Homeless Assistance Consolidated Application and the CoC network program activities.

These local non-profit agencies and organizations offer prevention services and help close the gaps of homelessness through the local, state, and private funding streams. Other CoC providers and community stakeholders, through their mission to specific sub-populations such as homeless veterans, are able to leverage federal funding sources in partnership with agencies like the Riverside County University Health System - Behavioral Health, Housing Authority, Veterans Administration, and the DPSS Self Sufficiency programs. Mainstream benefits are made accessible to qualifying clients through the CoC program housing providers, local non-profit organizations, agencies, and educational institutions which collaborate and work on creating accessibility to homeless emergency services for homeless families and individuals.

Other available mainstream resources include:

1. CalWORKs: Funds are available to families on public assistance to provide rent and utility payments, which are funded through Temporary Assistance for the Needy (TANF). CalWORKs also offers the Welfare-to-Work Program that provides job training and supportive services.
2. Child Protective Services (CPS): Funds are available to provide emergency rent and utility assistance for families with children who have an open case.
3. Fair Housing Council of Riverside County: Provides fair housing services, including discrimination counseling, mediation, and dispute resolution to residents.
4. Inland Home Energy Assistance Program (IHEAP): Funds are available on a limited basis for individuals who are in danger of losing utility service.
5. Riverside County Economic Development Agency & Workforce Development Center: Partners with community agencies and local jurisdictions to provide job training and placement services.
6. Moreno Valley Employment Resource Center: Partners with Riverside County Economic Development Agency (EDA) to provide job training, placement services, and job search assistance.
7. CalFresh Program (formerly called Food Stamps): Electronic Benefit Transfer cards issued to people on public assistance to fund food and other essential items.
8. Riverside County Department of Public Social Services and Mental Health and Public Health: provide assistance to individuals and families needing senior services, physical health, behavioral health, dentistry services, and public health. Homeless services are housed under the umbrella of DPSS.
9. Community Connect – 211 Referral Line: A telephone social service information directory on how to get food, income, jobs and training, housing, healthcare, legal advice, and other important help from local, state and federal programs and community services across Riverside County.

List and describe services and facilities that meet the needs of homeless

List and describe services and facilities that meet the needs of homeless persons, particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth. If the services and facilities are listed on screen SP-40 Institutional Delivery Structure or screen MA-35 Special Needs Facilities and Services, describe how these facilities and services specifically address the needs of these populations.

Within the Moreno Valley city limits, Clearwater operates a 6-bed emergency shelter.

The City was an active participant in the development of the Homeless Assistance Plan (HAP) at March Air Reserve Base (ARB). March ARB, which was closed during a base realignment, is located adjacent to the City limits. March Veterans Village was recently constructed at the March ARB. The Village is comprised of two 3- and 4-story buildings housing 138 living units for veterans and their families, including transitional housing units for previously homeless veterans; community center on first floor

features a community café, offices, and community flex-space. The development includes 116 efficiency units, six one-bedroom units, and 16 two-bedroom units.

As per the CoC's 2017 Housing Inventory Chart, there are currently 699 emergency beds and 220 transitional housing beds in Riverside County. The Housing First approach adopted by the CoC requires that homeless people are helped into permanent housing or rapid re-housing as soon as possible. Transitional housing beds have begun to decrease in the county and permanent housing is increasing because of reallocations made in the HUD CoC Program Consolidated Application and the CoC's success in obtaining new funding for Permanent Supportive Housing.

Both transitional housing programs and emergency shelters focus on lessening the time that a homeless person or family's length of time homeless (LOTH) in the shelter by effective and quick assessment of homeless clients and getting them stabilized into permanent housing with intensive case management initially and support in the initial phase of residency in permanent housing. This period will serve as a time to address the other needs to maintain self-sufficiency either by accessing mainstream benefits, employment or medical/ mental health support.

The CoC works with the Economic Development Agency (EDA) and other public funding agencies to integrate the CoC Programs, Emergency Solutions Grant, Social Services to Veteran Families (SSVF), and CDBG funding to increase the number of families with children who are assisted through rapid re-housing.

In addition, other non-McKinney-Vento funding sources, such as Emergency Food and Shelter Program (EFSP), funded under Federal Emergency Management Agency (FEMA), will be matched as a source for rental/mortgage assistance for families who are homeless or at-risk of homelessness in the County's strategy to meet this goal.

MA-35 Special Needs Facilities and Services – 91.210(d)

Introduction

A variety of facilities and services targeting persons with special needs are available in Moreno Valley.

Including the elderly, frail elderly, persons with disabilities (mental, physical, developmental), persons with alcohol or other drug addictions, persons with HIV/AIDS and their families, public housing residents and any other categories the jurisdiction may specify, and describe their supportive housing needs

Data are unavailable on the types of living arrangements experienced by Moreno Valley's developmentally disabled population. In California, the persons served by DDS in both the "Birth through 17" and "18 and Older" age groups increased for those residing in the home of a parent, guardian, or conservator (labeled "Own Home-Family"). In 2016, approximately 94% of the developmentally disabled persons 17 years of age or less resided in a home. Almost 51% of the "18 and Older" age group lived in a home in 2016. Concurrently, the percentage decreased for those residing in community care settings and developmental centers.

These changes are consistent with the high priority the Lanterman Act places on providing opportunities for children with developmental disabilities to live with families and for people of all ages to live in homelike environments. The percentage of people 18 years of age and older residing in supported living and independent settings decreased between January 2006 and January 2016. This change follows the Lanterman Act's direction to provide, "*opportunities for individuals with developmental disabilities to be integrated into the mainstream of life in their home communities, including supported living and other appropriate community living arrangements.*"

Source: California Department of Developmental Services, *Fact Book – Fourteenth Edition*, June 2017, page 13

The first units of Mental Health Services Act (MHSA) permanent supportive housing in Riverside County were completed and available for occupancy in October 2010 to serve Transitional Age Youth (TAY), adults and older adults. The 15 MHSA units are included within the total 150 units located in Rancho Dorado, which is located in Moreno Valley at the southeast corner of Perris Boulevard and John F. Kennedy Drive. The MHSA units at Rancho Dorado have been continuously occupied since the development was opened. One full-time equivalent Jefferson Wellness Center partner is assigned to provide on-site supportive services and act as the primary support staff for residents of the project.

Moreno Valley's three affordable housing developments with accessible units include: Ability First, Eucalyptus Towers and Telacu Villa. Each is located in a different census tract. Thus, there is not a concentration of accessible housing units in Moreno Valley.

In Moreno Valley, almost one of every four households has a member with 1 or more disability. The City has approximately 13,500 households with a disabled person, according to the 2010 Census and data from the American Community Survey. Ninety-six percent of disabled people live in a housing unit – mobile home, apartment, condominium or single-family home – rather than in an assisted living facility or other types of housing designed to meet the needs of people with disabilities. Therefore, the vast majority of disabled persons live in integrated neighborhood settings. The elderly and frail elderly may need in home supportive services and eventually, as disabilities worsen, may need to relocate to one of the City's assisted living facilities.

Approximately 650 disabled persons live in a Residential Care Facility for the Elderly, Adult Residential Facility, Intermediate Care Facility or a Congregate Living Health Facility.

Some disabled persons live in a Residential Care Facility for the Elderly (RCFE). According to the California Department of Social Services, a RCFE is a residential home for seniors aged 60 and over who require or prefer assistance with care and supervision. They may also be known as assisted living facilities, retirement homes and board and care homes. In the City, there are 28 residential care facilities for the elderly located in single-family homes. Most of the homes have a maximum capacity of six disabled elderly persons.

In addition, some disabled persons live in an Adult Residential Facility (ARF). According to the California Department of Social Services, an ARF is a residential home for adults ages 18 through 59 with mental health care needs or who have physical or developmental disabilities and require or prefer assistance with care and supervision. There are 66 adult residential care facilities located in Moreno Valley. Each is located in a single family home and each has a capacity of six persons. Thus, the total bed capacity is 396. The 66 facilities are not concentrated because they are separated from one another by a minimum distance set forth by State law.

Single family homes also provide housing and supportive care for developmentally disabled persons in Intermediate Care Facilities for the Developmentally Disabled/Habilitative and Intermediate Care Facilities for Developmentally Disabled/Nursing.

An intermediate care facility for the developmentally disabled habilitative is a health facility with a capacity of 4 to 15 beds which provides 24-hour personal care, habilitation, developmental, and supportive health services to 15 or fewer developmentally disabled persons with intermittent recurring needs for nursing services, but have been certified by a physician and surgeon as not requiring the availability of continuous skilled nursing care. There are located within the City limits 12 such intermediate care facilities. The intermediate care facilities are located in single-family homes and each has a six bed capacity. Thus a total 72 developmentally disabled persons could be housed in these intermediate care facilities. The 12 facilities are not concentrated because they are separated from one another by a minimum distance set forth by State law.

An intermediate care facility for developmentally disabled/nursing is a health facility with a capacity of 4 to 15 beds that provides 24-hour personal care, developmental services, and nursing supervision for developmentally disabled persons who have intermittent recurring needs for skilled nursing care but have been certified by a physician and surgeon as not requiring continuous skilled nursing care. The facility serves medically fragile persons who have developmental disabilities or demonstrate significant developmental delay that may lead to a developmental disability if not treated. There are located within the City limits three such intermediate care facilities. The intermediate care facilities are located in

single-family homes and each has a six bed capacity. Thus a total 18 developmentally disabled persons could be housed in these intermediate care facilities. The three facilities are not concentrated because they are separated from one another by a minimum distance set forth by State law.

In addition, two Congregate Living Health Facilities are located within Moreno Valley. The total bed capacity of the two facilities is 12. The primary need of the facility residents is the availability of skilled nursing care on a recurring, intermittent, extended, or continuous basis. This care is generally less intense than that provided in general acute hospitals but more intense than that provided in skilled nursing facilities.

Describe programs for ensuring that persons returning from mental and physical health institutions receive appropriate supportive housing

As part of the City's involvement with the Continuum of Care, a Discharge Planning Policy was established to ensure that all appropriate local and State government entities that discharge persons from publicly-funded institutions or systems of care participate in the Discharge Planning Policy. The Policy strengthens discharge planning with major institutions to limit the number of chronically homeless persons discharged into homelessness and connects the homeless and those persons threatened with homelessness with supportive housing and community-based resources upon discharge. The overall objective of the Discharge Coordination Policy and Practices is to reduce the number of persons being released and discharged into homeless shelters, unsuitable accommodations, or homelessness.

Specify the activities that the jurisdiction plans to undertake during the next year to address the housing and supportive services needs identified in accordance with 91.215(e) with respect to persons who are not homeless but have other special needs. Link to one-year goals. 91.315(e)

The following programs address the needs of special needs populations: Senior Nutrition Program; the "Mo-Van" Senior Transportation Program; and A Brush with Kindness.

For entitlement/consortia grantees: Specify the activities that the jurisdiction plans to undertake during the next year to address the housing and supportive services needs identified in accordance with 91.215(e) with respect to persons who are not homeless but have other special needs. Link to one-year goals. (91.220(2))

N/A

MA-40 Barriers to Affordable Housing – 91.210(e)

Negative Effects of Public Policies on Affordable Housing and Residential Investment

MA-40 describes the negative effects of public policies on affordable housing such as tax policy affecting land and other property, land use controls, zoning ordinances, building codes, fees and charges, growth limits, and policies that affect the return on residential investment. One component of the State mandated housing element is an analysis of “governmental constraints,” a term that has the same meaning as the Consolidated Plan “barriers to affordable housing.” More specifically, Government Code Section 65583(a) requires that a housing element include: “An analysis of potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels...including land use controls, building codes and their enforcement, site improvements, fees and other exactions required of developers, and local processing and permit procedures....”

The City’s *2014-2021 Housing Element*, which was approved by the State Department of Housing and Community Development, determined that the City’s governmental powers did not negatively constrain the maintenance, improvement or development of housing for all income levels. The City does not have growth limits, or policies and ordinances that regulate the number of housing units that can be constructed annually.

The City does not have ordinances such as rent control that directly affect the residential investment rate of return. In affordable for-sale and for-rent projects, however, the City does enact controls in order to maintain affordability. For instance, in HOME-assisted ownership projects the City implements a recapture policy.

On the other hand, the City has taken actions to facilitate the production of affordable housing.

For example, steps have been taken to mitigate the impact of development fees such as:

- Freezing impact fees for affordable housing developments at the rate in effect in December 2006.
- In coordination with the Western Riverside Council of Governments (WRCOG), waiving the Traffic Uniform Mitigation Fee (TUMF) for all affordable housing developments per adopted fee ordinance.
- When utilizing the density bonus a developer may be eligible to receive a 50% reduction of impact fees and parkland fees for units affordable to very low-income households and a 25% reduction for units affordable to lower-income households.
- Deferral of development impact fees for affordable units, until issuance of Certificate of Occupancy

The development impact fee policies positively affect the return on residential investment.

With regard to density bonus policies, the city has an adopted density bonus ordinance that allows developers to receive a 25% density bonus. In addition to the 25% density bonus, developers building housing for senior citizens may receive an additional 75% density bonus, resulting in a cumulative density bonus of 100%. Moreover, the density bonus also allows developers of multi-family housing to

reduce their parking by one-half of a space for each dwelling unit that is affordable to very low and lower-income households.

Finally, tax policy affecting land and other property is governed by California state law. Property taxes are based on a property's assessed value. Property tax bills show land and improvement values. *Improvements* include all assessable buildings and structures on the land. *It does not necessarily mean recently "improved" property.* State law mandates that all property is subject to taxation unless otherwise exempted. In general, properties that are owned and used by educational, charitable, religious or government organizations may be **exempt** from certain property taxes.

Housing for low-income households owned and operated by a qualifying nonprofit organization is eligible for exemption from property taxes. The eligibility is based on family household income and the following restrictions:

- The property use is restricted to low-income housing by a regulatory agreement, recorded deed restriction, or other legal document;
- The funds that would have been necessary to pay property taxes are used to maintain the affordability of the housing or to reduce the rents for the units occupied by lower income households; and
- The property receives either state or federal low-income housing tax credits or government financing, or 90 percent or more of the tenants are qualified low-income tenants within the prescribed rent levels.

Therefore, Moreno Valley's affordable housing developments owned by nonprofit organizations are eligible for exemption from property taxes.

MA-45 Non-Housing Community Development Assets – 91.215 (f)

Introduction

The discussion of non-housing community development assets involve an analysis of the following tables:

- Table 39 – Business Activity
- Table 40 – Labor Force
- Table 41 – Occupations by Sector
- Table 42 – Travel Time
- Table 43 – Educational Attainment by Employment Status
- Table 44 – Education Attainment by Age
- Table 45 – Median Earnings in the Past 12 Months

Economic Development Market Analysis

Business Activity

Business by Sector	Number of Workers	Number of Jobs	Share of Workers %	Share of Jobs %	Jobs less workers %
Agriculture, Mining, Oil & Gas Extraction	855	33	1	0	-1
Arts, Entertainment, Accommodations	6,828	4,019	12	18	6
Construction	4,213	446	7	2	-5
Education and Health Care Services	10,250	4,259	18	19	1
Finance, Insurance, and Real Estate	2,559	1,146	4	5	1
Information	887	136	2	1	-1
Manufacturing	5,232	869	9	4	-5
Other Services	1,733	588	3	3	0
Professional, Scientific, Management Services	3,157	669	5	3	-3
Public Administration	0	0	0	0	0
Retail Trade	8,363	4,900	15	22	7
Transportation and Warehousing	4,626	3,414	8	15	7
Wholesale Trade	3,360	661	6	3	-3
Total	52,063	21,140	--	--	--

Table 39 - Business Activity

Data 2009-2013 ACS (Workers), 2013 Longitudinal Employer-Household Dynamics (Jobs)
Source:

Labor Force

Total Population in the Civilian Labor Force	92,687
Civilian Employed Population 16 years and over	78,084
Unemployment Rate	15.76
Unemployment Rate for Ages 16-24	31.33
Unemployment Rate for Ages 25-65	10.00

Table 40 - Labor Force

Data Source: 2009-2013 ACS

Occupations by Sector	Number of People
Management, business and financial	11,940
Farming, fisheries and forestry occupations	4,022
Service	9,537
Sales and office	22,275
Construction, extraction, maintenance and repair	8,008
Production, transportation and material moving	6,151

Table 41 – Occupations by Sector

Data Source: 2009-2013 ACS

Travel Time

Travel Time	Number	Percentage
< 30 Minutes	35,270	48%
30-59 Minutes	25,184	34%
60 or More Minutes	13,455	18%
Total	73,909	100%

Table 42 - Travel Time

Data Source: 2009-2013 ACS

Education:**Educational Attainment by Employment Status (Population 16 and Older)**

Educational Attainment	In Labor Force		Not in Labor Force
	Civilian Employed	Unemployed	
Less than high school graduate	13,270	2,385	7,364
High school graduate (includes equivalency)	15,997	3,267	6,491
Some college or Associate's degree	23,568	3,081	7,417
Bachelor's degree or higher	11,256	1,021	2,310

Table 43 - Educational Attainment by Employment Status

Data Source: 2009-2013 ACS

Educational Attainment by Age

	Age				
	18–24 yrs	25–34 yrs	35–44 yrs	45–65 yrs	65+ yrs
Less than 9th grade	386	1,238	2,783	5,760	3,455
9th to 12th grade, no diploma	4,629	3,850	4,902	4,486	1,294
High school graduate, GED, or alternative	9,026	8,355	7,432	9,971	3,455
Some college, no degree	8,442	8,283	6,335	11,954	2,399
Associate's degree	1,088	2,246	1,881	3,499	1,088
Bachelor's degree	719	3,181	2,596	4,687	1,172
Graduate or professional degree	26	787	937	2,419	601

Table 44 - Educational Attainment by Age

Data Source: 2009-2013 ACS

Educational Attainment – Median Earnings in the Past 12 Months

Educational Attainment	Median Earnings in the Past 12 Months
Less than high school graduate	23,079
High school graduate (includes equivalency)	26,729
Some college or Associate's degree	35,330
Bachelor's degree	45,063
Graduate or professional degree	62,438

Table 45 – Median Earnings in the Past 12 Months

Data Source: 2009-2013 ACS

Based on the Business Activity table above, what are the major employment sectors within your jurisdiction?

Moreno Valley has fewer jobs (approximately 21,100) located within the city limits than workers (approximately 52,100) (Table 39).

The business sectors offering the most jobs within Moreno Valley include retail trade, 4,900; education and health services, 4,259; arts, entertainment and accommodations, 4,019; and transportation and warehousing, 3,414.

Most residents are employed in the following business sectors: education and health care services, 10,250; retail trade, 8,363; and arts, entertainment, accommodations, 6,828; and manufacturing, 5,232.

Moreno Valley is home to several major employers who provide plenty of jobs for the local workforce. City Table 2 lists the community's major employers. The top four employers provide approximately 22,500 jobs, a number which exceeds the jobs estimate included in the Business Activity table. In fact, the Southern California Association of Governments estimates the total jobs in the Moreno Valley in 2015 numbered 39,811, an *increase of 22.5%* from 2007.

**City Table 2
City of Moreno Valley
Principal Employers: 2016**

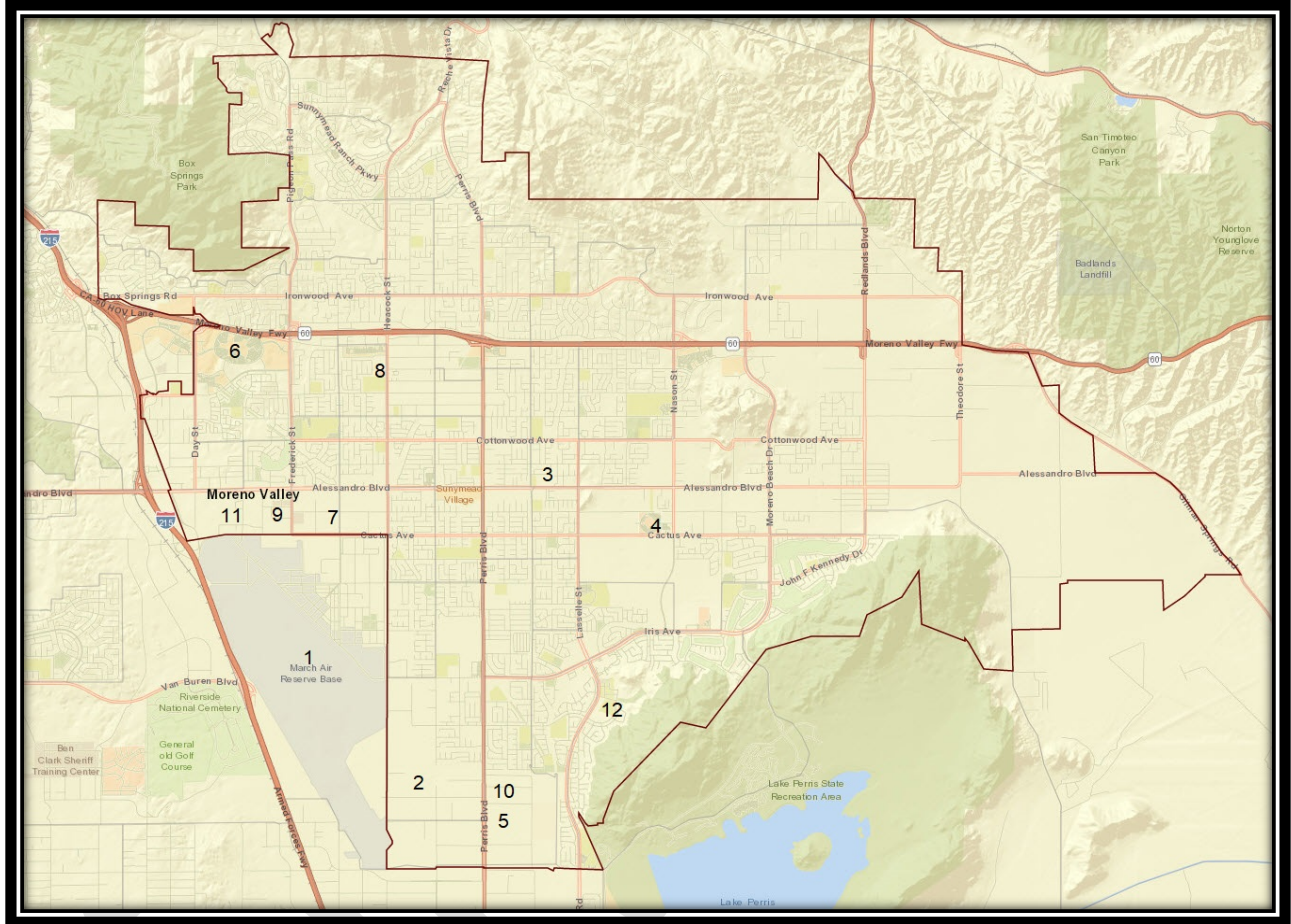
Employer Number	Employer	Business Type	Number of Employees	Location
1	March Air Reserve Base	Military Reserve Base	8,600	March Air Force Base
2	Amazon	Retail Distribution	7,500	24208 San Michele Rd.
3*	Moreno Valley Unified School District	Public Schools	3,489	25634 Alessandro Boulevard
4	Riverside University Health System (formerly RCRMC)	County Hospital	2,987	26520 Cactus Avenue
5	Ross Dress for Less	Retail Distribution	1,921	17800 Perris Blvd.
6	Moreno Valley Mall	Retail Mall	1,390	22500 Town Circle
7	Harbor Freight Tools	Retail Distribution	800	23400 Cactus Avenue
8	Kaiser Permanente Community Hospital/Office	Hospital/Medical Services	789	12815 Heacock Street
9	City of Moreno Valley	Municipal Government	713	14177 Frederick Street
N/A*	Val Verde Unified School District (MV Only)	Public Schools	680	975 West Morgan Street Perris, CA 92571
10	Walgreens Co.	Retail Distribution	600	17500 Perris Boulevard
11	Thor California	RV & Camper Manufacturer	595	14255 Ellsworth Street
12	Moreno Valley College	Higher Education	515	16130 Lasselle Street

Notes: Employer #3 is the location of the school district office. Employees are located throughout Moreno Valley at school locations as well as support facilities. The location of the Val Verde Unified School District is not shown since the office is located in the City of Perris. Employees are located throughout Moreno Valley at school locations as well as support facilities.

Source: City of Moreno Valley, *Comprehensive Annual Financial Report Fiscal Year Ended June 30, 2016*, Principal Employers and City of Moreno Valley Full-time and Part-time Employees by Function
Table construction by Castañeda & Associates

Exhibit 1, which shows the locations of the major employers, demonstrates that jobs are in close proximity to persons in the local labor force.

Exhibit 1 City of Moreno Valley Location of Major Employers



Attachment: Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR

Describe the workforce and infrastructure needs of the business community:

Among the workforce characteristics local Inland Empire companies are seeking as they add workers are:

- Higher education providing the skills needed by employees (new employees need to recognize that skills and technical abilities are changing rapidly and workers must continue with training and certifications to stay current)
- Acquire the appropriate technical education and training to fill employer needs

Source: John E. Husing, Ph.D., *Education & The Future Inland Empire Workforce*, Inland Empire Quarterly Economic Report, Vol. 28, No.3, July 2016, 5 pages

Dr Husing also has advocated for job growth in sectors with few educational barriers to entry and skill ladders up which workers can migrate to middle class incomes. Appropriate job growth sectors include health care, manufacturing, construction and logistics. The aim must be to enhance job creation in sectors with few educational barriers. As an example, Dr. Husing's research shows that logistics should remain a huge contributor to upper mobility for workers needing access to skill ladders leading to the middle class.

Source: John E. Husing, Ph.D., *Addressing the Inland Empire's Near Term Poverty*, Inland Empire Quarterly Economic Report, Vol. 26, No.1, January 2014, 6 pages

The City has ongoing efforts to improve the workforce educational opportunities. In early September 2017, the City and California Baptist University announced the opening of a new university educational center at the Moreno Valley Employment Resource Center. The result of the joint partnership between the City and CBU's Division of Online and Professional Studies is to bring university services to Moreno Valley in order to provide additional resources for residents to further their education.

The new CBU location serves as an enrollment center for new students as well as providing a classroom setting and study area for CBU students. The City is working closely with CBU officials to tailor programs to the growing Moreno Valley job market, focusing on the fields of global trade and logistics. The Bachelor's in Business with a concentration in Logistics and Operations Management will help residents who work at some of the large employers such as Amazon, Proctor & Gamble and Skechers warehouses.

In addition, the City Council has approved a Letter of Interest (LOI) between the City and Moreno Valley College to develop a strategic educational partnership. The strategic partnership seeks to pursue educational initiatives that enhance the quality of life for Moreno Valley residents, address the critical workforce development needs of the business community and help to prepare local residents for the jobs of the future in the growing fields such as, but not limited to, logistics, health care and technology.

Describe any major changes that may have an economic impact, such as planned local or regional public or private sector investments or initiatives that have affected or may affect job and business growth opportunities during the planning period. Describe any needs for workforce development, business support or infrastructure these changes may create.

In the future more jobs will be in closer proximity to residents as approved jobs producing developments are constructed. For example, the World Logistics Center, which was approved in August 2015, will create an estimated 13,000 construction jobs and 20,000 permanent jobs at a variety of skill levels. The World Logistics Center is located in the easterly portion of Moreno Valley – east of Redlands Boulevard, south of the Moreno Valley Freeway (State Route 60), and west of Gilman Springs Road. Its 2,610-acre campus will encompass more than 40 million square feet of next generation logistics facilities, creating one of the largest and most advanced centers in the country. The local workforce will be able to fill many of the jobs.

Highland Fairview - the developer of the World Logistics Center - has committed to provide nearly \$7 million to promote education, library, training and workforce development to further prepare Moreno Valley residents for the estimated 20,000 jobs that will be created by the WLC.

Exhibit 2 shows the location of the World Logistics Center.

How do the skills and education of the current workforce correspond to employment opportunities in the jurisdiction?

As noted above, some of the appropriate growth sectors include health care, manufacturing, construction and logistics. Developments have been approved that will dramatically increase the number of logistics jobs.

One of the key objectives of the City's Strategic Plan is to "Promote the development of the Medical Corridor along Nason Street to meet health care demands for residents of Moreno Valley and the region, bring quality jobs, and create business opportunities for ancillary support businesses in the healthcare industry." A related initiative is to "Determine the highest/best use of the City's parcel at Nason Street and Alessandro Boulevard and the exploration of an urban village concept including opportunity to integrate enhanced transit connections between this area and the new Perris Valley Line Metrolink Station west of I-215."

The City also is embarking on updating its *Economic Development Strategy Plan*. The plan will "focus on business attraction efforts on key growth industries conducive to the Moreno Valley market, such as logistics, green and clean technology, defense, aerospace, e-commerce, healthcare, medical device manufacturing, auto manufacturing, (and related fields), robotics, and global trade."

Describe any current workforce training initiatives, including those supported by Workforce Investment Boards, community colleges and other organizations. Describe how these efforts will support the jurisdiction's Consolidated Plan.

Economic development is a priority for the use of CDBG funds. There are workforce training resources located in Moreno Valley. A description of existing resources is given on page 72.

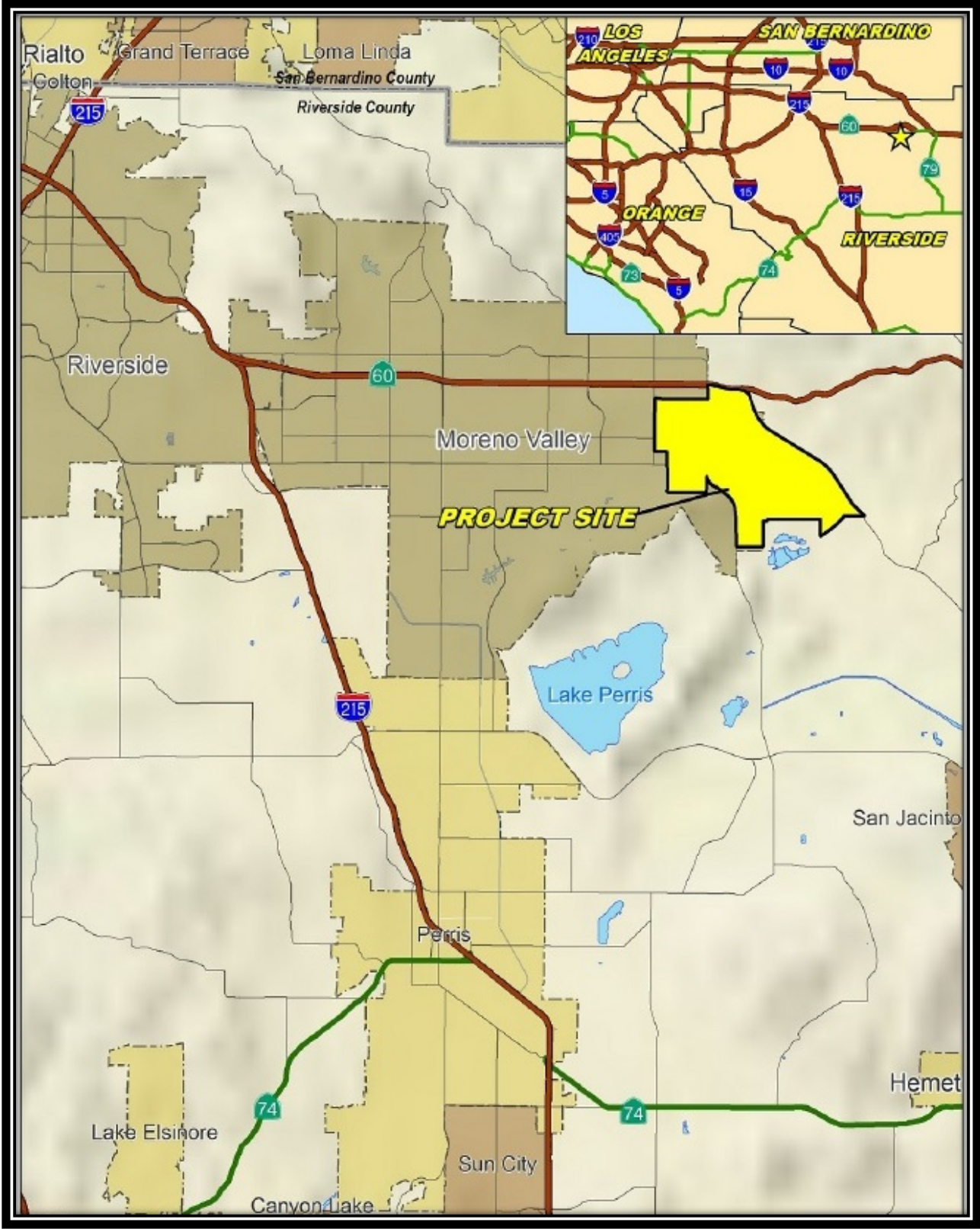


Exhibit 2 World Logistics Center Location Map

Attachment: Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR

Riverside County Workforce Investment Board

The Riverside County Workforce Investment Board is one of 600 private-sector led Workforce Investment Boards (WIBs) in the country. The City in collaboration with the Workforce Investment Center, operates a One-Stop Career Center in the City. One Stop Career Centers serve as a hub of the county-wide service delivery vehicle for workforce/education/business services. Workforce funds allocated to Local Boards support the job training, placement and business services delivered through the One-Stop Career Centers.

Inland Empire Small Business Development Center

The Inland Empire Small Business Development Center provides business consulting, training services and workshops to existing and start-up business enterprises which are located in the City. The goal of the Center is to create and support stronger, more competitive enterprises that generate jobs, higher and more profitable sales, access capital and produce better financial results. The Inland Empire SBDC establishes objectives for business start-ups, retaining jobs and creating jobs.

City of Moreno Valley Employment Resource Center (ERC)

The ERC provides job seekers with access to resources that are necessary to search and acquire employment within the city and surrounding areas. On-site job seekers have access to knowledgeable staff that assists with services such as job searches, job applications, one-on-one mock interviews and assist in preparing resumes. Resources include 29 computers with internet access, a computer lab for training purposes and a conference room for workshops and group activities.

Hire MoVal Grad Program

The City Council approved this program in March 2017. The Hire a MoVal Grad Program provides a cash incentive to businesses that hire and retain Moreno Valley residents that have earned a degree or certificate from among the accredited Riverside County education institutions or completed a Career Technical Certificate course sequence from the Riverside County Office of Education. The City Council approved a \$50,000 General Fund allocation to jump start the program.

Does your jurisdiction participate in a Comprehensive Economic Development Strategy (CEDS)?

A Planning Organization seeking to formulate and implement a regional economic development program will benefit from developing a CEDS. Successful economic development efforts are based on CEDS that provide an economic roadmap to diversify and strengthen regional economies. The Public Works and Economic Development Act of 1965, as amended (PWEDA), requires a CEDS in order to apply for investment assistance under EDA's Public Works or Economic Adjustment Assistance Programs. At EDA's discretion, EDA may accept CEDS that it has funded or CEDS prepared independently of EDA investment assistance or oversight.

The City is a participating jurisdiction in the County of Riverside's Comprehensive Economic Development Strategy. The strategy is intended to create new jobs, foster stable and diversified

economies with high wages and increase capital investment, thereby improving the living conditions throughout the various regions of Riverside County.

If so, what economic development initiatives are you undertaking that may be coordinated with the Consolidated Plan? If not, describe other local/regional plans or initiatives that impact economic growth.

The City of Moreno Valley has not independently prepared a CEDS. As noted above, the County wide strategy seeks to create new jobs, foster stable and diversified economies with high wages and increase capital investment, thereby improving the living conditions throughout the various regions of Riverside County.

Discussion

Refer to the analysis in the preceding paragraphs.

DRAFT

MA-50 Needs and Market Analysis Discussion

Are there areas where households with multiple housing problems are concentrated? (include a definition of "concentration")

HUD provides data on housing problems and *severe* housing problems. Housing problems include:

1. Housing units that lack complete kitchen facilities
2. Housing units that lack complete plumbing facilities
3. Households with more than one person per room (i.e., overcrowding)
4. Cost Burden - monthly housing costs (including utilities) exceeding 30% of monthly income

HUD also provides data on the number and share of households with one or more of the above problems and "severe cost burden" which means monthly housing costs (including utilities) exceeding 50% of monthly income.

Housing problems data are available for the entire City and by race/ethnicity, household type and household size. The race/ethnicity categories presented are the same as in other HUD-provided data. The household type and size categories presented are family households of less than five people, family households of five or more people, and non-family households of any size.

According to HUD data, there are 28,120 households living in Moreno Valley who experience one or more of the four housing problems. Based on 2010-2014 ACS data, it is estimated that 14,340 owners and 13,780 renters have one or more housing problems. Low- and moderate-income *owners* comprise 55% of all owners having a housing problem. Low- and moderate-income *renters* comprise 80% of all renters with a housing problem.

A review of HUD data revealed that a high percentage of households living in 10 census tracts experience housing problems. Two of the census tracts are located north of the Moreno Valley Freeway, six are located south of the Freeway and west of Perris Boulevard, and two are located south of the Freeway and east of Perris Boulevard.

City Table 3 shows for each of the 10 census tracts the number and percentage of households with one or more of the four housing problems. Three of the census tracts currently meet or previously met the thresholds to be designated a racially/ethnically concentrated area of poverty (R/ECAP): 425.05, 425.15 and 425.19.

Substandard housing does not contribute greatly to housing problems. The *2014-2021 Housing Element* estimates that the housing stock includes 840 substandard housing units.

Overcrowding also does not contribute significantly to housing problems. The 2011-2015 ACS estimates that approximately 2,100 owners and 3,400 renters are overcrowded (1.01 or more occupants per room). When the standard of 1.51 or more occupants per room is used to measure overcrowding, the scope of the problem is reduced to 300 owners and 1,000 renters.

Cost burdens, therefore, create the bulk of housing problems, particularly in neighborhoods that have a high proportion of renter-occupied housing.

City Table 3
City of Moreno Valley
Households with Housing Problems by Census Tract

Census Tract	Total Households with Any Problems	Total Households	Percent
425.19	380	515	74%
425.12	655	910	72%
425.05	630	875	72%
425.08	805	1,150	70%
425.11	615	890	69%
425.15	695	1,025	68%
489.02	1,205	1,790	67%
425.10	790	1,175	67%
425.21	740	1,120	66%
424.05	1,130	1,730	65%

Source: Map 6 – Housing Problems Race/Ethnicity Dot Density Map and National Origin Dot Density Map
Table construction by Castañeda & Associates

Are there any areas in the jurisdiction where racial or ethnic minorities or low-income families are concentrated? (include a definition of "concentration")

The ConPlan regulations state that the City must identify and describe any areas within Moreno Valley “with concentrations of racial/ethnic minorities...stating how it defines...area of minority concentration. The locations and degree of these concentrations must be identified, either in a narrative or on one or more maps.” (CFR 91.210)

The non-minority population is White, Non-Hispanic or Latino. Minority individuals are Hispanic or Latino, American Indian or Alaska Native, Asian, Black or African American, Native Hawaiian or Other Pacific Islander, multiracial minority (two or more races, at least one of which is a minority race).

To assist communities in identifying racially or ethnically-concentrated areas of poverty (R/ECAPs), HUD has developed a census tract-based definition of R/ECAPs. The definition involves a racial/ethnic concentration threshold and a poverty test. The racial/ethnic concentration threshold is straightforward: R/ECAPs must have a non-White population of 50% or more. Regarding the poverty threshold, a neighborhood can be an R/ECAP if it has a poverty rate that exceeds 40% or is three or more times the average tract poverty rate for the metropolitan/micropolitan area, whichever threshold is lower. Census tracts with this extreme poverty that satisfy the racial/ethnic concentration threshold are deemed by HUD to be R/ECAPs.

As noted previously, three of the census tracts currently meet or previously met the thresholds to be designated an R/ECAP: 425.05, 425.15 and 425.19. According to the 2011-2015 ACS data, Census Tract 425.15 is the City’s only R/ECAP. Census Tract 425.15 is bounded by the Moreno Valley Freeway, Heacock Street, Dracaea Avenue and Indian Street. It is a part of the Sunnymead Neighborhood. Exhibit 3 shows the boundaries of this neighborhood.

What are the characteristics of the market in these areas/neighborhoods?

An estimated 1,040 households live in Census Tract 425.15. The majority of the population living in the census tract is Hispanic. The sex of the householders is 527 male and 495 female. An estimated 325 households have 1 or more member with a disability. An estimated 582 of the 1,022 households have children under the 18 years of age.

The vast majority (82.5%) of the housing stock is renter-occupied. The median monthly gross rent is \$953. The median home value is \$193,800 and the median monthly owner cost is \$1,095.

Are there any community assets in these areas/neighborhoods?

Three affordable housing developments are located within Census Tract 425.15: Eucalyptus Towers (69 units), Postal Avenue (8 units) and Walker Terrace (48 units).

The neighborhood is a block away from Sunnymead Park and Sunnymead Plaza. It is adjacent to Sunnymead Middle School and Moreno Valley Plaza.

Are there other strategic opportunities in any of these areas?

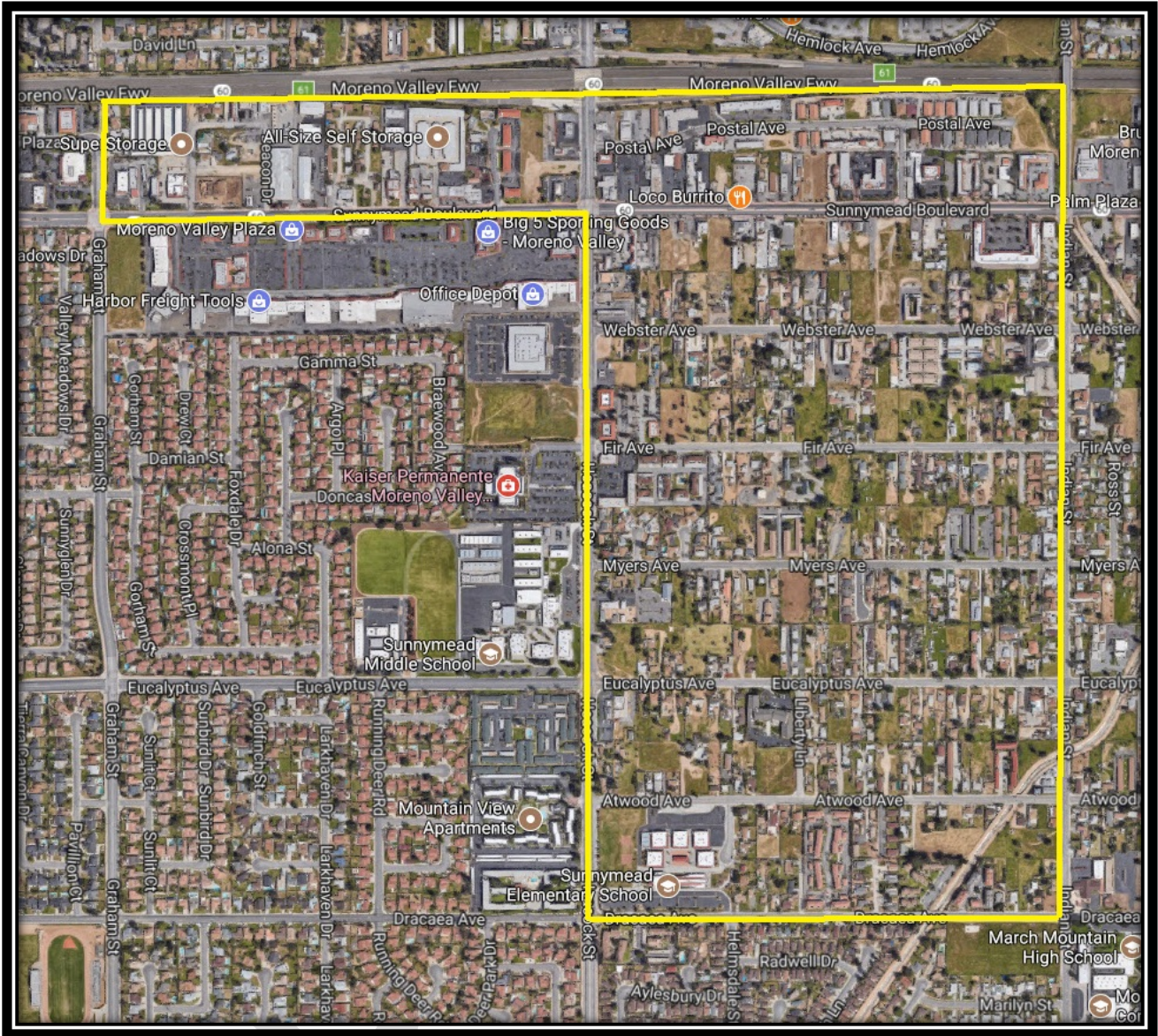
Census Tracts 425.15 and 425.19 are located with the geographic area of the Village Specific Plan. A purpose of the Village Plan is to revitalize the neighborhoods by providing a vision for the area and to create a balanced distribution of land uses. CDBG funds have been expended in the Village area including the installation of curb, gutter and sidewalks; park improvements; and street improvements.

The adopted *2014-2021 Housing Element* includes the following action program:

Encourage a mixture of diverse housing types and densities in new developments, guided by specific plans and the Mixed Use Overlay District, around Sunnymead and Alessandro Boulevards and throughout the City. Focus development activity within the Village Specific Plan (SP 204) area to suitably zoned underutilized land and the potential for mixed-use projects exists for the development of affordable housing.

Infill sites within the Village at Sunnymead (SP 204) can accommodate the City's housing need. The sites are zoned R15 and the majority of the sites are adjacent to one or more vacant parcels, so lot consolidation can be achieved in order to facilitate the development of affordable housing, using the City's lot consolidation incentives.

Exhibit 3
Census Tract 425.15



Attachment: Moreno Valley Consolidated Plan 2018/19-2022/23 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR

Strategic Plan

SP-05 Overview

Strategic Plan Overview

The Strategic Plan is the centerpiece of the Consolidated Plan. The Plan describes:

- General Priority Needs
- Influence of Market Conditions
- Anticipated Resources
- Institutional Delivery System
- Goals Summary
- Public Housing Accessibility and Involvement
- Barriers to Affordable Housing
- Homeless Strategy
- Lead Based Paint Hazards
- Anti-Poverty Strategy
- Monitoring

Key components of the Strategic Plan include three strategies: homeless strategy, actions to reduce lead-based paint hazards, and anti-poverty strategy. The nature and scope of each strategy is described below.

Homeless Strategy

- Reach out to homeless persons (especially unsheltered persons) and assess their individual needs
- Address the emergency shelter and transitional housing needs of homeless persons
- Help homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living
- Help low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families who are:
 - ✓ Likely to become homeless after being discharged from publicly funded institutions and systems of care
 - ✓ Receiving assistance from public and private agencies that address housing, health, social services, employment, education, or youth needs

Actions to Reduce Lead-based Paint Hazards

- Proposed actions to evaluate and reduce lead-based paint hazards
- Proposed actions to increase access to housing without such health hazards
- How the proposed actions will be integrated into housing policies and programs
- How the proposed actions are related to the extent of lead poisoning and hazards.

Anti-Poverty Strategy

- Establish goals, programs, and policies for reducing the number of poverty-level families.
- Describe activities designed to reduce the number of persons in poverty rather than on services provided to persons in poverty
- Describe the coordination of housing programs funded through the Consolidated Plan with the City's other programs and services in order to reduce the number of poverty-level families
- Describe job training, job placement, life skills training, and welfare to work programs designed to reduce the number of poverty-level families
- Describe policies for providing employment and training opportunities to Section 3 residents pursuant to 24 CFR 135

The Affordable Housing Strategy is described in the Annual Action Plan and may include four strategies:

- Rental assistance
- Production of new units
- Rehabilitation of existing units
- Acquisition of existing units

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SP-10 Geographic Priorities – 91.215 (a)(1)

Geographic Area

Table 46 - Geographic Priority Areas

Table 46 is not filled out because the *2018-2023 Consolidated Plan* will not identify “locally designated target areas.” In order to designate such an area, the City would need to carry out *multiple activities* in a *concentrated* manner to revitalize a neighborhood. To designate a locally designated target area, the following information would need to be developed:

- Identify the neighborhood boundaries of the target area
- Describe specific housing and commercial characteristics of the target area
- Describe how the consultation and citizen participation process helped to identify the neighborhood as a target area
- Identify the needs of the target area
- Describe barriers to the improvement of the target area

As in prior years, the City will focus its efforts within the CDBG Target Areas.

General Allocation Priorities

Describe the basis for allocating investments *geographically* within the jurisdiction (or within the EMSA for HOPWA)

When determining the geographic locations where Moreno Valley will allocate its investments, staff will consider if the project or program will be physically located within an already designated CDBG Target Area, and in line with whether the program will be directly benefitting the low-to-moderate income population in that area.

The City will consider the current level of poverty for an area. Poverty levels will act as a measure of need, providing staff with insight on the state of the population within that area and allow staff to fund services accordingly. Staff will also take public demand into account, recommendations from other City departments (such as Code Enforcement, Capital Projects, or the Police Department), reports from CDBG subgrantees which track referrals and measure trends in service levels, recommendations of other local entities such as the Continuum of Care, Department of Public Social Services, Housing Authority, Economic Development Agency and the local non-profits.

The CDBG program requires that each CDBG-funded activity must either principally benefit low and moderate income persons, aid in the prevention or elimination of slums or blight, or meet a community development need having a particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community and other financial resources are not available to meet that need. With respect to activities that principally benefit *low- and moderate-income persons*, at least 51% of the activity's beneficiaries must be low and moderate income.

Some CDBG assisted activities, such as parks, neighborhoods, public facilities, community centers and streets, serve an identified geographic area. These activities generally meet the low- and moderate-

income principal benefit requirement if 51% of the residents in the activity's *service area* are low and moderate income.

HUD's Office of Community Planning and Development prepares estimates of the number of persons that can be considered Low to Moderate at the Block Group level based on the 2006-2010 American Community Survey (ACS) data.

The list below identifies census tracts and block groups with 51% or more of the population having low and moderate incomes. When a census tract (CT) is listed it means that all the block groups in the census tract have 51% or more of the population having low and moderate incomes. When a block group (BG) is listed it means that the BG meets the 51% threshold but the other block groups within the CT do not.

- CT 42404, BG 1
- CT 42405
- CT 42406, BG 2
- CT 42408, BG 1
- CT 42409, BG 2
- CT 42505
- CT 42506
- CT 42507, BG 2
- CT 42508
- CT 42509
- CT 42510, BG 3
- CT 42511, BG 1
- CT 42512, BG 2
- CT 42513, BG 1 and BG 3
- CT 42514
- CT 42515
- CT42516
- CT 42517
- CT 42518, BG 2
- CT 42519, BG 1
- CT 42520, BG 1
- CT 42521, BG 2
- CT 46700. BG 2 and BG 3
- CT 48800
- CT 48901, BG 1
- CT 48902
- CT 51100, BG 1

For a better understanding of these areas, the Census definitions of census tract, block group and block are given below:

Census Tracts are small, relatively permanent statistical subdivisions of a county or equivalent entity that are updated by local participants prior to each decennial census as part of the Census Bureau's Participant Statistical Areas Program. Census tract boundaries generally follow visible and

identifiable features. They may follow nonvisible legal boundaries, such as minor civil division (MCD) or incorporated place boundaries in some states and situations, to allow for census-tract-to-governmental-unit relationships where the governmental boundaries tend to remain unchanged between censuses. State and county boundaries always are census tract boundaries in the standard census geographic hierarchy.

Census tracts generally have a population size between 1,200 and 8,000 people, with an optimum size of 4,000 people. A census tract usually covers a contiguous area; however, the spatial size of census tracts varies widely depending on the density of settlement. Census tract boundaries are delineated with the intention of being maintained over a long time so that statistical comparisons can be made from census to census. Census tracts occasionally are split due to population growth or merged as a result of substantial population decline.

For example, the area bounded by the Moreno Valley Freeway, Kitching Street, Alessandro Boulevard, and Lasselle Street is a census tract. For identification purposes, it is numbered 468.

Block Groups (BGs) are *statistical divisions of census tracts* and are generally defined to contain between 600 and 3,000 people, and are used to present data and control block numbering. A block group consists of clusters of blocks within the same census tract that have the same first digit of their four-digit census block number. For example, blocks 3001, 3002, 3003, . . . , 3999 in census tract 1210.02 belong to BG 3 in that census tract. A BG usually covers a contiguous area. Each census tract contains at least one BG, and BGs are uniquely numbered within the census tract.

For example, in Census Tract 468, the area bounded by Cottonwood Avenue, Kitching Street, Alessandro Boulevard, and Lasselle Street is Block Group 1, comprised of all the individual blocks with a beginning numbering in the 1000 range.

Blocks (Census Blocks) are statistical areas bounded by visible features, such as streets, roads, streams, and railroad tracks, and by nonvisible boundaries, such as selected property lines and city, township, school district, and county limits and short line-of-sight extensions of streets and roads. Generally, census blocks are small in area; for example, a block in a city is bounded on all sides by streets. Census blocks in suburban and rural areas may be large, irregular, and bounded by a variety of features, such as roads, streams, and transmission lines. In remote areas, census blocks may encompass hundreds of square miles.

Census blocks nest within all other tabulated census geographic entities and are the basis for all tabulated data. Census blocks are numbered uniquely with a four-digit census block number from 0000 to 9999 within census tract, which nest within state and county. The first digit of the census block number identifies the block group.

For instance, the area bounded by Cottonwood Avenue, Kitching Street, Bay Avenue and Stockbrook Road is Block 1004 in BG 1 in Census Tract 468.

SP-25 Priority Needs - 91.215(a)(2)

Priority Needs

Refer to Table 47 – Priority Needs Summary

Narrative (Optional)

The Needs Assessment describes four categories of need: housing, homelessness, supportive housing and non-housing community development (public facilities, public improvements and public services).

Priority needs refer to those that will be addressed by the goals outlined in the Strategic Plan.

- *High Priority* means that CDBG, HOME or ESG funds will be allocated to address that need.
- *Low Priority* means that funding may be allocated if funds become available

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Priority Needs Summary

1	Priority Need Name	Substandard Housing
	Priority Level	High
	Description	Existing mobile homes and single family homes need minor repairs.
	Population	Extremely Low Low Moderate Elderly Frail Elderly Persons with Physical Disabilities
	Target Areas Affected	CDBG Target Areas
	Associated Goals	Improve the condition of the existing housing stock.
	Basis for Relative Priority	The <i>2014-2021 Housing Element</i> indicates that mobile homes and single-family homes exhibit substandard housing conditions. Moreno Valley's existing housing stock includes 1,364 mobile homes of which 872 are located in seven mobile home parks. The existing housing stock contains 45,220 single family dwellings. The <i>2014-2021 Housing Element</i> estimates that housing units built between 1940 and 1969 comprise 7% of the housing stock.
	2	Priority Need Name
Priority Level		High
Description		Homelessness is impacting individuals and many persons are on the verge of homelessness due to unemployment and lack of income for housing.
Population		Extremely Low Homeless Chronically Homeless Mentally Ill Victims of Domestic Violence
Target Areas Affected		CDBG Target Areas
Associated Goals		Address homelessness through outreach, prevention, rapid re-housing, casework services and other intervention activities.
Basis for Relative Priority		The County of Riverside 2017 Point-in-Time Homeless Count estimated that Moreno Valley has 73 unsheltered homeless persons. A 6-bedroom emergency shelter is located within the City limits.
3		Priority Need Name
	Priority Level	High
	Description	Some of the public facilities such as parks and public buildings which are located in low and moderate neighborhoods need improvement and some neighborhoods lack adequate drainage systems, water lines, traffic signals, street lighting and street improvements.

	Population	Extremely Low Low Moderate
	Target Areas Affected	CDBG Target Areas
	Associated Goals	Improve/upgrade public facilities and infrastructure.
	Basis for Relative Priority	The FY 2016-2021 <i>Capital Improvements Program</i> identifies public facilities and infrastructure that need improvement and upgrades and that will be funded by CDBG funds: e.g., sidewalks, storm drains, buildings and ADA improvements.
4	Priority Need Name	Public Service Programs
	Priority Level	High
	Description	Services and assistance to low and moderate income persons to address basic needs, public safety, transportation, job training, and needs of school-aged youth.
	Population	Extremely Low Low Moderate Elderly Frail Elderly Persons with Physical Disabilities Abused and Neglected Children School Age Youth
	Target Areas Affected	CDBG Target Areas
	Associated Goals	Improve the well-being of low- and moderate-income persons.
	Basis for Relative Priority	The responses to notices of CDBG, CDBG and HOME funding availability have demonstrated the need to continue to financially support the activities of organizations addressing the needs of low and moderate income persons.
5	Priority Need Name	Housing Discrimination
	Priority Level	High
	Description	Need for fair housing and tenant/landlord counseling services.
	Population	Extremely Low Low Moderate Large Families Families with Children Elderly Frail Elderly Persons with Mental Disabilities Persons with Physical Disabilities Persons with Developmental Disabilities Victims of Domestic Violence
	Target Areas Affected	None City-wide

	Associated Goals	Achieve fair housing for all.
	Basis for Relative Priority	Identified as priority need by the <i>Draft 2017 Assessment for Fair Housing (AFH)</i> .
6	Priority Need Name	Economic Development
	Priority Level	High
	Description	Strong economic development is needed to retain and attract businesses and to reduce the unemployment and poverty rates.
	Population	Extremely Low Low Moderate
	Target Areas Affected	None City-wide
	Associated Goals	Promote economic development activities
	Basis for Relative Priority	Economic development was identified as a priority need by the City's Economic Development Strategy Plan and research and analysis completed for several planning studies.
7	Priority Need Name	Planning and Administration
	Priority Level	High
	Description	Overall program management, coordination, monitoring, and evaluation of projects funded by CDBG, HOME and ESG funds and the preparation of the Annual Action Plans and CAPERs.
	Population	Extremely Low Low Moderate Large Families Families with Children Elderly Elderly Frail Elderly Persons with Mental Disabilities Persons with Physical Disabilities Persons with Developmental Disabilities Persons with Alcohol or Other Addictions Non-housing Community Development
	Target Areas Affected	None City-wide
	Associated Goals	Effective administration of the CDBG, HOME and ESG funded programs.
	Basis for Relative Priority	Compliance with all HUD Consolidated Plan, CDBG, HOME and ESG program regulations is a requirement for participation in these programs.

Table 47 – Priority Needs Summary

SP-30 Influence of Market Conditions – 91.215 (b)

Influence of Market Conditions

Affordable Housing Type	Market Characteristics that will influence the use of funds available for housing type
Tenant Based Rental Assistance (TBRA)	In determining whether to undertake TBRA programs, the City will take into consideration: documented local need, documented local demand, existing services offering that type of assistance currently provided by the City and/or it's subgrantees, existing services offering that type of assistance currently provided by other regional organizations (i.e., County and State programs), the possibility of expansion of financial education programs, evaluation of the area rents, costs of utilities, degree of need based on other pertinent community needs, available funding and how many persons the funding is able to assist.
TBRA for Non-Homeless Special Needs	In determining whether to undertake TBRA for non-homeless/ special needs programs, the City will take into consideration: documented local need, documented local demand, degree of need based on other pertinent community needs, existing services offering that type of assistance currently provided by the City and/or it's subgrantees, existing services offering that type of assistance currently provided by other regional organizations (i.e., County and State programs), area statistics for special needs populations, evaluation of changing trends.
New Unit Production	The City will evaluate individual projects/proposals with an emphasis on availability of adequate amount of funding to subsidize the new project and/or the availability of other (funding) resources in which to leverage projects with such as State Multifamily Housing Program (MHP). The City will consider the land values, analysis of the overall construction costs and 'cost per door' as per industry standards. It will compare costs to past City projects, and research to ensure reasonable development fees are imposed.
Rehabilitation	At the City level, sufficient amount of City entitlement is available to offer rehab a program and there is sufficient staff capacity to adequately carry-out/manage rehab programs. At the market level, characteristics that would influence the use of housing funds toward a rehab activity include: home values, homeowner's ability and willingness to borrow money, construction costs, public need and demand, evaluation of housing types in need of rehab and specific circumstances and types of repairs needed for those housing units, availability of other funding sources in which to leverage projects.
Acquisition, including preservation	Prior to any acquisition, the City would consider the following market characteristics: a full evaluation of parcel size, zoning & allowable land uses, proximity to Target Areas, current land values, costs of maintenance (current and long term), projection of how quickly a project would be completed, availability of monies in which to purchase land.

Table 48 – Influence of Market Conditions

SP-35 Anticipated Resources - 91.215(a)(4), 91.220(c)(1,2)

Introduction

Over the 5-year period of the Consolidated Plan, the City anticipates resources to be received from the CDBG, HOME and ESG programs in the following amounts:

- CDBG \$9.0 million
- HOME \$2.5 million
- ESG \$875,000

Table 49 explains the general uses of the funds, the expected amount to be available in FY 2018/2019, the expected amount to be available in the remaining four years of the Consolidated Plan, and a narrative description of each funding program.

Source Of Funds	Source	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	1,800,000				7,200,000	A formula-based program that annually allocates funds to metropolitan cities, urban counties, and states for a wide range of eligible housing and community development activities.

Source Of Funds	Source	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
HOME	public - federal	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	500,000				2,000,000	A formula-based program that provides allocations to states and units of general local governments, known as participating jurisdictions. Its purpose is to retain and expand the supply of affordable housing principally for low- and extremely low-income families through housing rehabilitation, new construction, first-time home buyer financing, and rental assistance.

Source Of Funds	Source	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
ESG	public - federal	Conversion and rehab for transitional housing Financial Assistance Overnight shelter Rapid re-housing (rental assistance) Rental Assistance Services Transitional housing	175,000				700,000	A formula -based program that allocates funds to states, metropolitan cities, and urban counties to support emergency shelters and other assistance for homeless individuals and families.

Table 49 - Anticipated Resources

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

Leveraging

The City and HUD share an interest in leveraging HUD resources to the maximum extent feasible in order to address priority needs and associated goals.

During the 5-year period of the ConPlan the City will seek funds to leverage the Federal CDBG, HOME and ESG funds.

Volunteer services and private donations provide additional resources to leverage CDBG funds for public service projects.

In the past, Moreno Valley has actively leveraged its affordable housing projects, mostly with Redevelopment Set-aside funds. As the Redevelopment Agency was dissolved, the city will continue its efforts to leverage projects with other available resources. Some potential leveraging resources are listed below:

Low-income Housing Tax Credit (LIHTC) - The California Tax Credit Allocation Committee (TCAC) facilitates the investment of private capital into the development of affordable rental housing for low-income Californians. TCAC allocates federal and state tax credits to the developers of these projects. Corporations provide equity to build the projects in return for the tax credits. TCAC verifies that the developers have met all the requirements of the program and ensures the continued affordability and habitability of the developments for the succeeding 55 years.

Affordable Housing Sustainable Communities Housing Program: AHSC directs investments to historically under-invested communities, giving more Californians access to opportunity. At least 50% of AHSC funding is required by state law to be allocated to affordable housing and projects in, or that provide a benefit to, disadvantaged communities. These communities are defined by the California Environmental Protection Agency's CalEnviroScreen tool, which combines environmental, health and socioeconomic data by census tract to indicate the level to which communities are impacted by pollution. New legislation will also require AHSC to invest in low-income census tracts throughout the state.

Additional housing resources are listed below:

Housing Choice Vouchers The Section 8 rental voucher program provides rental assistance to help very low income families afford decent, safe, and sanitary rental housing. The Housing Authority accepts the application for rental assistance, selects the applicant for admission, and issues the selected family a rental voucher confirming the family's eligibility for assistance. The family must then find and lease a dwelling unit suitable to the family's needs and desires in the private rental market. The Housing Authority pays the owner a portion of the rent (a housing assistance payment (HAP)) on behalf of the family.

More than 1,100 City households currently receive Section 8 housing vouchers.

Mortgage Credit Certificate Program - Income tax credits are available to first-time homebuyers to buy new or existing single family housing. Riverside County administers program on behalf of jurisdictions in the County.

A Mortgage Credit Certificate (MCC) entitles qualified home buyers to reduce the amount of their federal income tax liability by an amount equal to a portion of the interest paid during the year on a home mortgage. This tax credit allows the buyer to qualify more easily for a loan by increasing the effective income of the buyer. The Riverside County MCC Program provides for a 20% rate which can be applied to the interest paid on the mortgage loan. The borrower can claim a tax credit equal to 20% of the interest paid during the year. Since the borrowers taxes are being reduced by the amount of the credit, this increases the take-home pay by the amount of the credit. The buyer takes the remaining 80% interest as a deduction. When underwriting the loan, a lender takes this into consideration and the borrower is able to qualify for a larger loan than would otherwise be possible.

Matching Requirements

Entitlement cities receiving HOME funds are required to contribute a 25% match of non-HOME funds for every dollar of HOME funds spent. In general, as cities draw their HOME funds, they will incur a match liability, which must be satisfied by the end of each fiscal year. The HOME statute also provides a reduction of the matching contribution under three conditions: 1. Fiscal distress, 2. severe fiscal distress, and 3. presidential disaster declarations. Moreno Valley has been identified by HUD as a fiscally distressed jurisdiction for several consecutive years and has been granted a 100-percent match reduction. The City anticipates that the ‘fiscally distressed’ classification to continue through the entire Consolidated Plan period.

If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

Current land holdings that may be available for affordable housing developments include:

- Day/Alessandro 8.15 acres
- Fir/Heacock 0.90 acres
- Eucalyptus/Heacock 1.40 acres
- Atwood/Indian 1.32 acres
- Cottonwood/Indian 8.62 acres
- JFK/Elm 0.17 acres
- Sheila/Perris 0.18 acres

Discussion

Please refer to preceding paragraphs.

SP-40 Institutional Delivery Structure – 91.215(k)

Explain the institutional structure through which the jurisdiction will carry out its Consolidated Plan including private industry, non-profit organizations, and public institutions.

The Consolidated Plan must provide a concise summary of the organizations that will carry out the objectives outlined in the Strategic Plan. This group of organizations, known as the jurisdiction's institutional structure, may include, but is not limited to:

- City Departments
- Other government agencies
- Nonprofit organizations
- Community and faith-based organizations
- Philanthropic organizations
- Private industry
- Continuum of Care that serves Moreno Valley

Responsible Entity	Responsible Entity Type	Role	Geographic Area Served
Financial and Management Services Department, Financial Operations Division	City Department	Lead agency/entity responsible for preparing and administrating the Consolidated Plan	City of Moreno Valley
Public Works Department	City Department	Responsible for public facilities and improvement projects	CDBG Target Areas
Police Department	City Department	Responsible for Community Policing Program	CDBG Target Areas
Code & Neighborhood Services Division	City Department Division	Responsible for Neighborhood Code Enforcement Program	CDBG Target Areas
Fair Housing Council of Riverside County, Inc.	Nonprofit Organization	Responsible for Fair Housing Program	City of Moreno Valley
Habitat for Humanity	CHDO	Responsible for Housing Programs	City of Moreno Valley
Various nonprofit organizations	Nonprofit Organizations	Responsible for Implementing public service projects	CDBG Target Areas

Table 50 - Institutional Delivery Structure

Assess of Strengths and Gaps in the Institutional Delivery System

The institutional delivery system requires the participation of many organizations in order to accomplish the Con Plan goals. Coordination with other public and private agencies is necessary. The establishment of solid working relationships is key in being able to assist and enable service providers to better assist those in need. The City has worked to build cooperative relationships with surrounding jurisdictions and agencies, as well as nonprofit organizations. This has proven to be strength for Moreno Valley.

Availability of services targeted to homeless persons and persons

Several service providers provide shelter and services to Moreno Valley homeless. In the past, the City has provided CDBG funding to the following organizations to assist the homeless: Community Assistance Program (Food Distribution), Lutheran Social Services (Transitional Living Program), Riverside County (Cold Weather Shelter), Gods Helping Hand (Food Distribution), PW Enhancement Center (Emergency Motel Vouchers), Operation Safehouse (Emergency Youth Shelter), Alternatives to Domestic Violence (Emergency Shelter), God's Helping Hand (Food Distribution), Path of Life Shelter (Emergency and Transitional Housing). The City also participates in Riverside County's Continuum of Care Application.

Availability of services targeted to homeless persons and persons with HIV and mainstream services

Homelessness Prevention Services	Available in the Community	Targeted to Homeless	Targeted to People with HIV
Homelessness Prevention Services			
Counseling/Advocacy	X	X	
Legal Assistance	X	X	
Mortgage Assistance	X		
Rental Assistance	X		
Utilities Assistance	X		
Street Outreach Services			
Law Enforcement	X		
Mobile Clinics			
Other Street Outreach Services		X	
Supportive Services			
Alcohol & Drug Abuse		X	
Child Care	X	X	
Education	X	X	X
Employment and Employment Training	X	X	
Healthcare		X	X
HIV/AIDS			X
Life Skills	X	X	
Mental Health Counseling		X	X
Transportation	X	X	
Other			
Other			X

Table 51 - Homeless Prevention Services Summary

Describe how the service delivery system including, but not limited to, the services listed above meet the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth)

In addition to the services delivered by or with the City's assistance, the CoC implements a countywide Coordinated Entry System (CES) to assess homeless individuals/families using the VI-SPDAT that tracks the length of time a client has been on the streets or in emergency shelter. DPSS use HUD CoC Program planning grant funding to measure system-wide performance in HMIS, such as length of time homeless. This is used to help the CoC prioritize and house those with longest length of time homeless. The planning process also includes working with the CoC Standards and Evaluation Committee to continue developing strategies to prioritize chronically homeless individuals/families with the longest time homeless and most severe needs, including:

- Increasing the supply of permanent supportive housing and rapid rehousing;
- Housing individuals/families identified in CES with the longest time homeless first; and
- Using HMIS data to record episodes of homelessness and destination at program exit to track agency and system performance.

The CoC has also adopted a "Housing First" approach that is based on new evidenced-based and promising practices and endorsed by HUD to place a homeless individual or family in permanent housing and provide services to keep them stably housed.

Homeless CoC youth providers have implemented outreach and service based events in the communities to draw homeless youth, unaccompanied and transitional age, into contact with services available to them. Housing Authority of the County of Riverside in collaboration with Operation SafeHouse opened a permanent supportive housing program called Harrison House for transitional age youth, in the eastern region of Riverside County.

The CofC 2017 Housing Inventory included:

- Transitional Housing for Adult Individuals
- Transitional Housing for Mixed Populations
- Permanent Supportive Housing for Families
- Permanent Supportive Housing for Mixed Populations
- Permanent Supportive Housing for Adult Individuals
- Permanent Supportive Housing for Youth
- Rapid Re-Housing for Families
- Rapid Re-Housing for Mixed Populations

Describe the strengths and gaps of the service delivery system for special needs population and persons experiencing homelessness, including, but not limited to, the services listed above

The City has cooperative relationships with surrounding jurisdictions, diverse types of agencies, and nonprofits in order to meet Consolidated Plan goals. This coordination has lead to solid working relationships that enable all service providers to better assist those in need.

Non-Profit Organizations: The City utilizes a variety of nonprofit organizations to address community needs, such as homelessness, special needs, fair housing and food distribution services.

Public Housing Authority: The Housing Authority of the County of Riverside continues to administer public housing and the Housing Choice Voucher Program (Section 8) for Moreno Valley residents. Issues relating to public housing are included in the Consolidated Plan for Riverside County. The City will work with the Housing Authority to improve the living environment of residents.

JPA: The City is a member of the March Joint Powers Authority (JPA). The JPA is a public entity created for the purpose of addressing the use, reuse, and joint use of realigned March ARB. The JPA approved a Homeless Assistance Program and is the location of two local transitional homeless facilities.

Coordination with those described above has led to solid working relationships that assisted to enable all service providers to better assist those in need and created a strong network of individual agencies working toward a common goal.

Provide a summary of the strategy for overcoming gaps in the institutional structure and service delivery system for carrying out a strategy to address priority needs

With resources becoming more and more limited, the City proposes to overcome gaps in institutional structure by:

- 1) Maintaining open communication with subgrantees and other consolidated planning partners;
- 2) Utilizing technology to share, distribute information, foster and maintain constant contact with community planning partners; and
- 3) Recommending and assisting to coordinate the use of volunteers (volunteer based organizations) in which to fill gaps where it logically makes sense

SP-45 Goals Summary – 91.215(a)(4)

Goals Summary Information

Please refer to Table 52 – Goals Summary – below. Attachment 1 describes the Goal Outcome Indicators.

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Improve the condition of the existing housing stock	2018	2022	Housing	CDBG Target Areas (Area Benefit Neighborhoods)	Substandard Housing	CDBG: \$1,500,000	Housing Code Enforcement/Foreclosed Property Care: 5,000 Households/Housing Units
							CDBG: \$50,000	Homeowner Housing Rehabilitated: 50 Households/Housing Units
							HOME: \$600,000	Homeowner Housing Rehabilitated: 40 Households/ Housing Unit
							HOME: \$1,650,000	Rental Units Rehabilitated: 16 Households/Housing Units
2	Address homelessness through outreach, prevention, rapid re-housing, casework services and other activities	2018	2022	Homeless	City-wide	Homelessness	ESG: \$784,375	Rapid Re-housing: 800 Households Assisted Homeless Prevention: 800 Persons Assisted
3	Improve/upgrade public facilities and infrastructure	2018	2022	Non-Housing Community Development	City-wide and CDBG Target Areas	Public Facilities and Infrastructure	CDBG: \$4,050,000	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: 8,000 persons assisted

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
4	Improve the well-being of low- and moderate-income persons	2018	2022	Non-Housing Community Development	City-wide and CDBG Target Areas	Public Service Programs	CDBG: \$1,100,000	Public Services Activities for other than Low/Moderate Income Housing Benefit: 290,000 Persons Assisted
5	Achieve fair housing for all	2018	2022	Non-Housing Community Development	City-wide	Housing Discrimination	CDBG: \$250,000	Public Services Activities for other than Low/Moderate Income Housing Benefit: 23,500 Persons Assisted
6	Promote economic development activities	2018	2022	Non-Housing Community Development City Economic Development	City-wide	Economic Development	CDBG: \$250,000	Jobs Created/Retained: 100 Businesses Assisted: 390
7	Effective administration of the CDBG, HOME and ESG Programs	2018	2022	Other	City -wide	Planning and Administration	CDBG: \$1,800,000	Other: 5,050 Households/Housing Units 321,500 Persons Assisted
							HOME: \$250,000	Other: 56 Households/Housing Units
							ESG: \$65,625	Other: 800 Households Assisted 800 Persons Assisted
							HMIS: \$25,000	Other: Homeless Management Information System

Table 52 – Goals Summary

Goal Descriptions

1	Goal Name	Improve the condition of the existing housing stock and neighborhoods.
	Goal Description	The City will provide CDBG and HOME funds to improve the existing housing stock so that it provides decent, safe and sanitary housing and improves neighborhood conditions.
2	Goal Name	Address homelessness through outreach, prevention, rapid re-housing, casework services and other intervention activities.
	Goal Description	The City will allocate ESG funding to organizations that address the needs of homeless individuals.
3	Goal Name	Improve/upgrade public facilities and infrastructure.
	Goal Description	The City will allocate CDBG funds to improve and upgrade public facilities and infrastructure such as public buildings, parks, streets, and storm drains.
4	Goal Name	Improve the well-being of low- and moderate-income persons.
	Goal Description	The City will provide CDBG financial support to organizations that address basic needs, public safety, transportation, job training, and needs of school-aged youth.
5	Goal Name	Achieve fair housing for all.
	Goal Description	The City will continue to allocate CDBG funds to a fair housing provider that will investigate housing discrimination complaints and tenant/landlord issues.
6	Goal Name	Promote economic development activities.
	Goal Description	The City will promote economic development activities that assist existing and start-up businesses and retain and create jobs.
7	Goal Name	Effective administration of the CDBG, HOME and ESG programs.
	Goal Description	The City will strive to achieve the goals, priority needs and funding priorities of the Consolidated Plan. The City will continue to comply with the planning and reporting requirements of the Consolidated Plan regulations and CDBG regulations. Annually, the City will monitor its use of CDBG funds to ensure effective and appropriate use of funds.

Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.315(b)(2)

HOME 91.315(b)(2) definitions refer to the income eligibility and affordability requirements for housing financially assisted by the HOME program. These requirements are spelled out in detail in CFR 92.252 and CFR 92.254.

HOME funds will assist 40 homeowners and 16 renter-occupied housing units.

SP-50 Public Housing Accessibility and Involvement – 91.215(c)

Need to Increase the Number of Accessible Units (if Required by a Section 504 Voluntary Compliance Agreement)

Section 504 of the Rehabilitation Act of 1973, as amended often is called simply "Section 504." Section 504 is not the only law that prohibits disability discrimination in programs receiving HUD funds or financial assistance. Other Federal laws that provide nondiscrimination on the basis of disability include the Fair Housing Act, the Americans with Disabilities Act, and the Architectural Barriers Act.

The Section 504 regulations define an accessible dwelling unit as a unit that is located on an accessible route and can be approached, entered, and used by individuals with physical disabilities. A unit that is on an accessible route and is adaptable and otherwise in compliance with the standards set forth in 24 CFR 8.32 is accessible. In addition, the Section 504 regulations impose specific accessibility requirements for new construction and alteration of housing and non-housing facilities in HUD assisted programs. Section 8.32 of the regulations states that compliance with the appropriate technical criteria in the Uniform Federal Accessibility Standards (UFAS), or a standard that is equivalent to or stricter than the UFAS, is an acceptable means of meeting the technical accessibility requirements in Sections 8.21, 8.22, 8.23 and 8.25 of the Section 504 regulations.

A Voluntary Compliance Agreement (VCA) is an agreement between a governmental entity receiving HUD funds and HUD that is voluntary and has the purpose of settling claims set forth against the entity by complainants and/or HUD. The Housing Authority of the County of Riverside has not been required to enter into a VCA regarding increasing the number of accessible units.

Activities to Increase Resident Involvements

HUD promotes resident participation and the active involvement of residents in all aspects of a HA's [housing authority's] overall mission and operation. According to HUD, "Residents have a right to organize and elect a resident council to represent their interests." To further the increases of resident involvement, the Housing Authority has established a Resident Advisory Board (RAB). The RAB provides the HA and the residents with a forum for sharing information about the Agency's Annual Plan. RAB membership is comprised of individuals who reflect and represent the residents assisted by the PHA. The role of the RAB is to assist the PHA in developing the Public Housing Agency (PHA) Plan and in making any significant amendment or modification to the Plan.

The HA also implements the Family-Self Sufficiency Program (FSS), a program which was established to assist Section 8 residents and enables families to gain economic independence from all governmental assistance. Supportive services offered to participating families include: Remedial Education and Classroom Training; Employment Training and Placement; Counseling/Case Management; Credit Counseling and Money Management; Child Care; and Transportation. For residents that require temporary loans, the Revolving Loan Fund (RLF) enables those program participants to obtain financial assistance for repairs of vehicles, the purchase of bus passes, childcare costs, and special educational needs such as scholarships.

To assist first-time homebuyers, the Housing Authority has established a Homeownership Program (HP). The HP assists eligible participants in the Section 8 program, who are also participants of the FSS

program by offering a single down payment assistance grant. In order to maximize the use of resources available to home seekers, the Housing Authority’s program also targets families who take part in the Riverside County Economic Development Agency’s (EDA) First Time Home Buyer Program (FTHB). In combination, the HA/FTHB partnership enables families to realize their dream of becoming homeowners by providing them with financial and other resources that they would not normally have access to.

The Homeownership Program includes:

- Analysis of family income, credit reports and income/job history and a follow-up plan
- Assistance with cleaning up of credit problems
- Working closely with Family Self Sufficiency (FSS) to obtain the goal of "HOMEOWNERSHIP" while earning an escrow account
- Down Payment Assistance currently available.

Is the public housing agency designated as troubled under 24 CFR part 902?

Troubled housing authorities are those which receive a score of 60 points (out of a possible 100) or less pursuant to HUD’s Public Housing Assessment (PHAS) Program. The scoring is based on the following four factors:

- Physical condition 40 pts
- Financial condition 25 pts
- Management operations 25 pts
- Capital Fund Program 10 pts
100 pts

The County of Riverside Housing Authority is a High Performer. A High Performer is a PHA that owns or manages more than 550 combined public housing units and housing choice vouchers, and was designated as a high performer on both of the most recent Public Housing Assessment System (PHAS) and Section Eight Management Assessment Program (SEMAP) assessments.

Plan to remove the ‘troubled’ designation

N/A

SP-55 Barriers to affordable housing – 91.215(h)

Barriers to Affordable Housing

One component of the State mandated housing element is an analysis of “governmental constraints,” a term that has the same meaning as the Consolidated Plan “barriers to affordable housing.” More specifically, Government Code Section 65583(a) requires that a housing element include: “An analysis of potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels...including land use controls, building codes and their enforcement, site improvements, fees and other exactions required of developers, and local processing and permit procedures....”

The State Department of Housing and Community Development approved the City’s analysis of governmental constraints and its related action plan.

Strategy to Remove or Ameliorate the Barriers to Affordable Housing

The *2014-2021 Housing Element* describes the key components of the City’s strategy to mitigate, ameliorate and/or remove barriers to affordable housing as follows:

- When feasible, consider reducing, waiving, or deferring development fees to facilitate the provision of affordable housing.
- Periodically review and revise City development standards to facilitate quality housing that is affordable to lower and moderate income households.
- Monitor all regulations, ordinances, departmental processing procedures and fees related to the rehabilitation and/or construction of dwelling units to assess their impact on housing costs.
- Ensure that water and sewer providers are aware of the City’s intentions for residential development throughout the City.

SP-60 Homelessness Strategy – 91.215(d)

According to the ConPlan regulations, the Homelessness Strategy must describe the City's strategy for:

- Reaching out to homeless persons and assessing their individual needs.
- Addressing the emergency shelter and transitional housing needs of homeless persons.
- Rapid-rehousing.
- Homelessness prevention.

Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

In line with the HUD requirements, the City has developed a comprehensive Homeless Strategy that involves reaching out to homeless persons, assessing and addressing their individual emergency/housing needs. To reach these individuals, the City extends CDBG funding to a variety of public service subgrantees that in turn provide the direct services including street outreach, case management, housing search assistance, emergency housing/motel vouchers, food, and counseling. These social service programs are often the primary source for referrals and assistance to homeless persons, and primary contact for unsheltered individuals. The majority of the homeless population will become aware of a program through word of mouth, and seek out services by calling the service provider or traveling to their local office.

The County of Riverside CoC has established chronically homeless persons as the highest need priority based on the goals HUD has established in its *Opening Doors: Federal and Strategic Plan to Prevent and End Homelessness*. The CoC has implemented a Coordinated Entry System (CES) to ensure appropriate intervention is utilized to serve those living on the streets and providing for a prioritization of vulnerability and linkage to community resources and housing based on the vulnerability prioritization.

Within the CoC, there are several outreach teams from County, cities, and nonprofit homeless providers that cover specific populations or geographic regions in the County. There are also specific outreach teams serving the mentally ill, veterans, youth and chronic homeless. The teams collaborate weekly and each conducts daily mobile outreach and provides client services focused on the chronically homeless populations living on the streets to connect them with supportive services and achieve housing stability. The Riverside University Health System-Behavioral Health (RUHS-BH) has outreach peer specialists that perform initial field assessments, in depth assessments, referrals to all contacts, and linkages to various community organizations.

Addressing the emergency and transitional housing needs of homeless persons

Addressing the housing needs of the homeless is the primary objective of ESG funding and one of the City's highest priorities for the use of CDBG public service dollars. ESG funding will be allocated to address the emergency shelter and housing needs of homeless persons located in Moreno Valley. The City's ESG program allocation will be used to leverage the homeless prevention efforts originally initiated by CDBG. However, ESG will provide for a much needed injection of additional funding. The ESG program will be used to assist, protect, and improve living conditions for the homeless and provides for the following eligible activities:

- Outreach to homeless individuals and families living on the street;
- Improve the number and quality of emergency shelters for homeless individuals and families;
- Help operate these shelters;
- Provide essential services to shelter residents,
- Rapidly re-house homeless individuals and families, and
- Prevent families/individuals from becoming homeless

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again.

The City of Moreno Valley will be continuing a multi-faceted system that will assist in enhancing efforts for persons and families to transition to permanent housing and independent living through a variety of resources involving the continued partnerships and financial support to local nonprofit service providers and participation and support to the Riverside County Continuum of Care. Additionally, the Riverside County's Department of Public Social Services (DPSS) is considered the "umbrella" anti-poverty agency for the region. The goal is self-sufficiency accomplished by moving poor families out of poverty. DPSS interacts with needy residents on many levels, and assisting them through child care, education, employment, training, health and human services, homelessness and housing with available mainstream programs.

Help low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families who are likely to become homeless after being discharged from a publicly funded institution or system of care, or who are receiving assistance from public and private agencies that address housing, health, social services, employment, education or youth needs

The Riverside County CoC has a standing six-year cooperative agreement between various key organizations and agencies that establish county-wide protocols and procedures intended to prevent people from being discharged from public and private institutions (programs) into homelessness. The agreement includes County Mental Health, Veterans, Sheriff's, and Children's Services Independent Living Program, as well as the Southern California Hospital Association, and administrators of the 2-1-1 telephone referral program, Community Connect of Riverside County. With the services made available with the assistance of ESG funding, Community Connect and other partners to formally register its programs and ensure that the public are referred to the City ESG services. City public service providers assists those threatened with homelessness by providing referrals and coordinating with other agencies to locate assistance for the family or individuals. Additionally, Moreno Valley dedicates ESG entitlement funding toward homeless prevention and rapid-re-housing efforts.

SP-65 Lead based paint Hazards – 91.215(i)

Actions to address LBP hazards and increase access to housing without LBP hazards

To help evaluate and reduce the number of housing units containing lead based paint hazards the City has two main courses of action: (1) the City has integrated LBP hazards evaluation and reduction activities into its housing programs, and (2) the City also provides public information and education concerning lead-based paint.

How are the actions listed above related to the extent of lead poisoning and hazards?

Approximately 9,700 housing units were built before 1980. Based on the age of housing and the HUD-approved prevalence rates, it is likely that one-half (4.850) of the housing units built prior to 1980 may contain LBP.

How are the actions listed above integrated into housing policies and procedures?

Lead based paint issues are addressed via Moreno Valley's housing loan/grant programs. Housing program participants are provided the 'Renovate Right Informational Booklet' (EPA740-K-10-001, dated April 2010) from the United States Environmental Protection Agency. Each participant signs a certification that they received and reviewed the booklet.

If a dwelling was constructed prior to 1978, the City contracts with Home Safe for a lead-based paint inspection of the property. If the property is found to contain lead-based paint, mitigation measures are incorporated as a part of the revitalization work.

A City housing specialist answers any questions a participant may have concerning the lead based paint. City Building Inspectors also discuss with housing program participants any issues found in a dwelling and initiate further evaluation as necessary.

SP-70 Anti-Poverty Strategy – 91.215(j)

Jurisdiction Goals, Programs and Policies for reducing the number of Poverty-Level Families

The Consolidated Plan must include the following information:

- A concise summary of the City’s goals, programs, and policies for reducing the number of poverty-level families.
- Description of the coordination of housing programs funded through the Consolidated Plan with the City’s other programs and services in order to reduce the number of poverty-level families.
- Description of the Job training, job placement, life skills training, and welfare to work programs designed to reduce the number of poverty-level families
- Description of the policies for providing employment and training opportunities to Section 3 residents pursuant to 24 CFR 135

The strategy should focus on activities designed to reduce the number of persons in poverty rather than on services provided to persons in poverty. In addition, the plan should focus on factors over which the jurisdiction has control.

Goals

The City’s major goal is to *reduce the poverty rates of the City’s population and neighborhoods.*

In the past year (2015-2016) the number of high and extreme poverty neighborhoods has declined from six to four. According to the 2012-2016 American Community Survey, Census Tracts 424.05 and 425.14 have changed from “high poverty” to “normal poverty” neighborhoods (16.9% to 30%). Census Tract 425.05 has changed from “extreme poverty” to “high poverty”. That means the City now has one “extreme” poverty neighborhood – Census Tract 425.15 which has a poverty rate of 42.6%.

The four “high poverty” and extreme poverty” census tracts are 424.04, 425.05, 425.15 and 425.20.

The City will strive to have the poverty rates of the four high and extreme poverty neighborhoods reduced to the “normal poverty” level of 16.9% to 30%. A poverty rate reduction of this size means that the number of poor people living in the four neighborhoods would decrease to 4,500 from 5,600. The average number of children in families having poverty level incomes is 2.5. Therefore, an estimated 440 working poor and unemployed householders would need to experience income increases that would lift them (and their children) out of poverty ($1,100/2.5 = 440$).

Annually, the goal is to reduce by 220 the number of *people* living with incomes below the poverty level in the four high and extreme poverty neighborhoods (5-year objective for 2018-2023 period is 1,100).

Programs

In the short-term (the 5 years between 2018 and 2023), the most direct path to reducing the poverty rates in the four neighborhoods is to concentrate efforts on the *working poor and jobless adults in the labor force*. As previously noted, almost one-half (45%) of the poor persons living in the high and extreme poverty neighborhoods are too young to attend school or are attending school (K-12). When the parents of these children have incomes above the poverty level, the children also will be lifted out of poverty.

Specific actions to reduce poverty are described below:

Provide Job Skills Training to Persons Living in the R/ECAP: The City will work to provide jobs skills training to 25 unemployed persons living in the R/ECAP. As previously noted, a key poverty reducing strategy is to provide appropriate technical education and training to low wage workers and unemployed workers in the labor force.

Increase Participation in Poverty Reducing Programs by Persons Living in the R/ECAP: The City will work to inform 200 families living in the R/ECAP of poverty reducing programs such as the Earned Income Tax Credit (EITC). Research has demonstrated that Increasing participation in safety net programs helps to reduce poverty rates.

Source: Public Policy Institute of California, Sarah Bohn and Caroline Danielson, *Improving California Children's Participation in Nutrition Programs, the Safety Net in California*, December 2016, 14 pages

Although the EITC is one of the most efficient anti-poverty programs, unclaimed EITC dollars are never spent on local business, fewer jobs are created or supported, fewer wages are paid, and eventually less tax revenue goes to state and local governments. In 2015, the amount of Riverside County unclaimed EITC payments was \$135,547,000 which resulted in 1,033 lost jobs and foregone labor income of \$56,722,365.

Source: Antonio Avalos, Ph.D., University Business Center, California University, Fresno, *The Costs of Unclaimed Earned Income Tax Credits to California's Economy: Update of the "Left on the Table" Report*, March 2015, 28 pages

Research indicates that families mostly use the EITC to pay for necessities, repair homes, maintain vehicles that are needed to commute to work, and in some cases, obtain *additional education or training* to boost their employability and earning power.

Source: Center on Budget and Policy Priorities, *Policy Basics: The Earned Income Tax Credit*, October 21, 2016, 4 pages

Increase the Educational Attainment of Workers Living in the R/ECAP and High Poverty Neighborhoods: The City will work to start a program to improve the education attainment of 100 low wage or unemployed workers who live in the RECAP and three high poverty neighborhoods

The City has reached out to the United Way of the Inland Valleys. Annually, United Way issues an RFP for Community Investment Grants. The grants' Education Strategic Priority is aligned with needs of

people living in the high and extreme poverty neighborhoods: almost one-half of the population 25 years + did not graduate from high school and the unemployment rate is more than 13%.

The City will work to have a local 501(c)(3) non-profit submit a proposal to the United Way by the August 2018 deadline. The non-profits efforts will focus on improving the educational attainment of low wage or unemployed workers living in the R/ECAP and high poverty neighborhoods.

Provide Job search and Placement Services to Low Wage and Unemployed Workers Living in the R/ECAP and High Poverty Neighborhoods: Annually, the City's Employment Resource Center (ERC) will provide job seekers with access to resources that are necessary to search and acquire employment within the City and surrounding areas. Assistance will be provided with preparing resumes, job applications and job searches as well as one-on-one mock interviews. The objective is to assist 50 low wage and unemployed workers per year.

Update the Economic Development Strategy Plan: In FY 2018/2019 the City will update the *Economic Development Strategy Plan* (EDSP). The plan will focus on business attraction efforts on key growth industries conducive to the Moreno Valley market, such as logistics, green and clean technology, defense, aerospace, e-commerce, healthcare, medical device manufacturing, auto manufacturing, (and related fields), robotics, and global trade. The PY 2019/2020 Action Plan will incorporate the EDSP findings and recommendations that may positively impact the well-being of families living in the R/ECAP and high poverty neighborhoods.

Provide Cash Incentives to Hire 3 Residents Living in the R/ECAP or High Poverty Neighborhoods: The Hire a MoVal Grad Program will seek to provide during FY 2018/2019 a \$5,000 cash incentive to businesses that hire and retain residents of the R/ECAP or high poverty neighborhoods who have earned a degree or certificate from among the accredited Riverside County education institutions or completed a Career Technical Certificate course sequence from the Riverside County Office of Education.

Policies

Anti-Poverty Policy #1: To continue to support and coordinate with public and private efforts aimed at preventing and reducing poverty level incomes.

Anti-Poverty Policy #2: To conduct outreach with public and private agencies whose mission is to reduce poverty level incomes such as Community Action Partnership of the County of Riverside and United Way of America of the Inland Valleys, County of Riverside Department of Public Social Services, Housing Authority of the County of Riverside and Lutheran Social Services.

Anti-Poverty Policy #3: Allocate CDBG public service funds to projects and activities that will help persons and families who have incomes below the poverty level.

How are the Jurisdiction's poverty reducing goals, programs, and policies coordinated with this affordable housing plan

The Anti-Poverty Strategy is directly coordinated with the City's Affordable Housing Plan/Strategy. A fundamental purpose of the housing programs is to reduce the cost burdens experienced by low and moderate income families. Many of these families have extremely low incomes and, therefore, likely to have poverty level incomes.

With respect to Section 8 rental assistance, the City will carry out the following anti-poverty actions in coordination with its Affordable Housing Plan:

- The City will continue to support the Section 8 Housing Choice Voucher Program.
- The City will coordinate with the Housing Authority of the County of Riverside County.
- The City will work with the Housing Authority to encourage families receiving Section 8 rental assistance to participate and graduate from the Family Self-Sufficiency Program (FSSP). The City will periodically request information from the Housing Authority on FSS participation and graduation levels.
- The City will provide funding for child care services. Access to child care is a policy that contributes to helping the working poor to make ends meet and avoid poverty.

According to the California Budget Project, access to childcare is a policy that contributes to helping the working poor to make ends meet. The California Budget Project states:

Quality child care can be prohibitively expensive to low-income working families. Some families are able to obtain assistance through California's childcare programs, which provide low-cost childcare for eligible families. However, state and federal funding for child care programs has failed to keep pace with the need.

The National Center for Children in Poverty suggests a strategy to reduce low-income families work related expenses through child care and after school care programs. The Center also recommends making housing available to the many low-income children in both working and jobless families who are without this basic resource.

SP-80 Monitoring – 91.230

Describe the standards and procedures that the jurisdiction will use to monitor activities carried out in furtherance of the plan and will use to ensure long-term compliance with requirements of the programs involved, including minority business outreach and the comprehensive planning requirements

Monitoring serves as an effective tool to ensure that expenditures of funds are consistent with Federal requirements, CDBG National Objectives, and achieve program/project goals. The following outlines Moreno Valley's monitoring standards and procedures.

- 1) Subrecipients: When an organization becomes a City subrecipient, it must sign a contract with the City in which the various scopes of work, time lines, and documentation requirements are outlined. On a monthly basis, each subrecipient must submit detailed information regarding the number, ethnicity, and income level of individuals benefiting from CDBG funds. Quarterly summary reports are required of some agencies in which further information is provided on activities accomplished during that quarter. The City conducts an on-site inspection of each agency at least once per year, usually toward the end of the funding cycle.
- 2) Construction Projects: All construction projects comply with Federal Labor and Procurement Procedures as well as the various affirmative action, equal opportunity, and Section 3 requirements mandated by various federal and state laws. A Department Management Analyst oversees and reviews contract preparation at each step from bid preparation, contract document preparation, pre-construction meetings, and ongoing project inspections.

All public notices that solicit bids for capital projects are submitted to minority newspapers such as El Chicano, the San Bernardino American and the Precinct Reporter in order to give minority owned businesses the opportunity to bid on the CDBG capital projects.

- 3) Multi-Family Affordable Housing Programs: The City requires property owners who have received HOME funds to recertify their tenant's eligibility annually. They report information and provide documentation related to the property, unit occupancy, tenant information and financial reporting. Forms and applicable documentation such as Federal income tax returns are to be completed by tenants of reserved (affordable) units and submitted with the report. If the unit was occupied by multiple tenants, then a copy of the application, rental agreement and the dates of residency must be provided. In addition, a copy of 'Determining Affordable Rent' is provided to the owner for the reserved units. A City building inspector will conduct a property inspection to determine if the property is in compliance with code requirements and in good condition. The City will work with a recertification consulting service to ensure that the information is accurate and complete.

ATTACHMENT 1 GOAL OUTCOME INDICATOR DESCRIPTIONS

1. Public facility or infrastructure activities other than low/moderate-income housing benefit

Use this GOI for any CDBG-funded public facility or infrastructure project or activity that will not use Low-Mod Housing (LMH) as its national objective. Examples include street improvements or park improvements that use Low-Mod Area (LMA) or homeless shelters or senior centers that use Limited Clientele (LMC).

2. Public facility or infrastructure activities for low/moderate-income housing benefit

Use this GOI for any CDBG-funded public facility or infrastructure project or activity that will use Low-Mod Housing (LMH) as its national objective. Use this GOI when the grantee supports large housing developments with infrastructure improvements tied directly to the development.

3. Public service activities other than low/moderate-income housing benefit

Use this GOI for any CDBG-funded public service project or activity that will not use Low-Mod Housing (LMH) as its national objective. Most public services will use this GOI. Examples include youth services or senior services that use Limited Clientele (LMC) or anti-crime programs that use Low-Mod Area (LMA). Use this code for HOPWA-funded activities including Housing Information Services, Permanent Housing Placement, and Supportive Services.

4. Public service activities for low/moderate-income housing benefit

Use this GOI for any CDBG-funded public service project or activity that will use Low-Mod Housing (LMH) as its national objective. Examples include 05R Homeownership Assistance (Not Direct), 05S Rental Subsidies, and 05T Security Deposits.

5. Facade treatment/business-building rehabilitation

Use this GOI for any activity using the matrix code 14E Rehabilitation of Publicly or Privately-Owned Commercial/Industrial Properties. This GOI should also be used for 01 Acquisition, 15 Code Enforcement, 16B Non-Residential Historic Preservation, and similar activity types that target commercial properties.

6. Brownfield acres remediated

Brownfields are abandoned, idled or under-used real property where expansion or redevelopment is complicated by the presence or potential presence of environmental contamination. Use this GOI for any activity that will redevelop property that is considered a brownfield.

7. Rental units constructed

Use this GOI for any HOME- or CDBG-funded activity that constructs new rental units.

8. Rental units rehabilitated

Use this GOI for any HOME- or CDBG-funded activity that rehabilitates existing rental units. Use this GOI for any project involving the reconstruction of rental units.

9. Homeowner housing added

Use this GOI for any HOME- or CDBG-funded activity that constructs new owner-occupied units.

10. Homeowner housing rehabilitated

Use this GOI for any HOME- or CDBG-funded activity that rehabilitates existing owner-occupied units. Use this GOI for any project involving the reconstruction of owner-occupied units.

11. Direct financial assistance to homebuyers

Use this GOI for any HOME-funded activity where the homebuyer receives down payment or closing cost assistance or purchases the home for a price below market value. For CDBG-funded activities, use this GOI for any project using the matrix code 13 Direct Homeownership Assistance.

12. Tenant-based rental assistance/Rapid rehousing

Use this GOI for any HOPWA or HOME-funded TBRA and CDBG-funded activity using matrix code 05S Rental Housing Subsidies. For ESG funded projects, use this code for activities funded under the Rapid Re-housing component.

13. Homeless person overnight shelter

Use this GOI for any CDBG-funded activity using matrix code 03C – Homeless Facilities (Not Operating) or 03T – Operating Costs of Homeless/AIDS Programs. For ESG-funded projects, use this code for activities funded under the Emergency Shelter component. Note: There is currently no GOI for ESG-funded Street Outreach activities. This GOI can be used to capture persons served under the ESG-funded Street Outreach component when accompanied by an explanation in a text box clarifying this.

14. Overnight/Emergency shelter/Transitional housing beds added

Use this GOI for any CDBG-funded activity using matrix code 03C – Homeless Facilities (Not Operating) or 03T – Operating Costs of Homeless/AIDS Programs that adds beds to the available inventory. For ESG-funded projects, use this code for any renovation activities funded under the Emergency Shelter component that resulted in the creation of additional beds.

15. Homelessness prevention

Use this GOI for any CDBG-funded activity using matrix code 05C – Legal Services, 05Q – Subsistence Payments, or 05T – Security Deposits that prevents homelessness. For HOPWA-funded projects, use this code for short-term rent, mortgage, and utility assistance (STRMU). For ESG-funded projects, use this code for any activities funded under the Homelessness Prevention component.

16. Jobs created/retained

Use this GOI for any CDBG-funded activity with Jobs as the accomplishment type, including those with national objectives such as LMJ, LMAFI, LMASA, and LMCMC. Also use this GOI for any HOPWA-funded activity where income-producing jobs are created.

17. Businesses assisted

Use this GOI for any CDBG-funded activity using a matrix code starting with 17, 18, and 14E – Rehab: Commercial/Industrial.

18. Housing for homeless added

Use this GOI for any CDBG-funded activity using matrix codes 01-Acquisition, 12-Construction of Housing, or a matrix code in the 14 series where units are designated for homeless. Also use this GOI for any HOME-funded activities that include units designated for homeless.

19. Housing for people with HIV/AIDS added

Use this GOI for any CDBG-funded activity using matrix codes 01-Acquisition, 12-Construction of Housing, or a matrix code in the 14 series where units are designated for people with HIV/AIDS. Also use this GOI for any HOME-funded activities that include units designated for people with HIV/AIDS. Finally, use this GOI for HOPWA-funded facility-based housing development, including acquisition, rehabilitation, conversion, lease, or repair.

20. HIV/AIDS housing operations

Use this GOI for any CDBG-funded activity using a matrix code 03T- Homeless/AIDS Programs when services are specifically for persons with HIV/AIDS. For HOPWA-funded projects, use this code for facility-based operations.

21. Buildings demolished

Use this GOI for any CDBG-funded activity using a matrix code 04-Clearance. This code can also be used as a secondary goal for HOME and HOPWA-funded projects that involve the clearance of blighted buildings.

22. Housing code enforcement/Foreclosed property care

Use this GOI for any CDBG-funded activity using a matrix code 15-Code Enforcement or 19E CDBG Operation and Repair of Foreclosed Property.

23. Other (Specify)

Use this GOI when none of the others describe the goal that the grantee wants to track.

The following table lists suggested pairings between Goal Outcome Indicators and corresponding types of CDBG activities

DRAFT



FISCAL YEAR 2018/2019

Annual Action Plan

City of Moreno Valley
Financial & Management Services Dept.
Financial Operations Division
14177 Frederick St. PO Box 88005
Moreno Valley, CA 92552-0805
PH: 951.413.3450 Email: np@moval.org

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

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Executive Summary

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

Every year the Department of Housing and Urban Development (HUD) allocates federal grant monies to 'Entitlement Cities' (eligible, selected cities with a population exceeding 50,000) with allocation amounts varying each year based on a formula that considers the extent of poverty, population, housing overcrowding, the age of housing and the population growth lag in relationship to other metropolitan areas. HUD has classified Moreno Valley as an Entitlement City. Historically, the City of Moreno Valley has received federal funding on an annual basis from HUD for two formula block grant programs: Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME). Since Program Year 2013-14, the City has also become a direct recipient of Emergency Solutions Grant (ESG) program funds. The City of Moreno Valley will utilize these federal grant monies for use in programs that provide decent housing, build infrastructure, create economic development opportunities and provide a variety of social services for low to moderate-income residents. The City's Five-Year Consolidated Plan is a comprehensive planning document that provides the framework for the use of CDBG, HOME Grant and ESG funds to provide community development, housing, and homeless activities from July 2018 through June 2023.

The Annual Action Plan serves as the update to the Consolidated Plan and it identifies the distribution of federal funds for specific projects and programs during the program year. In fiscal year 2018/19, the City will be receiving \$1,940,916 in new CDBG funds, \$533,301 in HOME funds, and \$174,002 in ESG funds. These funds will support housing, community development and homeless prevention activities. The City is not a recipient of HOPWA grant funding. The Annual Action Plan also provides a basis for assessing performance. At the end of the program year a Consolidated Annual Performance and Evaluation Report (CAPER) provides information on the annual programmatic accomplishments.

2. Summarize the objectives and outcomes identified in the Plan

The overall goals of the CDBG and HOME Programs, as required by HUD are to develop viable urban communities by providing (1) decent housing, (2) a suitable living environment and (3) expanded economic opportunities principally for low and moderate income persons. At the end of the program year a Consolidated Annual Performance and Evaluation Report (CAPER) provides information on the annual programmatic accomplishments.

The overall objective for the 2018-19 Annual Plan is to contribute toward the goals as outlined in the City's proposed 2018-23 Five Year Consolidated Plan. Those goals are:

Substandard Housing and Neighborhood Conditions: Improve the condition of the existing housing stock. The City will provide CDBG and HOME funds to improve the existing housing stock so that it provides decent, safe and sanitary housing.

Homelessness: Address homelessness through outreach, prevention, rapid re-housing, casework services and other intervention activities. The City will allocate ESG and CDBG funding to organizations that address the needs of homeless individuals.

Public Facilities and Infrastructure: Improve/upgrade public facilities and infrastructure. The City will allocate CDBG funds to improve and upgrade public facilities and infrastructure such as public buildings, parks, streets, and storm drains.

Public Service Programs: Improve the well-being of low- and moderate-income persons. The City will provide CDBG financial support to organizations that address basic needs, public safety, transportation, job training, and needs of school-aged youth.

Housing Discrimination: Achieve fair housing for all. The City will continue to allocate CDBG funds to a fair housing provider that will investigate housing discrimination complaints and tenant/landlord issues.

Economic Development: Promote economic development activities. Economic development was identified as a priority need by the City's Economic Development Strategy Plan and research and analysis completed for several planning studies.

Planning and Administration: Effective administration of the CDBG, HOME and ESG programs. The City will strive to achieve the goals, priority needs and funding priorities of the Consolidated Plan. The City will continue to comply with the planning and reporting requirements of the Consolidated Plan regulations and CDBG regulations. Annually, the City will monitor its use of CDBG funds to ensure effective and appropriate use of funds.

3. Evaluation of past performance

During 2016/17, Moreno Valley was committed to maximizing existing resources and opportunities to achieve a better quality of life for its low-to-moderate income residents. At the end of the 2013-18 Consolidated Plan the City was successful in accomplishing the following:

Homeless Strategy: 5-YR Goal: To assist 2,500 homeless persons and persons threatened with homelessness with housing and public service activities. Annual Goal: Assist 450 persons with overnight shelter; 50 persons with homelessness prevention. **Actual Completed during 16/17**: The City provided homelessness prevention, rapid re-housing and shelter assistance to 133 individuals; 13 homeless situation, 98 with homelessness prevention; 20 with overnight shelter, 25 with rapid rehousing; and 10 with other homeless services.

Special Needs Strategy: 5-YR Goal: Assist 15,000 special needs persons, including the elderly and disabled, with housing and public services. Annual Goal: Benefit 3,000 persons. **Actual Completed during 16/17**: In FY 2016, the City provided assistance to 4,747 individuals through public services and public facility/improvement projects aimed at improving ADA standards on City street.

Housing Strategy: 5-YR Goals: Rehabilitate or construct 175 housing units; create homeownership opportunities for 5 low-to-moderate income residents; provide proactive code enforcement in the CDBG target areas to 5000 households; and provide fair housing and landlord/tenant services to educate and assist 2500 households on their rights and responsibilities. Annual Goals: Construct 17 rental units and rehabilitate 18 rental units for a total of 35 housing units; provide direct financial assistance to at least 1 homebuyer; assist 1000 households/housing units with housing code enforcement/foreclosed property care; and to assist 500 households with Fair Housing Services. **Actual Completed during 16/17**: The City completed 10 housing units, with single-family rehabilitation projects; provided proactive code enforcement, neighborhood clean-ups, and public safety activities to 1,346 households; and assisted 4,165 households with Fair Housing Services.

Community and Economic Development Strategy: 5-YR Goals: To assist 125 low and moderate-income individuals with employment training and placement services; construct infrastructure improvements that will assist 250 parcels located within CDBG Target Areas; and to assist 50,000 low-to-moderate income residents with non-housing public service activities. Annual Goals: Create or retain 25 low-to-moderate income jobs; assist 10,000 persons with public service activities (other than low/moderate income housing benefit); and 50 households (parcels) with public facility or infrastructure activities for low/moderate income non-housing benefit. **Actual Completed during 16/17**: In FY 2016, 21 low-to-moderate jobs were created or retained, 547 low-to-moderate income households received public services along with an additional 33,497 individuals.

The City utilized all available HOME and CDBG funds to carry out activities designated in the HUD-approved 2018/2019 Action Plan. Pursuant to certification, at least 70% of the amount expended principally benefited persons of low to moderate income, in a fair and impartial manner, and activities did not hinder Consolidated Plan implementation.

4. Summary of Citizen Participation Process and consultation process

The City of Moreno Valley Citizen Participation Plan contains the City's policies and procedures for public involvement in the Consolidated Plan process and the use of Federal grant funds. The Moreno Valley Citizen Participation Plan was developed as required under 24CFR Part 91 and Part 8. HUD regulations require that cities consult with public and private community-based non-profit organizations to obtain input on the housing and non-housing needs of low and moderate income and homeless members of the community. During the Action Plan process, the City took an aggressive approach to ensure and encourage citizen participation. The City hosted two (2) public meetings plus three (3) public hearings for a grand total of five (5) public meetings as opposed to the grand total of three (3) public hearings

hosted in previous years. All citizen participation was accomplished through meetings, published public notices and on-line announcements. The city invited residents, non-profit organizations and surrounding jurisdictions to solicit input on community needs.

The first public hearing took place on December 19, 2017 and residents were given the opportunity to provide comments regarding priority needs in the community. A Public meeting was held with the Finance Subcommittee on March 27, 2018 to discuss the proposed projects. The Subcommittee includes two City Councilmembers. The meetings were advertised, open to the public, and all together drew about 50 attendees combined. Several public speakers provided staff with valuable feedback. After receiving input from the community, the proposed Action Plan was available for a 30-day public examination and comment period from March 30, 2018 through May 1, 2018. The Plan was available at four City locations (Library, City Corporate Yard, City Hall and Senior Center). A second public hearing was held on April 17th, 2018, the general public was invited to attend via public notice. At this meeting, the City Council reviewed the proposed the project selections and the general public was encouraged to provide comments. A final public hearing took place on May 1, 2018 after the close of the public review period. The final public hearing allowed the public an opportunity to comment on the proposed Action Plan before implementation by the City Council. The information compiled from the meetings was used in determining the needs in the community and the development of strategies. Citizen comments are included as an attachment to this document.

5. Summary of public comments

A summary of all public comments received at the community meetings and formal public hearings is included as an attachment to this document.

6. Summary of comments or views not accepted and the reasons for not accepting them

All public comments were taken into consideration when developing the Action Plan.

7. Summary

See summaries above.

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
Lead Agency	MORENO VALLEY	
CDBG Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
HOPWA Administrator		
HOME Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
ESG Administrator	MORENO VALLEY	FINANCIAL & MGMT SERVICES DEPT.
HOPWA-C Administrator		

Table 1 – Responsible Agencies

Narrative

The City of Moreno Valley Financial & Management Services Department, Financial Operations Division is responsible for the development of the Action Plan. The Action Plan was prepared with input from public stakeholders such as local non-profit agencies, social service organizations, and interested members of the public. This is outlined in detail in the Citizen Participation Attachment.

Consolidated Plan Public Contact Information

The primary contacts for matters regarding this plan are: Marshall Eyerman, Chief Financial Officer, and Dena Heald, Financial Operations Division Manager, 951-413-3450.

AP-10 Consultation – 91.100, 91.200(b), 91.215(I)

1. Introduction

The City's 2018-19 Citizen Participation process allows for many resident's local service providers, government entities and others to provide input during the funding allocation process.

A list of organizations, entities, and other participants is included as an attachment to this document.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I))

One vehicle that the City utilizes to assist in coordination is the City's participation in the Riverside County's Continuum of Care (CoC). City staff meets on a monthly basis as part of the Continuum of Care (CoC) process. The City's involvement in the CoC allows for open dialogue with key agencies including the Riverside County Department of Public Social Services, the Riverside County Housing Authority, the Department of Mental Health, the County Adult Homeless Unit, local law enforcement and numerous local service providers. The CoC convenes these organizations with the goal to address homelessness, but in the process, discusses other community needs, such as public housing and emergency services needed in the region. Riverside County's CoC is very active and has recently been restructured to become more effective and efficient in its efforts. The Board now consists of higher level representatives with the authority to implement change at each respective organization the new CoC continues to make significant strides on behalf of the full CoC membership in the 2017-2018 fiscal year.

The City of Moreno Valley also continued the quarterly 'Non-Profit Roundtable' meetings which invited local service providers and residents to discuss community needs and available resources specific to Moreno Valley. As a result of the meetings, a smaller group has broken off and formed the City-wide Non-Profit Coalition. This group is focused on collaborating to address priority issues within the City.

The City will continue to be supportive of direct applications for funds from housing providers as well as local Community Housing and Development Organizations (CHDOs).

Cooperation with surrounding jurisdictions has been essential in promoting the City's ability to address a wide variety of community needs including housing rehabilitation, housing programs, public services, and public safety. To facilitate organization and solidarity, the City will continue to work with these entities by attending regular meetings, events, and joint endeavors.

The City hopes to work with resources available through affordable housing financial institutions. These private businesses will be included in the annual plans as applicable. Also, the City will work with

businesses that provide loans to high risk small businesses for the purpose of creating and/or retaining jobs.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The Riverside County Continuum of Care’s (CoC) primary goal is to address homelessness in the region. The group is charged with developing and implementing the County’s 10-Year Plan to End Homelessness in Riverside County. Riverside’s Continuum of Care is provided with federal funding to offer homeless services and shelter. Moreno Valley grant management staff are members of the Continuum of Care and regularly attend the CoC meetings. City staff assists to organize and coordinate the Homeless Point in Time (PIT) Counts. Participating in these counts provides staff with a firsthand knowledge of homeless needs through direct interaction with potential recipients of homeless services. Data from the homeless count is applied to determine homeless service needs and levels in the City.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The CoC serves as the planning body for the County's submission of the Riverside County Consolidated Application for HUD funds such as ESG. City staff has historically participated in rating of CoC grantee applications for ESG funding and have been active in helping making determinations for the allocation of funds. Since becoming eligible for a direct ESG entitlement, Moreno Valley engages them in the consultation by sharing ESG funding recommendations issued at the City level and requesting feedback from the full CoC membership. For the ESG activities proposed within the 18-19 Action Plan, City Representatives consulted with the CoC by forwarding a summary of all applications along with Council recommendations and requesting CoC members provide feedback via e-mail. Comments received and the City took their feedback into consideration. The administration/operation of HMIS is handled through the County of Riverside. Since becoming an ESG entitlement city, Moreno Valley has extended an ESG award to the County to aid in the operational Homeless Management Information System (HMIS) costs. City of Moreno Valley representatives are in constant communication with County HMIS staff and discuss program set-up, schedule for training, and to discuss ESG reporting requirements.

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdiction’s consultations with housing, social service agencies and other entities

Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	HOUSING AUTHORITY OF RIVERSIDE COUNTY
	Agency/Group/Organization Type	Housing PHA Other government - County
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Public Housing Needs Non-Homeless Special Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Throughout the year, the City reviews proposed development sites, the comprehensive plan of the PHA, and any proposed demolition or disposition of public housing developments. In reviewing PHA comprehensive plan the City is able to determine regional housing needs as established by the PHA. It is anticipated this continued relationship with the PHA will allow the City to identify needs and gaps in service in order to improve service delivery.
2	Agency/Group/Organization	Riverside County Continuum of Care
	Agency/Group/Organization Type	Housing PHA Services - Housing Services-Persons with HIV/AIDS Services-Victims of Domestic Violence Services-homeless Other government - County Regional organization Planning organization Civic Leaders

	<p>What section of the Plan was addressed by Consultation?</p>	<p>Housing Need Assessment Public Housing Needs Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Homelessness Strategy Anti-poverty Strategy</p>
	<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City is a member of the regional CoC. As a result of membership, consults with various city, county, and local homeless service providers about all matter of homeless affecting the area. The monthly meetings assist the City to identify service gaps and priority needs. The City coordinates with the CoC for the Veterans, Youth, and general Point in Time Homeless Count in MV. Per grant requirements, the City also consulted with the CoC membership regarding the best use of ESG funds.</p>
3	<p>Agency/Group/Organization</p>	<p>Habitat for Humanity Riverside</p>
	<p>Agency/Group/Organization Type</p>	<p>Housing</p>
	<p>What section of the Plan was addressed by Consultation?</p>	<p>Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy</p>
	<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City had several meetings with the organization to discuss the coordination of local housing programs for low/moderate income and special needs populations (elderly and disabled). The meetings have been helpful in identify potential future programs to be implemented during the Consolidated Plan period.</p>

4	Agency/Group/Organization	FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY, INC.
	Agency/Group/Organization Type	Service-Fair Housing
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	<p>Several meetings were conducted with the Fair Housing Council of Riverside County (FHCRC) to assist the City in the development of the Housing Strategy as well as the Draft Assessment of Fair Housing.</p> <p>The City and FHCRC held meetings with apartment managers and residents on fair housing laws, rights and responsibilities during the Con Plan development process. FHCRC was also instrumental in helping the City to develop a fair housing survey which was posted online for the public to complete.</p>
5	Agency/Group/Organization	FAMILY SERVICE ASSOCIATION OF WESTERN RIVERSIDE COUNTY (FSA)
	Agency/Group/Organization Type	<p>Services-Children</p> <p>Services-Elderly Persons</p> <p>Services-Persons with Disabilities</p> <p>Services-Persons with HIV/AIDS</p> <p>Services-Victims of Domestic Violence,</p> <p>Services-homeless</p> <p>Services-Health</p> <p>Services-Education</p> <p>Services-Employment</p>

	<p>What section of the Plan was addressed by Consultation?</p>	<p>Housing Need Assessment Homelessness Strategy Homeless Needs-Chronically homeless Homeless Needs-Families with children Homelessness Needs-Veterans Homelessness Needs-Unaccompanied youth Non-Homeless Special Needs Anti-poverty Strategy</p>
	<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City has had a long relationship with Family Services Association (FSA) and meets with the organization periodically to discuss community needs. It is anticipated that the City will continue to collaborate with FSA on meeting the needs of Moreno Valley residents.</p>
6	<p>Agency/Group/Organization</p>	<p>RIVERSIDE UNIVERSITY HEALTH SYSTEM – PUBLIC HEALTH AND BEHAVIORAL HEALTH</p>
	<p>Agency/Group/Organization Type</p>	<p>Services – Health Health Agency</p>
	<p>What section of the Plan was addressed by Consultation?</p>	<p>Housing Need Assessment Non-Homeless Special Needs</p>

	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City obtained information on the Mental Health Services Act and housing units in affordable housing developments. One of these developments is located in Moreno Valley. Needs assessment and service area planning data was reviewed.
7	Agency/Group/Organization	COUNTY OF RIVERSIDE DEPARTMENT OF PUBLIC SOCIAL SERVICES
	Agency/Group/Organization Type	Services – Employment Other government - County
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City obtained information on the number of persons enrolled in safety net programs who live in Moreno Valley by zip code and the number of months the persons participate in each program.
8	Agency/Group/Organization	RIVERSIDE COUNTY OFFICE OF AGING
	Agency/Group/Organization Type	Services – Elderly Persons Services – Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City obtained information on the elderly needs assessment, priority needs, and affordable housing developments serving seniors and disabled persons.

9	Agency/Group/Organization	INLAND REGIONAL CENTER
	Agency/Group/Organization Type	Services-Persons with Disabilities Regional organization
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Housing Needs Assessment
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The City obtained information on the developmentally disabled needs assessment and housing needs.
10	Agency/Group/Organization	CALIFORNIA DEPARTMENT OF HEALTH
	Agency/Group/Organization Type	Services-Health Other government – State
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Housing Needs Assessment
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	The Department’s Health Facilities Consumer System was consulted for purposes of developing an inventory of Intermediate Care Facilities for Developmentally Disabled Persons and Congregate Care Facilities for the Elderly.
11	Agency/Group/Organization	CALIFORNIA DEPARTMENT OF SOCIAL SERVICES
	Agency/Group/Organization Type	Other government – State
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Housing Needs Assessment

<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The Community Care Licensing Division provided information on the number, capacity and location of Adult Residential Facilities and Residential Care Facilities which are located in the City.</p>
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Identify any Agency Types not consulted and provide rationale for not consulting

The City of Moreno Valley efforts include as many interested persons as possible in the formation of this Plan. The most heavily consulted agencies are included in Table 2 below.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Riverside County Department of Social Services	The CoC plan and the City’s Consolidated Plan are very consistent in their goals for the Region and are in agreement that a regional effort is required.
2016-2020 Area Plan	Riverside County Office on Aging	The 2016-2020 Area Plan provided guidance to the needs assessment, priorities and goals of the Consolidated Plan.
2018-2019 Community Action Plan	Community Action Partnership of Riverside County (War on Poverty agency)	The 2018-2019 Community Action Plan include poverty data and helped to shape the anti-poverty goals and strategies.

Table 3 – Other local / regional / federal planning efforts

Narrative (optional)

AP-12 Participation – 91.105, 91.200(c)

**1. Summary of citizen participation process/Efforts made to broaden citizen participation
Summarize citizen participation process and how it impacted goal-setting**

The City of Moreno Valley is required by law to have a detailed Citizen Participation Plan which contains the City’s policies and procedures for public involvement in the Consolidated Plan process and the use of Federal grant funds. The Moreno Valley Citizen Participation Plan was developed as required under 24CFR Part 91 and Part 8. HUD regulations require that cities consult with public and private community-based non-profit organizations to obtain input on the housing and non-housing needs of low and moderate income and homeless members of the community. During the Action Plan process, the City took an aggressive approach to ensure and encourage citizen participation. The City went beyond the measures outlined in its Citizen Participation Plan to encourage participation. New meetings and outreach efforts were made toward the forming of this Action Plan. The City hosted two (2) public meetings and three (3) public hearings for a total of five (5) meetings as opposed to the three (3) hosted in a standard year. All citizen participation was accomplished through meetings, published public notices and on-line announcements. The city invited residents, non-profit organizations and surrounding jurisdictions to solicit input on community needs.

The first public hearing took place on December 19, 2017 and residents were given the opportunity to provide comments regarding priority needs in the community. Because the grants are now being administered out of the Finance Department, public meetings with the Finance Subcommittee were held on November 28, 2017 to discuss the Action Plan schedule and on March 27, 2018 to discuss the proposed projects. The Subcommittee includes two Councilmembers. The meetings were advertised, open to the public, and all together drew about 50 attendees combined. There were several public speakers who provided staff with valuable feedback. After receiving input from the community, the proposed Consolidated Plan was available for a 30-day public examination and comment period from March 30, 2018 through May 1, 2018. The Plan was available at four City locations (Library, City Corporate Yard, City Hall and Senior Center). A final public hearing was conducted on May 1, 2018 after the close of the public review period. The final public hearing allowed the public an opportunity to comment on the proposed Action Plan before adoption by the City Council. The information compiled from the meetings was used in determining the needs in the community and the development of strategies. Citizen comments are included as an attachment to this document.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Newspaper Ad	<p>Non-targeted/broad community</p> <p>Minorities</p> <p>Persons with disabilities</p> <p>Low income individuals</p>	<p>Public Meeting 1: Finance Subcommittee to Review FY 18-19 AP & Con Plan Calendar and objectives/Polices was published in a paper of general circulation on November 9, 2017.</p>	<p>No comments were received.</p>	<p>N/A</p>	
2	Public Meeting #1- City Finance Subcommittee	<p>Non-targeted/broad community</p> <p>Minorities</p> <p>Persons with disabilities</p> <p>Low income individuals</p>	<p>This Public Meeting was held on November 28, 2017 at Moreno Valley City Hall. Notice of this meeting was published in the newspaper of regular circulation and posted by the City Clerk in the City's Satellite offices 72 hours in advance of the meeting. No members of the public attended this meeting.</p>	<p>The purpose of the meeting was to announce the upcoming application period and introduce the Action Plan schedule for 2018-2019. Please refer to the Citizen Participation attachment to this report for formal minutes.</p>	<p>N/A</p>	

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
3	Public Hearing #1	Minorities Persons with disabilities Low income individuals	This Public Hearing was held on December 19, 2017 at Moreno Valley City Hall. Notice of this meeting was published in the newspaper of regular circulation and posted by the City Clerk in the City's Satellite offices 72 hours in advance of the meeting. No members of the public attended this meeting.	The purpose of the meeting was to review and approve the Policies and Objectives for the fiscal year as well as to comment on current community needs. There were no public comments received. Please refer to the Citizen Participation attachment to this report for formal minutes.	N/A	http://morenovalleyca.gov/m2.com/Citizens/FileOpen.aspx?Type=14&ID=2009&Inline=True

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
4	Newspaper Ad	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	The FY 2018/19 Notice of Funding Availability (NOFA) was published in a paper of general circulation on December 28, 2017.	No comments were received.	N/A	
5	Community Needs Meeting	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	Community Needs Meeting to discuss Objective and Policies, availability of CDBG, HOME and ESG funding and to describe how to apply for funds held on January 11, 2018. 32 individuals attended the meeting and represented 17 organizations.	Attendees asked questions regarding the City's policies and objectives and eligible uses per HUD requirements. Questions related to completing applications were addressed during the meeting.	All comments were considered in the preparation of the Consolidated Plan	N/A

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
6	'Non-Profit Roundtable Meetings' - Coordination Meetings Aimed at Local Service Providers	Local Service Providers	The coordination meetings occurred on February 15, 2018. The purpose of the meeting was to gather local service providers to discuss most urgent issues affecting our community and how to more effectively address them. This meeting was advertised through e-mail blasts.	The meetings averaged about 30 attendees each. Comments included concerns for mental health of disadvantaged youth, mentally ill adults, and health/health education services, the need to collaborate more, and awareness of new and coming services.	All comments were considered in developing the Action Plan.	
7	Newspaper Ad	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	Notice of Public Meeting 2: Open Technical Review Committee meeting was published in a paper of general circulation on December 28, 2017.	No comments were received.	N/A	

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
8	Public Meeting #2 - City Finance Subcommittee	<ul style="list-style-type: none"> Non-targeted/broad community Minorities Persons with disabilities Low income individuals 	<p>This Public Meeting was held on March 27, 2018 at Moreno Valley City Hall. Notice of this meeting was posted by the City Clerk in the City's Satellite offices 72 hours in advance of the meeting. Additional notification was available through the City's website and directly emailed to those who are on the grant interest list. Representatives from 4 organizations attended for the grant discussion.</p>	<p>One member of the public expressed concern for crime and homelessness in the City. Please refer to the Citizen Participation attachment to this report for formal minutes.</p>	<p>All applicable comments were considered in developing the Action Plan.</p>	
9	Newspaper Ad	<ul style="list-style-type: none"> Non-targeted/broad community Minorities Persons with disabilities Low income individuals 	<p>This ad was published to announce the 30-day public review period of the Action Plan. The review period was from March 30, 2018 to May 1, 2018. The ad was published in the Riverside Press-Enterprise on March 15, 2018.</p>	<p>No public comments were received as a result of this ad.</p>	<p>N/A</p>	

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
10	Newspaper Ad	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	This ad was published to announce the Public Hearing #2 to review project recommendations. The ad was published in the Riverside Press-Enterprise on March 29, 2018.	No public comments were received as a result of this ad.	N/A	
11	Public Hearing #2	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	This Public Hearing #2 was held on April 17, 2018 at Moreno Valley City Hall.	(pending)	All comments were considered in developing the Action Plan.	http://morenovalleyca.gov/m2.com/Citizens/Calendar.aspx?From=1/1/2018&To=12/31/2018

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
12	Newspaper Ad	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	Notice of the Public Hearing #3 to be held on May 1, 2018 was advertised by a public notice published in the Press-Enterprise newspaper on April 12, 2018.	(pending)	N/A	
13	Public Hearing #3	Non-targeted/broad community Minorities Persons with disabilities Low income individuals	This Public Hearing #3 was held on May 1, 2018 at Moreno Valley City Hall.	(pending)	All comments were considered in developing the Action Plan.	http://morenovalleyca.gov/Citizens/Calendar.aspx?From=1/1/2018&To=12/31/2018

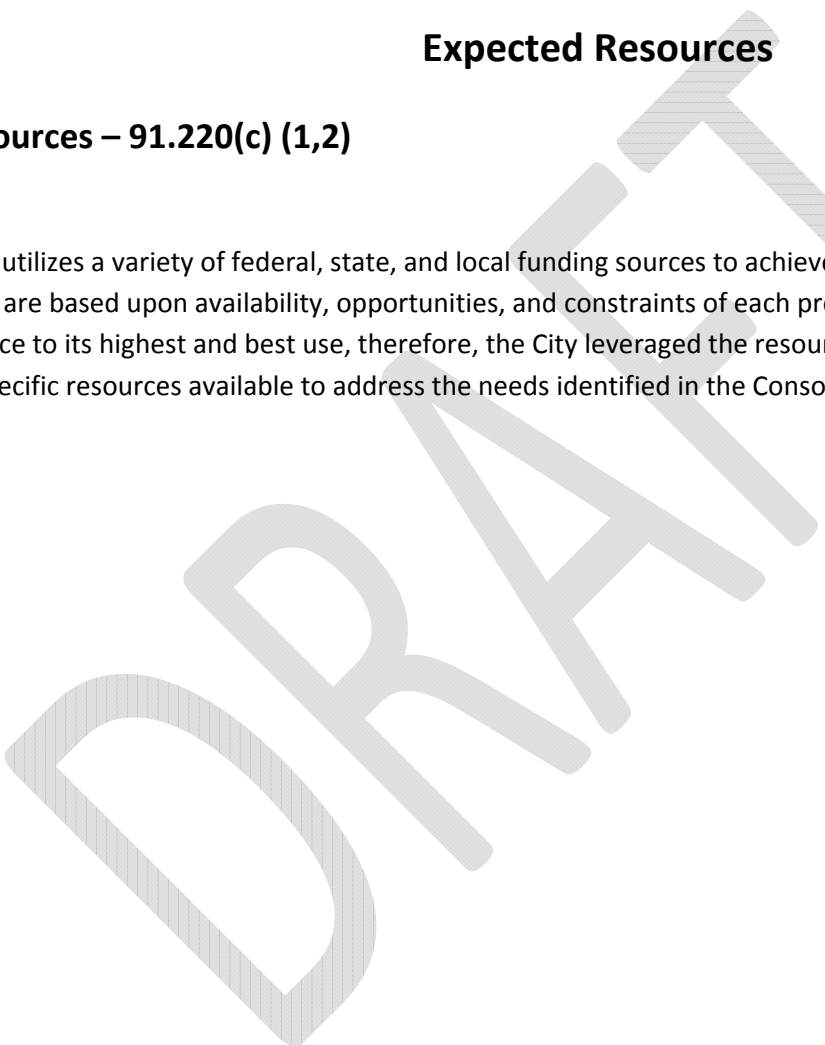
Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources – 91.220(c) (1,2)

Introduction

The City of Moreno Valley utilizes a variety of federal, state, and local funding sources to achieve identified community and housing strategies. Specific funding resources are based upon availability, opportunities, and constraints of each project or program. The City is committed to utilizing each funding source to its highest and best use, therefore, the City leveraged the resources identified in this section to facilitate various programs and projects. Specific resources available to address the needs identified in the Consolidated Plan are included under each program



description. The following represents a list of resources the Financial Operations utilized to address the Consolidated Plan goals.

Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	1,940,916	50,000	155,000	2,145,916	205,000	CDBG funding is intended to enhance and maintain viable urban communities through the provisions of decent housing; suitable living environment; and the expansion of economic opportunities, principally for low- and moderate-income persons. NSP program income will be receipted under CDBG as authorized by HUD.

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
HOME	public - federal	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	533,301	25,000	693,139	1,215,440	1,078,109	HOME funds are intended to address affordable housing and related needs.

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
ESG	public - federal	Conversion and rehab for transitional housing Financial Assistance Overnight shelter Rapid re-housing (rental assistance) Rental Assistance Services Transitional housing	174,002	0	42,738.85	216,740.85	0	The Emergency Solutions Grant (ESG), under the HEARTH Act of 2009, provides for grants to assist, protect, and improve living conditions of the areas homeless.

Table 5 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

The City and HUD share an interest in leveraging HUD resources to the maximum extent feasible in order to address priority needs and associated goals.

During the 5-year period of the ConPlan the City will seek funds to leverage the Federal CDBG, HOME and ESG funds.

Volunteer services and private donations provide additional resources to leverage CDBG funds for public service projects.

In the past, Moreno Valley has actively leveraged its affordable housing projects, mostly with Redevelopment Set-aside funds. As the Redevelopment Agency was dissolved, the city will continue its efforts to leverage projects with other available resources. Some potential leveraging resources are listed below:

Low-income Housing Tax Credit (LIHTC) - The California Tax Credit Allocation Committee (TCAC) facilitates the investment of private capital into the development of affordable rental housing for low-income Californians. TCAC allocates federal and state tax credits to the developers of these projects. Corporations provide equity to build the projects in return for the tax credits. TCAC verifies that the developers have met all the requirements of the program and ensures the continued affordability and habitability of the developments for the succeeding 55 years.

Affordable Housing Sustainable Communities Housing Program: AHSC directs investments to historically under-invested communities, giving more Californians access to opportunity. At least 50% of AHSC funding is required by state law to be allocated to affordable housing and projects in, or that provide a benefit to, disadvantaged communities. These communities are defined by the California Environmental Protection Agency's CalEnviroScreen tool, which combines environmental, health and socioeconomic data by census tract to indicate the level to which communities are impacted by pollution. New legislation will also require AHSC to invest in low-income census tracts throughout the state.

Additional housing resources are listed below:

Housing Choice Vouchers The Section 8 rental voucher program provides rental assistance to help very low income families afford decent, safe, and sanitary rental housing. The Housing Authority accepts the application for rental assistance, selects the applicant for admission, and issues the selected family a rental voucher confirming the family's eligibility for assistance. The family must then find and lease a dwelling unit suitable to the family's needs and desires in the private rental market. The Housing Authority pays the owner a portion of the rent (a housing assistance payment (HAP)) on behalf of the family.

More than 1,100 City households currently receive Section 8 housing vouchers.

Mortgage Credit Certificate Program - Income tax credits are available to first-time homebuyers to buy new or existing single family housing. Riverside County administers program on behalf of jurisdictions in the County.

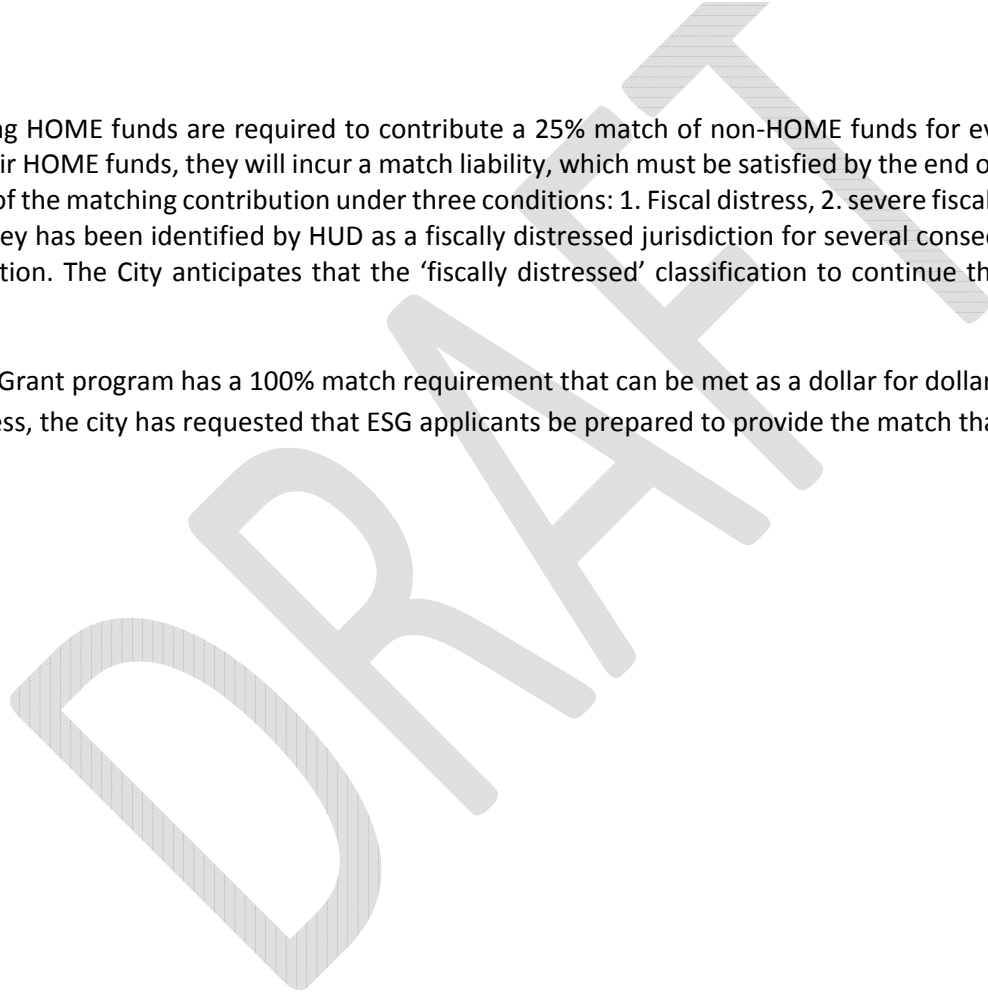
A Mortgage Credit Certificate (MCC) entitles qualified home buyers to reduce the amount of their federal income tax liability by an amount equal to a portion of the interest paid during the year on a home mortgage. This tax credit allows the buyer to qualify more easily for a loan by increasing the effective income of the buyer. The Riverside County MCC Program provides for a 20% rate which can be applied to the interest paid on the

mortgage loan. The borrower can claim a tax credit equal to 20% of the interest paid during the year. Since the borrowers taxes are being reduced by the amount of the credit, this increases the take-home pay by the amount of the credit. The buyer takes the remaining 80% interest as a deduction. When underwriting the loan, a lender takes this into consideration and the borrower is able to qualify for a larger loan than would otherwise be possible.

Matching Requirements

Entitlement cities receiving HOME funds are required to contribute a 25% match of non-HOME funds for every dollar of HOME funds spent. In general, as cities draw their HOME funds, they will incur a match liability, which must be satisfied by the end of each fiscal year. The HOME statute also provides a reduction of the matching contribution under three conditions: 1. Fiscal distress, 2. severe fiscal distress, and 3. presidential disaster declarations. Moreno Valley has been identified by HUD as a fiscally distressed jurisdiction for several consecutive years and has been granted a 100-percent match reduction. The City anticipates that the 'fiscally distressed' classification to continue through the entire Consolidated Plan period.

The Emergency Solutions Grant program has a 100% match requirement that can be met as a dollar for dollar or with in kind services. During the 2018-19 application process, the city has requested that ESG applicants be prepared to provide the match that would equal amounts of cash or in-kind services.



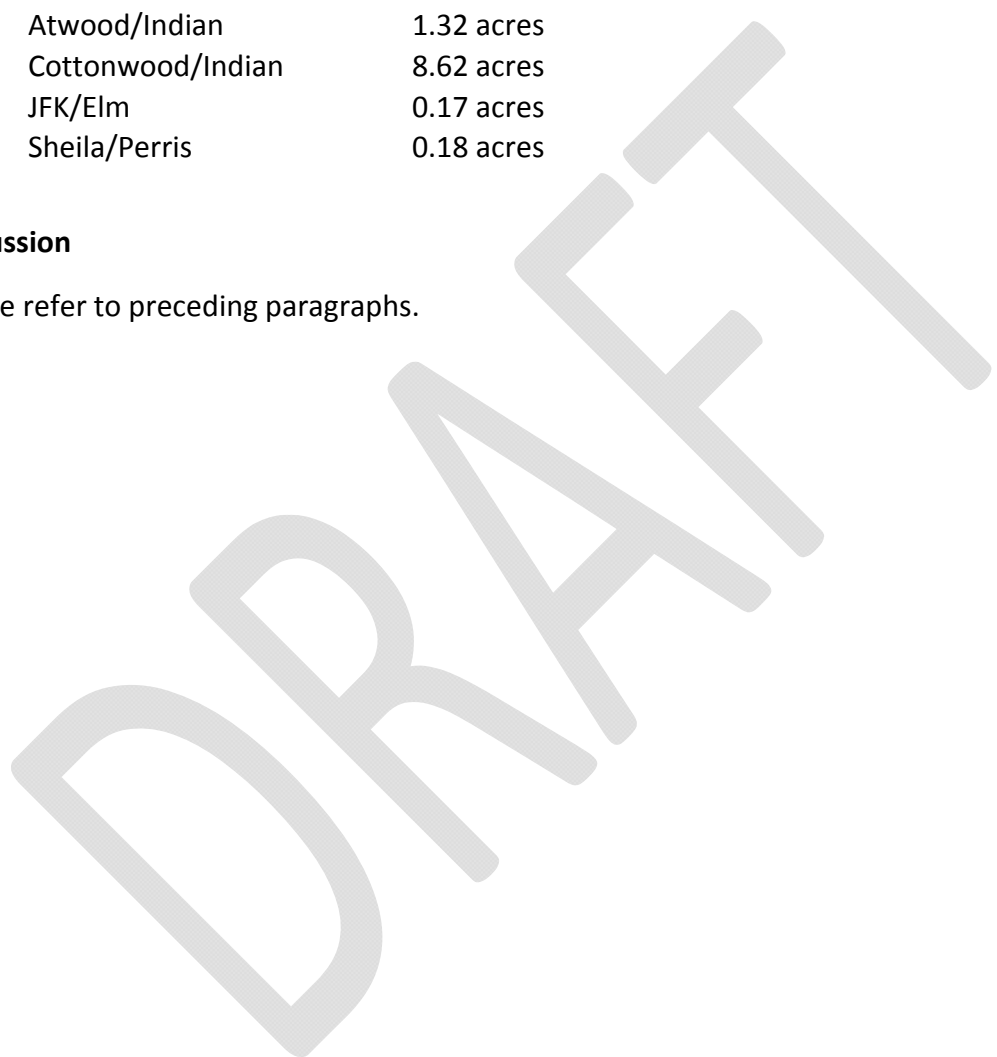
If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

Current land holdings that may be available for affordable housing developments include:

- Day/Alessandro 8.15 acres
- Fir/Heacock 0.90 acres
- Eucalyptus/Heacock 1.40 acres
- Atwood/Indian 1.32 acres
- Cottonwood/Indian 8.62 acres
- JFK/Elm 0.17 acres
- Sheila/Perris 0.18 acres

Discussion

Please refer to preceding paragraphs.



Annual Goals and Objectives

AP-20 Annual Goals and Objectives

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Improve the condition of the existing housing stock	2018	2022	Housing	CDBG Target Areas (Area Benefit Neighborhoods)	Substandard Housing	CDBG: \$1,500,000	Housing Code Enforcement/Foreclosed Property Care: 5,000 Households/Housing Units
							CDBG: \$50,000	Homeowner Housing Rehabilitated: 50 Households/Housing Units
							HOME: \$600,000	Homeowner Housing Rehabilitated: 40 Households/ Housing Units
							HOME: \$1,650,000	Rental Units Rehabilitated: 16 Households/Housing Units
2	Address homelessness through outreach, prevention, rapid re-housing, casework services and other activities	2018	2022	Homeless	City-wide	Homelessness	ESG: \$784,375	Rapid Re-housing: 800 Households Assisted Homeless Prevention: 800 Persons Assisted

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
3	Improve/upgrade public facilities and infrastructure	2018	2022	Non-Housing Community Development	City-wide and CDBG Target Areas	Public Facilities and Infrastructure	CDBG: \$4,300,000	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: 8,000 persons assisted
4	Improve the well-being of low- and moderate-income persons	2018	2022	Non-Housing Community Development	City-wide and CDBG Target Areas	Public Service Programs	CDBG: \$1,100,000	Public Services Activities for other than Low/Moderate Income Housing Benefit: 290,000 Persons Assisted
5	Achieve fair housing for All	2018	2022	Non-Housing Community Development	City-wide	Housing Discrimination	CDBG: \$250,000	Public Services Activities for other than Low/Moderate Income Housing Benefit: 23,500 Persons Assisted
6	Promote economic development activities	2018	2022	Non-Housing Community Development City Economic Development	City-wide	Economic Development	CDBG: \$250,000	Jobs Created/Retained: 100 Businesses Assisted: 390
7	Effective administration of the CDBG, HOME and ESG Programs	2018	2022	Other	City -wide	Planning and Administration	CDBG: \$1,800,000	Businesses Assisted: 390
							HOME: \$250,000	Other: 56 Households/Housing Units
							ESG: \$65,625	Other: 800 Households Assisted 800 Persons Assisted
							HMIS: \$25,000	Other: Homeless Management Information System

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED

Table 6 – Goals Summary

Goal Descriptions

1	Goal Name	Improve the condition of the existing housing stock.
	Goal Description	The City will provide CDBG and HOME funds to improve the existing housing stock so that it provides decent, safe and sanitary housing.
2	Goal Name	Address homelessness through outreach, prevention, rapid re-housing, casework services and other intervention activities.
	Goal Description	The City will allocate ESG funding to organizations that address the needs of homeless individuals.
3	Goal Name	Improve/upgrade public facilities and infrastructure.
	Goal Description	The City will allocate CDBG funds to improve and upgrade public facilities and infrastructure such as public buildings, parks, streets, and storm drains.
4	Goal Name	Improve the well-being of low- and moderate-income persons.
	Goal Description	The City will provide CDBG financial support to organizations that address basic needs, public safety, transportation, job training, and needs of school-aged youth.
5	Goal Name	Achieve fair housing for all.
	Goal Description	The City will continue to allocate CDBG funds to a fair housing provider that will investigate housing discrimination complaints and tenant/landlord issues.
6	Goal Name	Promote economic development activities.
	Goal Description	The City will promote economic development activities that assist existing and start-up businesses and retain and create jobs.
7	Goal Name	Effective administration of the CDBG, HOME and ESG programs.
	Goal Description	The City will strive to achieve the goals, priority needs and funding priorities of the Consolidated Plan. The City will continue to comply with the planning and reporting requirements of the Consolidated Plan regulations and CDBG regulations. Annually, the City will monitor its use of CDBG funds to ensure effective and appropriate use of funds.

Projects

AP-35 Projects – 91.220(d)

Introduction

The City of Moreno Valley has selected a variety of projects aimed at meeting the goals and priority needs established in the Action Plan. For CDBG, the City has allocated the maximum 15% Public Service cap for a total of 13 public service projects funded for FY 18/19. The 20% Administration cap will be utilized for staffing and administration. The remaining 65% will fund a variety of Code Enforcement, Public (Street) Improvements, and Rehabilitation activities.

Projects

#	Project Name
1	HOME PROGRAM ADMINISTRATION
2	CHDO SET-ASIDE
3	HABITAT FOR HUMANITY MOBILEHOME GRANT PROGRAM
4	CDBG PROGRAM ADMINISTRATION
5	THE SALVATION ARMY. FOOD PANTRY PROGRAM
6	FAMILY SERVICES ASSOCIATION, MORE THAN A MEAL PROGRAM FOR SENIORS
7	THE SALVATION ARMY NEIGHBORHOOD CLEAN-UP
8	ASSISTANCE LEAGUE OF RIVERSIDE, OPERATION SCHOOL BELL
9	OPERATION SAFEHOUSE, INC. EMERGENCY SHELTER FOR YOUTH
10	MORENO VALLEY POLICE DEPARTMENT COMMUNITY POLICING & HOLIDAY CHEER PROGRAM
11	THE MOVAN SENIOR VAN TRANSPORTATION PROGRAM
12	EMPLOYMENT RESOURCE CENTER OPERATIONS
13	VOICES FOR CHILDREN, COURT APPOINTED SPECIAL ADVOCATES (CASA) PROGRAM
14	RIVERSIDE AREA RAPE CRISIS CENTER CHILD ABUSE PREVENTION & EDUCATION PROGRAM
15	FAIR HOUSING ANTI DISCRIMINATION SERVICES
16	FAIR HOUSING LANDLORD/TENANT COUNSELING SERVICES
17	PAVEMENT REHABILITATION FOR VARIOUS STREETS**
18	ADA IMPROVEMENT AT CITY FACILITIES**
19	INLAND EMPIRE SMALL BUSINESS DEVELOPMENT CENTER TECHNICAL ASSISTANCE
20	CITY OF MORENO VALLEY LOW INCOME SOLAR ENERGY ASSISTANCE PROGRAM
21	HABITAT FOR HUMANITY A BRUSH WITH KINDNESS
22	ESG18 MORENO VALLEY (2018)

Table 7 - Project Information**Describe the reasons for allocation priorities and any obstacles to addressing underserved needs**

Moreno Valley seeks to meet Federal national objectives of providing benefits to the low and moderate income, removing area slum and blight, and meeting urgent or emergency community needs. The City also seeks to prioritize in a way that can assist goals set by the City Council including: Revenue Diversification & Preservation, Public Safety, Positive Environment Community Image, and Neighborhood Pride & Cleanliness. Every year, in accordance with HUD's requirements, Moreno Valley re-evaluates and updates its program specific Objectives and Policies to ensure they adequately reflect the current needs of the community. The updated Objectives and Policies must then be adopted at the local level by the City Council for the upcoming program year. CDBG, HOME, and ESG Objectives and Policies primarily focus on: (1) defining the City's funding priorities, (2) offering project selection criteria, and (3) providing guidance for staff when reviewing and recommending programs and projects for funding.

AP-38 Project Summary

Project Summary Information

1	Project Name	HOME PROGRAM ADMINISTRATION
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Effective administration of the HOME programs.
	Needs Addressed	Planning and Administration
	Funding	HOME: \$53,330
	Description	Comprehensive planning and administration of the HOME grant program.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	Operating from 14177 Frederick St. Moreno Valley, CA 92552
	Planned Activities	Administration of the HOME program including project management, various reporting, research, environmental reviews, completion of the Annual Action Plan, preparation of the CAPER report, on-site monitoring, etc.
2	Project Name	CHDO SET-ASIDE
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the condition of the existing housing stock.
	Needs Addressed	Substandard Housing
	Funding	HOME: \$79,995
	Description	Mandatory 15% set-aside

	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	
	Planned Activities	Mandatory reservation of 15% annual HOME grant for a CHDO project (to be identified).
3	Project Name	HABITAT FOR HUMANITY MOBILEHOME GRANT PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the condition of the existing housing stock.
	Needs Addressed	Substandard Housing
	Funding	HOME: \$120,000
	Description	Funding would allow for Habitat for Humanity to administer a Mobile Home Grant Program (MHG) on behalf of the City.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Habitat for Humanity estimates serving approximately 8 low to moderate income persons.
	Location Description	The allocation would allow for the interior and exterior rehabilitation of approximately eight units within the City's mobile home parks including those in the Target Areas.
	Planned Activities	Eight units will be fully rehabilitated in order to address health and safety code issues such as faulty electrical, plumbing, roof repairs, etc.

4	Project Name	CDBG PROGRAM ADMINISTRATION
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Effective administration of the CDBG programs.
	Needs Addressed	Planning and Administration
	Funding	CDBG: \$388,183
	Description	Comprehensive planning and administration of the CDBG program.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	Operating from 14177 Frederick St. Moreno Valley, CA 92552
	Planned Activities	Daily administration of the CDBG program including but not limited to: activity oversight; processing of amendments; IDIS management; Implementation of the Citizen Participation plan for needs assessment and project selection; Preparation of the Annual Action Plan; Preparation of the year-end CAPER report; program specific reporting; On-site monitoring of subrecipients.
5	Project Name	THE SALVATION ARMY
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$10,000
	Description	Social Service - Food Pantry
	Target Date	6/30/2019

	Estimate the number and type of families that will benefit from the proposed activities	33,600 Moreno Valley Residents
	Location Description	Program to be offered Citywide
	Planned Activities	The Salvation Army shall help families in need by operating a food pantry that is open 12:00pm-3pm Monday, Tuesday, Wednesday, and Friday. Funding will support two employees to pick up and unload donations to the food pantry, allowing the other employees to sort through the donations to ensure that the donations go out to clients the same day it comes. Funding will also help expand services to satellite distribution centers.
6	Project Name	FAMILY SERVICES ASSOCIATION, MORE THAN A MEAL PROGRAM FOR SENIORS
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$10,000
	Description	The Family Services Association will offer a program for bedridden seniors/elderly individuals to help with their basic nutritional needs/well-being.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Family Services Association estimates serving approximately 40 low income seniors.
	Location Description	City-wide, including CDBG Target Areas.

	Planned Activities	CDBG funding will enhance the "More than a Meal Program" by offering case management services to FSA senior nutrition participants. It will increase nutritional assessments, resources and referrals, and nutrition education services to congregate and home-delivered meal services and referrals for services such as utility assistance, transportation assistance, linkages to home care, screening mental health issues and a variety of other referrals for services that the senior may need.
7	Project Name	THE SALVATION ARMY NEIGHBORHOOD CLEAN-UP
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the condition of the existing housing stock and neighborhood conditions.
	Needs Addressed	Community & Economic Development, Interim Assistance, Housing and Neighborhood Improvement Activities
	Funding	CDBG: \$30,000
	Description	This program is to provide clean-up services throughout the City of Moreno Valley. The sites will be identified by Waste and Management. Salvation Army will provide transportation and supervision to the employees hired to do the cleanup. Salvation Army hopes to provide at least 90 days of cleanup throughout the year. This will help to beautify the city.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	City-wide, including CDBG Target Areas.
	Planned Activities	Activities include cleanup services throughout the City.
8	Project Name	OPERATION SCHOOL BELL
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.

	Needs Addressed	Public Service Programs
	Funding	CDBG: \$10,000
	Description	A program provided to elementary, middle school and high school students with a goal of assisting them in removing barriers to learning. Assistance League of Riverside have provided new school clothes, backpacks, school supplies, hygiene kits and reading books to homeless and economically disadvantaged children. Each child receives: 4 shirts, 2 pairs of pants, 6 pairs of socks and underwear, a sweatshirt, a jacket, a voucher for a new pair of shoes, a backpack, school supplies, two age-appropriate reading books and a hygiene kit. Middle School and High School students are served at a J.C. Penney's store in Moreno Valley for those in that school district.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated the program will assist 400 youth.
	Location Description	Available to youth city wide
	Planned Activities	Provide new school clothes, backpacks, school supplies, hygiene kits and reading books to homeless and economically disadvantaged children.
9	Project Name	OPERATION SAFEHOUSE, INC. EMERGENCY SHELTER FOR YOUTH
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$10,000
	Description	Shelter/Safe house for homeless and runaway youth ages 17-24
	Target Date	6/30/2019

	Estimate the number and type of families that will benefit from the proposed activities	50 youth
	Location Description	Available to youth city wide
	Planned Activities	CDBG funds from Moreno Valley will be used to supplement the salaries of two full-time Child Care Workers. The Child Care Workers will provide direct services such as 24-hour supervision, life skill classes, educational tutoring, meal preparation, 1-800 crisis line assistance, transportation to appointments or recreational activities, and intake/exit paperwork.
10	Project Name	MORENO VALLEY POLICE DEPARTMENT COMMUNITY POLICING & HOLIDAY CHEER PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$58,012
	Description	The Moreno Valley Police Department (Problem Oriented Policing Team) will administer the Community Policing Program designed to bring law enforcement to a personal community level in order to solve neighborhood problems. Officers will be assigned overtime on a continual basis throughout FY 18/19. The POP Team will also administer a holiday program intended to support low-income families during the holiday season as well as foster good will between members of the public and police officers.
	Target Date	6/30/2019

	Estimate the number and type of families that will benefit from the proposed activities	The project is estimated to benefit 900 residents in the Target Area in general. The Holiday Cheer program is estimated to assist 200 very low-income households.
	Location Description	CDBG Target Areas ONLY
	Planned Activities	The MVPD POP Team shall conduct focused and proactive community oriented policing within assigned CDBG Target Areas making themselves familiar with residents, business owners, apartment complexes, in efforts to work closely with them and solve community problems. Holiday activities include a toy distribution during a banquet style meal for two child-age eligible families, a holiday parade, and Shop with a Cop trips for children to pick out gifts.
11	Project Name	THE MOVAN SENIOR VAN TRANSPORTATION PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$41,000
	Description	The MoVan is a specially equipped 12-passenger van with 2 wheelchair tie downs designed to transport the elderly and adult handicapped to medical appointments and other needed destinations at minimal or no cost to the rider.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	An estimated 4,700 low and extremely low-income seniors will receive rides on the MoVan. The MoVan is operated by the Friends of the Moreno Valley Senior Center.

	Location Description	Rides will be offered city-wide and 20-mile radius outside the City.
	Planned Activities	The MoVan will provide transportation services for the elderly and adult handicapped on an appointment basis Monday through Friday 8 am - 5 pm.
12	Project Name	EMPLOYMENT RESOURCE CENTER OPERATIONS
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$66,000
	Description	The employment Resource Center is a local center where low and moderate-income individuals and unemployed/underemployed persons can use computers/internet and various office equipment t no cost for job searches, applications, and to apply for unemployment. The ERC is open Monday through Thursday from 8 am - 5 pm.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Employment Resource Center estimates serving approximately 592 low to moderate income residents.
	Location Description	The ERC is located at: 12625 Frederick Street Suite K-3, Moreno Valley CA 92553

	Planned Activities	<p>The ERC offers 29 computers with internet access, Wi-Fi, two printer/copiers, job recruitment boards featuring local jobs, fax machines, a computer lab for training purposes, a conference room for workshops and group activities, and staffing to assist both job seekers and employers with their individual needs such as job searches, completion of applications, mock interviews, resume assistance, job training, and career coaching.</p> <p>Employers utilize the ERC for recruitment purposes. The ERC provides employers with access to a large and local applicant pool, private offices to hold interviews, a conference room to conduct new employee orientations and training, and staff assistance to access the Riverside County Business Solutions representatives to assist them in all their human resources and labor market information needs.</p>
13	Project Name	VOICES FOR CHILDREN, COURT APPOINTED SPECIAL ADVOCATES (CASA) PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$25,000
	Description	Voices for Children offers court appointed monitoring services to foster youth ages newborn to 21. The program trains volunteers to consistently monitor the foster child, advocate for their best interest, and follow their progress regardless of a change in foster family. The CASA volunteer reports to the court on the child's behalf to ensure the child is placed in a safe, permanent home with hope for a positive future.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	CDBG funding will allow for a volunteer Court Appointed Special Advocate (CASA) to be assigned to 12 foster children in the City of Moreno Valley for a full year, representing 1,440 hours pf direct advocacy service.
Location Description	Services are available to eligible foster youth within the City.	

	Planned Activities	Five full-time professionals provide the critical staffing support for our CASA Program in Riverside County (one Program Director, one Recruitment and Training Coordinator and three Advocacy Supervisors). The CDBG grant would partially fund salaries for the staff members directing and supervising the advocacy work of CASAs matched with Moreno Valley foster children. Under the Voices for Children budget structure, it presently costs \$2,075 to recruit, train, and carefully manage a Court Appointed Special Advoca, or CASA, to provide advocacy for one foster child for a full year. These costs are primarily for the staffing needed to support CASAs' work.
14	Project Name	RIVERSIDE AREA RAPE CRISIS CENTER CHILD ABUSE PREVENTION & EDUCATION PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the well-being of low- and moderate-income persons.
	Needs Addressed	Public Service Programs
	Funding	CDBG: \$10,000
	Description	The Riverside Area Rape Crisis Center provides child abuse education and prevention programs through the Moreno Valley schools. The Rape Crisis Center also provides supportive services to victims of abuse and their families.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Riverside Area Rape Crisis Center estimates serving approximately 2,800 low to moderate income residents.
	Location Description	City-wide, including the CDBG target areas.
	Planned Activities	Abuse prevention and education programs will be presented to varying age groups through the Moreno Valley Unified School District. Accompaniment, counseling and supportive services will be provided to victims of abuse and their families.
15	Project Name	FAIR HOUSING ANTI-DISCRIMINATION SERVICES, FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY

	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Achieve fair housing for all.
	Needs Addressed	Housing Discrimination
	Funding	CDBG: \$32,158
	Description	The Fair Housing Council of Riverside County will provide: a full range of fair housing services that promote fair housing rights and obligations through the 3 basic areas of education, training, and enforcement. Services will include providing education and outreach information to the public and providing assistance to victims of housing discrimination.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Fair Housing Council of Riverside estimates serving approximately 185 low to moderate income residents for the fair housing discrimination services.
	Location Description	City wide, including the CDBG Target Areas.
	Planned Activities	Fair Housing Discrimination Services: The Fair Housing Council will investigate claims of housing discrimination and assist victims of discrimination. The Council will also provide education and outreach workshops and presentations.
16	Project Name	FAIR HOUSING LANDLORD/TENANT COUNSELING SERVICES, FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Achieve fair housing for all.
	Needs Addressed	Housing Discrimination
	Funding	CDBG: \$18,967

	Description	The Fair Housing Council of Riverside County will provide: a full range of landlord tenant services that promote fair housing rights and obligations through the 3 basic areas of education, training, and enforcement.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Fair Housing Council of Riverside estimates serving approximately 4,650 low to moderate income residents for the landlord/tenant counseling services.
	Location Description	City wide, including the CDBG Target Areas.
	Planned Activities	Fair Housing Landlord/Tenant Counseling: The Fair Housing Council will inform tenants and landlords of their legal rights and responsibilities, while providing mediation and enforcement of those rights. The Council will also provide referrals, training, and technical assistance.
17	Project Name	PAVEMENT REHABILITATION FOR VARIOUS STREETS**
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve/upgrade public facilities and infrastructure.
	Needs Addressed	Public Facilities and Infrastructure
	Funding	CDBG: \$722,350
	Description	This project will provide pavement rehabilitation for a total of approximately 63 local streets within the City's HUD-CDBG Low/Mod Census Tract 2017 areas.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	

	Location Description	Various locations within the CDBG Target Areas.
	Planned Activities	The project includes the reconstruction of approximately 22 access ramps within the pavement rehab limits to meet current ADA requirements. Pavement rehabilitation consists of the removal of 1.5 –inch thick of existing asphalt concrete pavement surface and replacement of new asphalt concrete surface of same thickness for street areas that are severely distressed. Rehabilitation also includes the crack sealing and application of slurry seal for areas of street pavement that are less distressed. The project is to improve the street pavement and extend the service life of the pavement while enhancing the safety and aesthetic appearance of various communities with in the HUD-CDBG Low/Mod Census Tract 2017 areas.
18	Project Name	ADA IMPROVEMENT AT CITY FACILITIES**
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve/upgrade public facilities and infrastructure.
	Needs Addressed	Public Facilities and Infrastructure
	Funding	CDBG: \$400,000
	Description	The Moreno Valley Main Public Library was among the facilities in which ADA improvement needs were identified.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	

	Planned Activities	Improvements at the Main Library will include parking lot upgrades to the curb ramps (slopes and warning strips), passenger loading zones (warning strips, access aisle), parking stalls (slopes, signing and striping), path of travel (sidewalks, patios and warning strips), stairs (Installation of stairway and compliant handrail, treads, etc.) and ramps to the entrance of the building (length and width modifications & handrails), improvements of restrooms which are in need of upgrades to the height and distance of the sinks, toilets, counters, partitions, etc, and installation of accessible lockers.
19	Project Name	UNIVERSITY ENTERPRISES CORP., IE SMALL BUSINESS DEV. CTR (SBDC)
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Promote economic development activities
	Needs Addressed	Economic Development
	Funding	CDBG: \$49,246
	Description	SBDC will provide business consulting and training to existing and start-up businesses and will create 10 low/moderate jobs, retain 10 low/moderate jobs, provide local small businesses with 75 consultations, and train 90 persons as part of the business workshops.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Inland Empire Small Business Development Center estimates serving at least 165 low-to-moderate income residents.
	Location Description	City-wide, including CDBG target areas.
	Planned Activities	The SBDC program will provide one-on-one counselling, technical assistance and a variety of training and workshops to Moreno Valley small businesses. Training and seminars include such topics as financial management, marketing, taxes developing a business plan, and expanding a home based business. The overall goal of the SBDC is low and moderate job creation and retention.
	Project Name	GRID ALTERNATIVES SOLAR AFFORDABLE HOUSING PROGRAM

20	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the condition of the existing housing stock
	Needs Addressed	Substandard Housing
	Funding	CDBG: \$50,000
	Description	Provide affordable, clean, renewable energy option to low-income homeowners by installing solar electric systems.
	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Grid Alternatives estimates serving approximately 10 low-income families.
	Location Description	City-wide, including the CDBG target areas.
	Planned Activities	Grid Alternatives will install solar electric systems for 10 low-income homeowners with the assistance of 20 job trainees and community volunteers. Resulting in long-term financial benefits for low-income families; real-world hands on experience for local workers in the field of solar installation; and environmental benefits.
21	Project Name	HABITAT FOR HUMANITY BRUSH OF KINDNESS CRITICAL HOME REPAIR PROGRAM
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Improve the condition of the existing housing stock
	Needs Addressed	Substandard Housing
	Funding	CDBG: \$10,000
	Description	A Brush with Kindness is an exterior home preservation services that offers exterior painting, landscaping, and minor exterior repairs for homeowners in need.

	Target Date	6/30/2019
	Estimate the number and type of families that will benefit from the proposed activities	Habitat for Humanity estimates serving approximately 10 low to moderate income homeowners.
	Location Description	Various single residential unit throughout the City.
	Planned Activities	This program will offer qualified homeowners a one-time exterior home preservation services that offers exterior painting, landscaping, and minor exterior repairs for homeowners in need. The minor repairs consist of skirting, trim, steps, entrance, and porch deck repairs to ensure safety and health compliance and improve accessibility.
22	Project Name	ESG18 MORENO VALLEY (2018)
	Target Area	CDBG TARGET AREA(S)
	Goals Supported	Effective administration of the ESG Programs; Address homelessness through outreach, prevention, rapid re-housing, casework services and other activities
	Needs Addressed	Planning and Administration; Homelessness
	Funding	ESG: \$174,002
	Description	Moreno Valley 2018 ESG Programs are for: (1) Emergency Solutions Grant (ESG) Administration - Comprehensive planning and administration of the ESG grant program. (2) County of Riverside Homeless Management Information System (HMIS) - Support to Countywide Homeless Services Tracking System. (3) The Salvation Army Street Outreach Program; (4) U.S. Veterans Initiative Rapid Re-housing and Homeless Prevention - U.S. VETS will provide Rapid Re-Housing and Homeless Prevention services; (5) Catholic Charities San Bernardino & Riverside Counties, Casework Services Program - Rapid Re-Housing and Homeless Prevention services.
	Target Date	6/30/2019

<p>Estimate the number and type of families that will benefit from the proposed activities</p>	<p>U.S. Vets will serve approximately 75 households and Catholic Charities anticipates serving 250 household/400 people.</p>
<p>Location Description</p>	<p>The ESG Administration will operate from 14177 Frederick St. Moreno Valley, CA 92552;</p> <p>County of Riverside Homeless Management Information System (HMIS) will be operating from County of Riverside, Department of Public Social Services (DPSS), Adult Services Division - Homeless Programs Unit (HPU), Homeless Management Information System (HMIS) 4060 County Circle Drive, Riverside CA 92503.</p> <p>The Salvation Army, U.S VETS and Catholic Charities will offer ESG program Citywide.</p>

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<p>Planned Activities</p>	<p>Emergency Solutions Grant (ESG) Administration: Daily administration of the ESG program including but not limited to: activity oversight; programmatic research; technical assistance; processing of budget amendments; IDIS management; HMIS QC review; program specific reporting; On-site monitoring of subrecipients.</p> <p>County of Riverside Homeless Management Information System (HMIS): Funds will be used by the County of Riverside to manage Homeless Management Information System (HMIS) on behalf of the City of Moreno Valley.</p> <p>U.S. Veterans Initiative Rapid Re-housing and Homeless Prevention: Rapid Re-Housing services will provide Housing Stability Case Management services such as conducting an in-depth psycho-social-bio assessment, developing Individual Housing and Employment Plans (IHEP), housing search and placement, employment training, job search, credit repair, and HMIS data entry.</p> <p style="text-align: right;">Homeless Prevention</p> <p>services will also include Housing Stability Case Management, referrals to mainstream benefits employment training, job search, credit repair. Financial assistance services such as short and medium-term rental assistance, utility payments, payment of rental arrears (one-time-payment of up to 6 months on the arrears, including any late fees) and other services.</p> <p>Catholic Charities San Bernardino & Riverside Counties, Casework Services Program: Case management services, which includes community outreach and a wide range of homeless and homeless prevention services to low-income residents such as motel vouchers, rental assistance (rent in arrears to prevent eviction), security deposits, utility assistance, food and other supportive services.</p>
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AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The CDBG Target Areas consist of census tracts within the City that are qualified as having a population of 51% or more low to moderate income residents. These tracts are located within three of the five City Council Districts.

Since the release of the 2010 US Census information, the City has been re-evaluating its Target Areas. However, the 2010 Census did not collect income information. Subsequently, HUD instructed cities to continue using the available 2000-based dataset until the point which a newer dataset was released. In late 2014, the new information was made available and even newer dataset has since been released for 2015. The City re-examined the demographics of each census tract and in 2017 formally adjusted and adopted its Target Area Maps.

Geographic Distribution

Target Area	Percentage of Funds
CDBG TARGET AREA(S)	70

Table 8 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

When determining the geographic locations where Moreno Valley will allocate their investments, City representatives will consider if the project or program will physically be located within an already designated CDBG Target Area, and in line with whether the program will directly benefit the low-to-moderate income population in that area.

Poverty levels will act as a measure of need for an area, providing staff with insight on the state of the population within that area and allow City representative to fund services accordingly. City representative will also take public demand into account, recommendations from other city departments (such as Capital Projects, or the Police Department), reports from CDBG subgrantees which track referrals and measure trends in service levels, recommendations of other local entities like the County partners (the Continuum of Care, Department of Social Services, local Housing Authority, Economic Development Agency) and the local non-profits.

Discussion

Moreno Valley utilizes geographic distribution designations that further describe where the City will focus its programs. A program can be designated as serving either: (1) 'Citywide", or (2) 'in the CDBG

Target Areas'. 'Citywide' is a designation used for programs that offer services to the entire community. Many Public programs provide services to the entire city, the nature of these program services is often exclusively to serve low-to-moderate income persons (i.e., food banks). If a program is designated for the 'CDBG Target Area' it is confined exclusively to the CDBG Target Area.

In general, CDBG Target Areas typically include older sections of the City where much of the building stock and infrastructure is deteriorated or fails to meet current standards. Many structures are in need of minor or major rehabilitation with some structures in need of extensive reconstruction. The areas lack adequate drainage systems, water lines, street lighting, and street improvements. The current CDBG Target Area Map is included as an attachment or an appendix to this Plan.

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Affordable Housing

AP-55 Affordable Housing – 91.220(g)

Introduction

The City plans to utilize all programs available (whether City, County, State, or Federal) to meet the affordable housing needs of the community. For example, low income households seeking multi-family rental opportunities will be assisted through the City’s HOME and Neighborhood Stabilization (NSP) programs. HOME offers a variety of activities aimed at providing affordable housing opportunities. The NSP works exclusively to rehabilitate foreclosed or vacant properties in the community and convert them into affordable housing opportunities for the qualified low-income families.

One Year Goals for the Number of Households to be Supported	
Homeless	0
Non-Homeless	8
Special-Needs	0
Total	8

Table 9 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	0
Rehab of Existing Units	8
Acquisition of Existing Units	0
Total	8

Table 10 - One Year Goals for Affordable Housing by Support Type

Discussion

In 2017-18, the City is worked with a CHDO partner, Riverside Housing Development Corporation (RHDC), to complete two projects located at 22899 and 22889 Allies Place in a distressed CDBG Target neighborhood. These projects shall acquire, rehabilitate, and rent restrict eight (8) affordable units each providing for affordable housing opportunities for the low and very low-income in a severely distressed area of the City.

The City partnered with Habitat for Humanity-Riverside, to develop 8-unit single family subdivision utilizing NSP1, 3 funding and former RDA land. The project was completed and has created affordable

housing homeownership opportunities for eligible buyers meeting the 50% AMI income requirement.

Homeownership opportunities for the low-income households had been made available through the City's Single Family Residential Acquisition, Rehabilitated, and Resale (SFR-ARR) component of the Neighborhood Stabilization Program. To date, over 50 affordable single-family units had been rehabilitated and were sold to qualified lower-income families.

The City of Moreno Valley's affordable housing portfolio includes 25 different multi-family rental projects expected to provide 1,302 low-and moderate-income families with affordable housing during FY 2017-18.

Lastly, through the Housing Authority of the County of Riverside (HACR), the City will also be able to offer its residents affordable housing through the County's Public Housing programs. HACR administers and manages approximately 1,500 Section 8 properties and 66 Public Housing units in Moreno Valley.

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AP-60 Public Housing – 91.220(h)

Introduction

The Housing Authority of Riverside County (HACR) addresses the public housing needs of the cities within Riverside County. The Public Housing Program is intended to provide decent, safe, and sanitary housing to low and moderate-income families, seniors, and persons with disabilities.

Actions planned during the next year to address the needs to public housing

As of 2016, the Countywide Housing Authority owns 469 units, 66 of these units are in the City of Moreno Valley. The Housing Authority informed jurisdictions that it would convert its entire countywide supply of Public Housing (PH) to project-based vouchers (PBV) as part of the HUD-approved Rental Assistance Demonstration (RAD) program. The change proposes to include the 66 units located within Moreno Valley on Dracaea St. (28 units), Gloria St. (34 units), and Sherman Ave. (4 units). The full conversion to RAD is expected to occur over 2018. There is a total of 9,062 households who receive housing choice vouchers countywide. It's estimated that approximately 1,500 are for Moreno Valley residents who receive Housing Choice Vouchers (or Section 8). All Voucher recipients are below 50% of the area median income and approximately 75% of recipients are below 30% of area median income. The countywide Section 8 waiting list has approximately 52,000 families. The waiting list for Section 8 was closed but has reopened and is accepting new applications with specific eligibility criteria in place. There are approximately 56,000 families on the Public Housing waiting list.

Based on the large numbers of families waiting for assistance, the City supports the HACR goal to: expand the supply of assisted housing by applying for additional rental vouchers via annual competitions for the U.S. Department of Housing and Urban Development (HUD) affordable housing funding available to Public Housing Authorities; improve the quality of assisted housing; leverage private or other public funds to create additional housing opportunities; and expand and promote self-sufficiency programs.

The City will actively pursue opportunities for local affordable housing projects as described within this Action Plan as well as non-housing public service programs that contributes to the overall affordable housing needs of the community and ease the financial burden of its struggling, low-income residents. To further collaborate, the City of Moreno Valley will continue to review the Riverside County Agency's Action Plan and monitor the affordable housing needs of the area. The City reviews proposed development sites, the comprehensive plan, and any proposed demolition or disposition of public

housing developments.

Actions to encourage public housing residents to become more involved in management and participate in homeownership

The Riverside County Housing Authority encourages public housing residents to become more involved in management and to participate in homeownership opportunities through its Public Housing Resident Initiatives (PHRI). The Riverside County Housing Authority seeks to facilitate the successful transition of residents from public housing residency to economic independence and/or from welfare-dependence to increased earning capacity or sustained work. This Initiative builds upon the efforts of the local welfare plan and other self-sufficiency efforts of the Housing Authority and target public housing residents who are receiving welfare assistance. The goals of the PHRI are: reduce welfare dependence by assisting residents in returning to the work force in a job commensurate with their abilities; reduce poverty by assisting residents in increasing their self-sufficiency by enhancing their employment or earning potential; and to increase homeownership among public housing residents. Local partners including public agencies and community-based nonprofits, as well as faith-based organizations provide self-sufficiency services including: job training, employment opportunities, computer instruction, etc.

The Family Self Sufficiency (FSS) Program was established to assist Section 8 residents and enable families to gain economic independence from all governmental assistance. Supportive services offered to participating families include:

- Remedial Education and Classroom Training;
- Employment Training and Placement;
- Counseling/Case Management;
- Credit Counseling and Money Management;
- Child Care
- Transportation

The Housing Authority has also established a “Homeownership Program” (HP). The HP assists eligible participants in the Section 8 program, who are also participants of the Family-Self Sufficiency Program (FSS) by offering a single down payment assistance grant. In order to maximize the use of resources available to home seekers, the Housing Authority program also targets families who take part in the Riverside County Economic Development Agency’s (EDA) First Time Home Buyer Program (FTHB). In combination, the HP/FTHB partnership enables families to realize their dream of becoming homeowners by providing them with financial and other resources that they would not normally have access to.

The Resident Opportunity and Self-Sufficiency Program (ROSS), facilitates the successful transition of residents from public housing residency and/or from welfare-dependence to economic

independence. The County has reported that it is completing its final year of program operations of assisting residents at Gloria Street Apartments and the Dracaea Townhomes in public housing communities in Moreno Valley. The Housing Authority indicated that they continued to apply for additional funding and had an application pending to continue the ROSS program at the Moreno Valley properties for another 3 years.

If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance

The PHA is not designated as troubled.

Discussion

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AP-65 Homeless and Other Special Needs Activities – 91.220(i)

Introduction

One of the City's highest priorities for the use of grant funds is to address the emergency shelter and housing needs of homeless persons. In the coming year, Moreno Valley will continue to dedicate funding toward homeless services. In the coming year, Moreno Valley will continue to dedicate funding toward homeless services. The City will assist homeless persons with emergency vouchers and other critical support funded through partnership with homeless service providers. As well as continue to subsidize affordable housing development that offers long-term affordable housing opportunities. With the added Emergency Solutions Grant (ESG) entitlement funding, Moreno Valley will offer programs that will help quickly house homeless individuals and prevent loss of housing for those at risk of becoming homeless.

A "Point-in-Time Count" (PIT) was released in May 2016, regarding homeless persons residing in Riverside County. Conducted by the County's Continuum of Care (CoC), Moreno Valley has estimated 61 unsheltered homeless persons residing within its city limits. Of those, the largest subpopulations were male (totaling 45), followed by 'non-Hispanic' (totaling 39). About twenty (20) of the individuals are estimated to be substance abusers, 17 had mental health conditions, and approximately 12 are classified as chronically homeless.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

In line with the HUD requirements, the City has developed a comprehensive Homeless Strategy that involves reaching out to homeless persons, assessing and addressing their individual emergency/housing needs. To reach these individuals, the City extends CDBG funding to a variety of public service subgrantees who in turn provide the direct services including street outreach, case management, housing search assistance, emergency housing/motel vouchers, food, and counseling. These social service programs are often the primary source for referrals and assistance to homeless persons, and primary contact for unsheltered individuals. The majority of the homeless population will become aware of a program through word of mouth, and seek out services by calling the service provider or traveling to their local office.

During the 2018/19 program year, the City will be providing funding to:

- United States Veterans Initiative - Rapid Rehousing & Homelessness Prevention (ESG); The Salvation Army - Food Distribution (CDBG); Catholic Charities - Homelessness Prevention (ESG); The Hole in Wall, Inc. - Emergency Referrals, Specialized Counseling Historically, Riverside

County has worked toward dealing with the chronic homeless population for a number of years through the Mental Health Homeless Intervention Team (HIT) program. The HIT Team actively sought out homeless, throughout Riverside County, living on the streets and in unsheltered locations. The teams focused on areas of high homeless concentration. Support workers are trained to recognize the symptoms of mental illness and substance abuse. Support workers also possess the interpersonal skills necessary to solicit and provide information in a friendly, respectful, non-threatening manner. They are familiar with all community resources that serve the homeless population, both public and private. At a minimum, all homeless persons contacted on the streets are provided with information and referrals to programs relevant to their needs. Once the chronic homeless persons have been identified, and if mentally ill and willing to participate, they are enrolled into a series of programs by the Department of Mental Health.

Additionally, the County of Riverside, along with Continuum of Care partners will make available the "25 Cities" pilot program which aims to assist homeless populations, primarily veterans and the chronically homeless to attain housing through collaboration and communication with its CoC partners. The program features coordinated entry system, a software that stores and displays housing information including vacancies, client personal information, and tracks their individual needs.

Addressing the emergency shelter and transitional housing needs of homeless persons

Addressing the housing needs of the homeless is the primary objective of ESG fund and one of the City's highest priorities for the use of CDBG public service dollars. ESG funding will be allocated to address the emergency shelter and housing needs of homeless persons located in Moreno Valley. The City's ESG program allocation will be used to leverage the homeless prevention efforts originally initiated by CDBG. However, ESG will provide additional funding that will be used to assist, protect, and improve living conditions for the homeless and provide for the following eligible activities:

- Outreach to homeless individuals and families living on the street;
- improve the number and quality of emergency shelters for homeless individuals and families;
- help operate these shelters;
- provide essential services to shelter residents,
- rapidly re-house homeless individuals and families, and
- prevent families/individuals from becoming homeless

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals

and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again

The City of Moreno Valley will be continuing a multi-faceted system that will assist in enhancing efforts for persons and families to transition to permanent housing and independent living through a variety of resources involving the continued partnerships and financial support to local nonprofit service providers and participation and support to the Riverside County Continuum of Care. Additionally, the Riverside County's Department of Public Social Services (DPSS) is considered the "umbrella" anti-poverty agency for the region. The goal is self-sufficiency accomplished by moving poor families out of poverty. DPSS interacts with needy residents on many levels, and assisting them through child care, education, employment, training, health and human services, homelessness and housing with available mainstream programs.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs.

The Riverside County CoC has a standing six-year cooperative agreement between various key organizations and agencies that establish county-wide protocols and procedures intended to prevent people from being discharged from public and private institutions (programs) into homelessness. The agreement is effective through 2018 and includes the County Mental Health, Veterans, Sheriff's, and Children's Services Independent Living Program, as well as the Southern California Hospital Association, and administrators of the 2-1-1 telephone referral program, Community Connect of Riverside County. With the services made available with the assistance of ESG funding, Community Connect and other partners to formally register its programs and ensure that the public are referred to the city ESG services. City public service providers assisted those threatened with homelessness by providing referrals and coordinating with other agencies to locate assistance for the family or individuals. Additionally, Moreno Valley shall dedicate ESG entitlement funding toward homeless prevention and rapid-re-housing efforts.

Discussion

Please refer to above

AP-75 Barriers to affordable housing – 91.220(j)

Introduction:

As a condition of receiving federal funding for the CDBG and HOME programs, cities must certify that it will affirmatively further fair housing as required by the Fair Housing Act. The Act includes policies that ensure that persons are not denied equal opportunities in connection with housing because of their race, color, national origin, religion, disability, sex, or familial status. In compliance, prior to the start of each Consolidated Plan period, Moreno Valley prepares an Analysis of Impediments (AI) to Fair Housing Choice Report. As part of the report, the City of Moreno Valley is required to:

1. Conduct an analysis to identify impediments to fair housing choice within the jurisdiction; Take appropriate actions to overcome the effects of any impediments identified through that analysis; and Maintain records reflecting the analysis and actions in this regard.

The AI is a review of impediments or barriers that affect the rights of fair housing choice and serves as a basis for fair housing planning. It provides detailed information to policy makers, administrative staff, housing providers, lenders, and fair housing advocates to assist in building public support for fair housing efforts. Moreno Valley's latest AI is effective from 2016-2020. Data contained in the AI report is a synthesis of the most recent US Census Data, information collected by the Fair Housing Council of Riverside County (FHCRC), and a series of community meetings. In addition, the City in partnership with the FHCRC published an online survey to solicit additional community input regarding fair housing issues.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

For FY 2018-19, the City has identified barriers to affordable housing both in the public and the private sectors. Moreno Valley plans to address each specific barrier as follows:

Public Sector Actions:

1. The City should prepare a Hate Crime Victims Resource Directory. When the directory is deemed complete, it should be transmitted to the Police Department to use as a referral resource.

Private Sector Actions:

1. The City and Fair Housing Council of Riverside County, Inc. will continue to offer to its residents fair housing services. The Fair Housing Council will post on its website, a page where residents can put their fair housing questions.
2. The City and Fair Housing will arrange a meeting with IVAR's Fair Housing Committee, to explore fair housing topics.
3. The Fair Housing Council - as part of its home buyer counseling services – will provide examples of how to detect “steering” during the home search process and how to detect “loan steering.” The Fair Housing Council will offer information to renters attending workshops on how to detect steering behavior by resident property managers.
4. The Fair Housing Council will add “how to read an appraisal report” to its homebuyer counseling services.
5. The City and Fair Housing Council will annually monitor the HMDA data to establish long-term trends in loan denial rates. The City and Fair Housing Council will maintain an inventory of FHA and low down payment financed homes and notices of default. The Fair Housing Council will contact the borrowers in default and inform them of default and foreclosure counseling services available to homeowners at risk of losing their homes.
6. The City and Fair Housing Council will add “homeowner's insurance” and “CLUE Reports” to its homebuyer counseling services. The Fair Housing Council will provide educational services to home buyers and borrowers, so they understand the impact of CLUE Reports and can compare homeowner's premium rates.
7. The Fair Housing Council will update the list of the names and e-mail addresses of the resident apartment managers. The City and Fair Housing Council will arrange an information session between the fair housing counselors and resident managers to exchange insights on a variety of fair housing issues. The City and Fair Housing Council will continue to inform resident managers by transmitting information to their e-mail and/or physical address.
8. The City and Fair Housing Council will continue outreach to resident apartment managers on the topic of reasonable accommodations and modifications through training sessions, workshops, correspondence, and other means. As new information becomes available, the City and Fair Housing Council will transmit it to resident apartment managers.

Discussion:

The AI is a review of impediments to fair housing choice in the public and private sector. The AI involves:

- A comprehensive review of State or Entitlement jurisdiction's laws, regulations, and administrative policies, procedures, and practices;
- An assessment of how those laws, etc. affect the location, availability, and accessibility of

housing;

- An assessment of conditions, both public and private, affecting fair housing choice for all protected classes; and
- An assessment of the availability of affordable, accessible housing in a range of unit sizes.

Impediments to fair housing choice are:

- Any actions, omissions, or decisions taken because of race, color, religion, sex, disability, familial status, or national origin which restrict housing choices or the availability of housing choices;
- Any actions, omissions, or decisions that have the effect of restricting housing choices or the availability of housing choices on the basis of the same.
- Availability of housing choices based on the same.

Pursuant to the Fair Housing Act, HUD has long directed program participants to undertake an assessment of Fair Housing issues, previously under the Analysis of impediments approach. However, per the Affirmatively Furthering Fair Housing (AFFH) rule, to take the new Assessment of Fair Housing Approach. During 2017-18, the City has begun and shall continue the process of reanalyzing its fair housing action plan based on the new requirements.

AP-85 Other Actions – 91.220(k)

Introduction:

Following is a summary of critical components of 'other' necessary actions for the upcoming Consolidated Plan year, including how the City plans to overcome obstacles to meeting underserved needs, create plans to foster and maintain affordable housing, plans to reduce lead based paint hazards, to reduce the number of poverty-level families, develop institutional structure, and Actions planned to enhance coordination between public and private housing and social service agencies.

Actions planned to address obstacles to meeting underserved needs

The primary obstacle in meeting the needs of the communities underserved (low income families, seniors, homeless, etc.) is the lack of funding available to local public and private agencies. The economic downturn resulted in a decline in federal funding and the elimination of Redevelopment agencies and the tax increment/housing set-aside funding associated with it. It has also resulted in a decline in funding donations to local non-profits. This loss in revenue has not been fully overcome, however, staff can take the following actions in efforts to still effectively address the needs of the City's underserved:

- Continue to establish partnerships with other agencies in order to better prioritize and utilize resources, Conduct more detailed research and citizen participation each year in order to more effectively prioritize the needs of the underserved, Seek out additional resources and apply for grants where there are opportunities, Formally adjust the programs Objectives and Policies to reflect the updated prioritization, Allocate accordingly; even if it means shifting away from what's been historically funded, Create new programs/temporary emergency programs to address urgent issues, Work hand in hand with subgrantees to adjust budgets, services, and restructure programs to better fit the needs of the underserved.

Actions planned to foster and maintain affordable housing

In 2018-19 the City will continue to work with a CHDO partner, Riverside Housing Development Corporation (RHDC) to complete two projects located at 22899 and 22889 Allies Place in a distress CDBG Target Neighborhood. These projects shall acquire, rehabilitate, and rent restrict a total of eight (8) affordable units each providing for affordable housing opportunities for the low and very low income in a severely distress area of the City.

The City partnered with Habitat for Humanity-Riverside, to develop 8-unit single family subdivision utilizing NSP1, 3 funding and former RDA land. The project was recently completed and has created affordable housing homeownership opportunities for eligible buyers meeting the 50% AMI income

requirement.

Homeownership opportunities for the low-income households was made available through the City's Single Family Residential Acquisition, Rehabilitated, and Resale (SFR-ARR) component of the Neighborhood Stabilization Program. To date, over 50 affordable single-family units were rehabilitated for qualified lower-income families.

The City of Moreno Valley's affordable housing portfolio includes 25 different multi-family rental projects expected to provide 1,302 low and moderate-income families with affordable housing during FY 2017-18.

Lastly, through the Housing Authority of the County of Riverside (HACR), the City will also be able to offer its residents affordable housing through the County's Public Housing programs. HACR administers and manages approximately 1,500 Section 8 properties and 66 Public Housing units in Moreno Valley.

Actions planned to reduce lead-based paint hazards

City Housing Programs

Due to funding cuts, the City had temporarily discontinued three of its consumer loan programs that were impacted by the requirements of lead-based paint disclosure. However, Moreno Valley was able to reinstate the Mobile Home Grant Rehabilitation Program. Habitat for Humanity, Riverside applied for and has been contracted to administer the HOME funded program. All homeowners participating in this grant program receive a copy of the "Renovate Right," a lead-based paint disclosure booklet, and are asked to sign an acknowledgment that is included in the loan application. If the unit was constructed after 1978, an exemption form is prepared and placed to file. If the home was constructed prior to 1978, Home Safe is subcontracted to provide a lead-based paint inspection of the property. If the property is found to contain lead-based paint, mitigation measures are incorporated as a part of the revitalization work.

Countywide Lead Hazard Control Program

While the City of Moreno Valley does not currently have a stand-alone lead prevention program, the City will continue to work closely with the County of Riverside to address these issues. The County has adopted a regional strategy to control lead hazards. The County's strategy thoroughly spells out the control methods used once lead based paint hazards have been identified. It also describes its typical public outreach efforts which include: the distribution of bilingual educational brochures, public presentations, informational booths at the mall and community events, immunization clinics, testing

within Target Areas, use of public media for outreach, as well as a 'Free Testing Program.'

Actions planned to reduce the number of poverty-level families

The City plans to utilize the following programs in order to reduce poverty among its population:

1. City CDBG Public Service Programs, City Emergency Solutions Grant (ESG) Programs; County Public Housing Programs, County ESG Program, County Family-Self Sufficiency Program (FSS), Local Service Providers, CalWORKs program, Riverside County Economic Development Agency & Workforce Development Center, Riverside County Department of Public Social Services and Mental Health and Public Health.

The City has established several goals to reduce poverty among its population:

1. Economic Development and Job Creation/Retention. The City partners with the Inland Empire Small Business Development Center (SBDC) to provide small business counseling services to local businesses with the goal that the services will create and/or retain low and moderate-income jobs. The Small Business Consultant holds temporary offices one day per week within the City to provide increased access to Moreno Valley residents. The City began a job training program in 2007 to train youth (18-22 years old) in the manufacturing and logistic industry. The provision of the job training is seen as a critical component to encouraging economic self-sufficiency. During the term of the Consolidated Plan it is anticipated that employment training opportunities be expanded to include adults from older age groups.
2. Housing Programs. The City plans to offer programs in its strategy to produce and preserve affordable housing. The implementation of City programs, and the Mobile Home Grant Program will assist in maintaining livable conditions for lower income persons. In addition, the City will continue to partner with Community Housing Development Organization (CHDO) such as Habitat for Humanity and Riverside Housing Development Corporation (RHDC). Habitat for Humanity will assist in the development of new single-family houses for very low-income persons. The partnership with RHDC will be utilized to continue acquisition and rehabilitation of affordable rental housing units for low and very low-income households. The development of additional senior housing is also anticipated during the term of the Strategic Plan. The City will also continue to explore relationships with for profit and non-profit and non-profit housing developers to increase the supply of affordable multi-family housing units.
3. Public Service Providers. The City will continue to provide grant funding to various public service providers to assist low income individuals and households, special needs population, and the homeless population with access to critical services. These programs provide City residents opportunities to utilize programs at little or no cost, thereby reducing financial burdens.
4. Coordination Efforts. The City's goal is to continue to collaborate with governmental and other social service agencies to assure the effective delivery of such services to low-income

individuals. One example is the Riverside County Continuum of Care. The Continuum of Care group consists of several local non-profit agencies along with governmental agencies, such as the City of Moreno Valley, who meet periodically to share information, coordinate efforts to assist homeless persons and plan future activities. While the City's ability to directly reduce the number of households with incomes below the poverty line is limited, by utilizing multiple programs and working with county, private and non-profit agencies, the City will endeavor to reduce the number of households with incomes below the poverty line.

Actions planned to develop institutional structure

The City of Moreno Valley benefits from a solid institutional structure and relationships with various local public and private agencies. In FY 2018-19, City representative plans to collaborate with 14 agencies in order to administer its programs. The City will continue to work at strengthening its dialogue with Riverside County agencies such as the Departments of Mental Health and Public Social Services, specifically to address regional homeless issues, therefore, staff will continue to serve on the Continuum of Care Consortium which provides opportunities to work with local public and non-profit agencies. The City will maintain open dialogue with the Riverside County Housing Authority and focus on the use of resident initiatives in public housing. The City helped form a Non-Profit Coalition in efforts to increase collaboration amongst service providers and better meet the needs of the community and shall continue to support their efforts. The City will remain a member of the March Joint Powers Authority, created for the repurposing of the March Air Reserve Base. Additionally, the City will continue to coordinate with all of the local Chambers of Commerce, as well as administer the Business Roundtables, and Nonprofit Roundtables which encourages communication with professionals from a variety of industries including health care, transportation, education, and other local businesses.

Actions planned to enhance coordination between public and private housing and social service agencies

The City's goal is to continue to establish collaborative relationships between governmental and social service agencies to assure the effective delivery of services to low-income individuals by:

- Maintaining open communication with subgrantees and other consolidated planning partners; Utilizing technology to share, distribute information, foster and maintain constant contact with community planning partners; and Recommending and participating in committees

aimed at filling gaps where they exist.

Discussion:

Each of the issues listed above have also been addressed in greater detail within the City's 5-year Consolidated Plan to provide strategies for addressing housing, homelessness, special needs and community and economic development activities in the City.

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Program Specific Requirements

AP-90 Program Specific Requirements – 91.220(I) (1,2,4)

Introduction:

This section addresses the "program specific requirements" as they apply to CDBG, HOME, and ESG.

Community Development Block Grant Program (CDBG)

Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	50,000
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	50,000

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	70.00%

Reference 24 CFR 91.220(l)(2)

1. A description of other forms of investment being used beyond those identified in Section 92.205 is as follows:

Not applicable. The City does not plan to use HOME funding for activities other than those spelled out in 24 CFR 92.205.

2. A description of the guidelines that will be used for resale or recapture of HOME funds when used for homebuyer activities as required in 92.254, is as follows:

The City normally engages in HOME funded rehabilitation and rental projects not homebuyer activities, however, when homeownership programs were developed under the NSP 3 program, leveraged with HOME, the City ensured that Resale or Recapture Requirements were integrated directly into the Affordable Housing Agreement with the development partner. The requirements were delineated within the Conditions, Covenants, and Restrictions (CC&R) in detail and in accordance with 92.254.

3. A description of the guidelines for resale or recapture that ensures the affordability of units acquired with HOME funds? See 24 CFR 92.254(a)(4) are as follows:

The City does not plan to engage in HOME funded acquisition of single family units as described in 24 CFR 92.254(a)(4), however if acquisition activities were to develop, the City would need to ensure that the Resale or Recapture requirement as listed in the HUD CPD Notice 12-003 (issued in January 2012) and the HOME Final Rule are applied.

4. Plans for using HOME funds to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds along with a description of the refinancing guidelines required that will be used under 24 CFR 92.206(b), are as follows:

The City has no plans to refinance existing debt secured by multifamily housing rehabilitated with HOME funds during the upcoming program year FY 2018-2019.

**Emergency Solutions Grant (ESG)
Reference 91.220(l)(4)**

1. Include written standards for providing ESG assistance (may include as attachment)

The City of Moreno Valley has been coordinating with members of the County's Continuum of Care to create consistent written standards that would be effective regionally. The standards have been completed. Per grant requirements, the ESG standards include:

1. Standard policies and procedures for evaluating individuals for evaluating individuals and families eligibility for assistance under ESG
2. Policies and procedures for determining and prioritizing which eligible families and individuals will receive homelessness prevention assistance and which eligible families and individuals will receive rapid re-housing assistance
3. Policies and procedures for coordination among emergency shelter providers, essential service providers, homelessness prevention and rapid re-housing assistance providers and mainstream service and housing providers
4. Standards for determining the share of rent and utilities cost that each program participant must pay, if any, while receiving homeless prevention and rapid re-housing assistance
5. Standards for determining how long a program participant will be provided with rental assistance and whether the amount of that assistance will adjust over time
6. Standards for determining the type amount, and duration of housing stabilization and/or relocation services to provide a program participant, including the limits, if any, on the homelessness prevention or rapid re-housing assistance that each program participant may receive, such as the maximum amount of assistance, maximum number of months the program participant receives assistance, or the maximum number of times the program participant may receive assistance.

2. If the Continuum of Care has established a centralized or coordinated assessment system that meets HUD requirements, describe that centralized or coordinated assessment system.

The McKinney-Veto Homeless Assistance Act requires that communities operate a Continuum of Care (CoC) program designed to assist homeless persons with housing and/or services with the goal of long term stability. Riverside County's Department of Public Social Services (DPSS) has been the lead agency in coordinating the areas CoC including securing membership and ensuring that CoCs

various legal responsibilities are met. Current members include the County, various entitlement cities, non-profit/service providers, homeless persons, and members of the public. As a collaborative, the group must assess the needs of the areas homeless and affordable housing needs then develop a regional plan to address them. They also promote a community-wide commitment to ending homelessness, provide for funding for local efforts to address homelessness, and promote effective use of mainstream programs, including designing and operating a software system called the Homeless Management Information System (HMIS) intended to minimize duplication of services.

Due to changing demographics, Moreno Valley is now a direct recipient of ESG entitlement funding. Upon notification of award, the City understood that CoC Consultation was an ESG grant requirement. To comply, Moreno Valley consults with the CoC by sharing ESG funding recommendations issued at the City level and requesting feedback from the full CoC membership. For the ESG activities proposed within the 18-19 Action Plan, staff forwarded the CoC a summary of all applications along with Council recommendations and requesting CoC members provide feedback via e-mail. Although no comments were received the City was prepared to take the feedback into consideration. When ESG was first awarded to the City by HUD, the City and County met with HUD representatives to discuss the mandatory ESG consultation requirements. One of the HUD recommendations from that meeting that is still in effect today are 'ESG Coordination Meetings' held between the County, City of Moreno Valley, and the City of Riverside. The group's initial goal was to align their respective ESG standards and processes. This has been completed. The group continues to meet on a quarterly basis to share program information and discuss best practices.

3. Identify the process for making sub-awards and describe how the ESG allocation available to private nonprofit organizations (including community and faith-based organizations).

The ESG sub-awards proposed as part of this 2018-19 Action Plan were selected via the standard annual application process along with the City's CDBG and HOME programs. The City's competitive process includes required public notifications and issuance of a Notice of Funding Availability (NOFA). In efforts to reach as many applicants as possible the City advertised in local publication of general circulation, online, via social media, and through e-mail blasts to interested parties. Moreno Valley also offered an on-line application workshop aimed at providing program information and application assistance. Applications were due January 31, 2018. The efforts resulted in the City receiving twenty-nine (29) applications requesting a total \$4,782,728.07 across the 3 programs. As part of the application process, in preparation of the Action Plan, the City contracted a third party to collaborate with City Staff as the Technical Review Committee for review of the CDBG, HOME, and ESG applications. Each application was reviewed twice. Once for completeness and HUD eligibility, the other for completion of the City's formal evaluation form. Return applicant's prior performance in terms of meeting their established goals, expenditure and administrative requirements were

evaluated with the input of City's grant management staff. On March 27, 2018, the City of Moreno Valley held a "Public Meeting" during the Finance Subcommittee, to provide applicants an opportunity to explain their programs in person and, for the Technical Review Committee to ask applicants questions directly. The information provided in the completed application packet and during the Public Meeting is considered to evaluate and score each applicant in accordance with the evaluation guidelines described in the application booklet. The Technical Review Committee's preliminary recommendations were presented to the City Council at a Public Hearing held on April 17, 2018. In line with the City's policies and objectives, the final project selections shall be made by the City Council via final Public Hearings. The Council and the Public reviewed proposed projects via a Public Hearing held on May 1, 2018 and approved the Action Plan.

4. If the jurisdiction is unable to meet the homeless participation requirement in 24 CFR 576.405(a), the jurisdiction must specify its plan for reaching out to and consulting with homeless or formerly homeless individuals in considering policies and funding decisions regarding facilities and services funded under ESG.

The homeless requirements under 24 CFR 576.405(a) and 91.220 (1)(4) (iv) indicates that the City's policy making entity must have at least one homeless or formerly homeless individual on its panel. The City contends that it has met the homeless participation requirement via the consultation process with the CoC. The CoC has a member who is formally homeless and an active participant.

5. Describe performance standards for evaluating ESG.

The City shall work with the three (3) ESG subgrantees to formula the appropriate performance standards customized for the specific ESG activity being carried out. These agreed upon standards will need to be consistent with ESG regulations, City's 5-year Consolidated Plan, and the adopted ESG written standards. The ESG performance standards shall be included in the subgrantee's 2018-19 grant agreement. Because ESG is a newer program for Moreno Valley, the City fully expects that the performance standards will evolve over time. For now, the City shall continue to consult with the CoC members to discuss the ESG program including performance standards.

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ATTACHMENTS

Citizen Participation Plan

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**CITY OF MORENO VALLEY
CONSOLIDATED PLAN 2018-2023**

CITIZEN PARTICIPATION PLAN

INTRODUCTION

The City of Moreno Valley is required by law to have a detailed Citizen Participation Plan which contains the City's policies and procedures for public involvement in the Consolidated Plan process and the use of CDBG and HOME funds. The Moreno Valley Citizen Participation Plan was developed pursuant to the U.S. Department of Housing and Urban Development (HUD), Consolidated Submission for Community Planning and Development Programs, as required under 24CFR Part 91 and Part 8. The Citizen Participation Plan provides the method and process by which the City of Moreno Valley will encourage citizen participation in the development of its Consolidated Plan. Through this plan, citizens will be afforded the opportunity to provide input regarding housing and community development needs, issues and problems affecting low and moderate-income persons, the development of strategies, project selections and funding distributions.

Encouraging Public Participation

The law requires that the City's Citizen Participation Plan both provide for and encourage public participation, emphasizing involvement by low and moderate-income people, especially those living in low and moderate-income neighborhoods (see page 15, CDBG Target Area Map). Also, HUD expects the City to take whatever actions are appropriate to encourage the participation of minorities, people who do not speak English, and people with disabilities.

The City also maintains a distribution list of persons, agencies, and organizations that have expressed interest in the City's CDBG, HOME, and ESG programs. Notifications of events, such as the Community Needs Assessment meetings, are mailed directly to those on the distribution list to encourage public participation.

The Role of Low Income People

The law declares that the primary purpose of the programs covered by this Citizen Participation Plan is to improve communities by providing: decent housing, a suitable living environment, and growing economic opportunities – all for principally low and moderate-income people.

The City of Moreno Valley will provide the Riverside County Public Housing Authority with a copy of all Public Notices that are published during the Consolidated Plan process. The

**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

City encourages input from residents of public housing developments and via the Public Housing Authority; residents are notified of Community Needs Meetings as well as Public Hearings.

Because the amount of federal CDBG, HOME, and ESG money the City receives each year is mostly based upon the severity of both poverty and substandard housing conditions in the City, it is necessary that public participation genuinely involve low-income residents who experience these conditions. Genuine involvement by low-income people must take place at all stages of the process, including:

- Identifying needs
- Setting priorities among these needs, deciding how much money should be allocated to each high-priority need and suggesting the types of programs to meet high-priority needs
- Overseeing the way in which programs are carried out

The Various Stages of the Consolidated Plan Process

The policies and procedures in this Citizen Participation Plan relate to several stages of action mentioned in law or regulation. In general, these stages or events include:

1. Identification of community and housing needs (via a Public Hearing(s))
2. Preparation of a draft use of funds for the upcoming year, called the Proposed Annual Action Plan (Public Hearing required)
3. Formal approval by the City Council of the Final Annual Action Plan (via a Public Hearing)
4. In the case where it is necessary to change the use of money already budgeted in an Action Plan or change priorities, a Substantial Amendment will be proposed (completed via Public Hearing)
5. After the program year is complete, a Consolidated Annual Performance and Evaluation Report (CAPER) is drafted for public review and comment and then submitted to HUD.

The Program Year

The program year for Moreno Valley coincides with the City's fiscal year running from July 1st through June 30th.

PUBLIC NOTICES

Items Covered by the Public Notice Requirement

**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
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Advance public notice is provided once a federally required document is available for public review and comment, such as the Annual Action Plan or Consolidated Plan. In addition, advance public notice of all Public Hearings and public meetings is provided at least two weeks in advance.

Public Notice Schedule

Advance notice of all available documents, Public Hearings and public meetings is provided at least two weeks in advance. The notices will give residents a clear understanding of the event being announced. The following is a general timeline of when public notices are published:

<i>November</i>	Notice of Community Needs Meetings/Public Hearings
<i>December</i>	Notice of Public Hearing to Identify Community Needs
	Notice of Funding Availability and Application Process
<i>March</i>	Notice of Public Hearing to Discuss Proposed Consolidated/Action Plan
<i>March</i>	Notice of Consolidated/Action Plan Availability for Public Review
<i>April</i>	Notice of Public Hearing to Adopt Final Consolidated/Action Plan
<i>As Needed</i>	Notice of Availability of Amendment to Consolidated/Action Plan
<i>As Needed</i>	Notice of Public Hearing to Amend Consolidated/Action Plan

Forms of Public Notice

Public notices are published in the Press-Enterprise Newspaper as display advertisements in the non-legal section of the local edition. A copy of the public notice will be sent to any person or organization requesting to be on the mailing list.

PUBLIC ACCESS TO INFORMATION

As required by law, the City will provide the public with reasonable and timely access to information and records relating to the data or content of the Consolidated Plan, as well as the proposed, actual and past use of funds covered by the Citizen Participation Plan. Regarding the past use of funds, the law requires reasonable public access to records about any uses of these funds during the previous five years.

Also, the City will provide the public with reasonable and timely access to local meetings relating to the proposed or actual use of funds.

**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

Standard Documents

Standard documents include:

- The proposed and final Annual Action Plans
- The proposed and final Five-Year Consolidated Plan
- Proposed and final Substantial Amendments to either an Annual Action Plan or the Five-Year Consolidated Plan
- Consolidated Annual Performance and Evaluation (CAPER) Report
- Citizen Participation Plan

Availability of Standard Documents

All documents are available for immediate public review at City Hall in the Financial & Management Services Department. Copies of standard documents that are not currently posted for public review will be provided to the public within five working days of the request at no cost. Copies of draft documents such as the Action Plan and CAPER are available at several locations for public review. These locations are: The Library, the Community Senior Center, City Hall, and the Conference and Recreation Center, along with the City's public website. Documents remain at each of the designated locations for the entire required review time that is specified in the applicable public notice. All final documents are available for public review at City Hall during normal business hours.

PUBLIC HEARINGS

Public Hearings are required by law in order to obtain the public's views and to provide the public with the City's responses to public questions and proposals. The law requires a minimum of two public meetings at two different stages of the process. The City will conduct two Public Hearings and additional Public Meetings at the following stages of the process: Identifying Needs, Proposed Annual Action Plan (Project Selection), and the Final Annual Action Plan adoption. Public Hearings are also conducted for amendments to the Annual Action Plan as needed.

Access to Public Hearings

Public Hearings will be held only after there has been adequate notice as described in the "Public Notice" part of this Citizen Participation Plan, including a display advertisement in the non-legal section of the newspaper at least two weeks prior to the Public Hearing. Public Hearings are conducted during the regularly scheduled City Council meetings.

Public Hearings and Populations with Unique Needs

**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

All Public Hearings will be held at locations accessible to people with disabilities and provisions will be made for people with disabilities when requests are made within at least five working days prior to a hearing. Translators will be provided for people who do not speak English when requests are made at least five working days prior to a hearing.

Conduct of Public Hearings

To ensure that Public Hearings are meaningful to residents, each Public Hearing will be conducted in the presence of the City Council. Each resident choosing to speak will be allowed a maximum of three minutes to make a verbal presentation.

The following is a general timeline of when public hearings are conducted during the process:

December	Public Hearing to Identify Community Needs
March	Public Meeting to Discuss Proposed Consolidated/Annual Action Plan
May	Public Hearing to Adopt Final Consolidated/Annual Action Plan
As needed	Public Hearing to Amend Consolidated/Action Plan

STAGES IN THE PROCESS

A. IDENTIFYING NEEDS

Because the housing and community development needs of low and moderate-income people are so great and so diverse, priorities must be set to decide which needs should get more attention and more resources than other needs. This is the basic reason the Consolidated Plan exists.

A Public Hearing is required to obtain resident's opinions about needs and what priority those needs have. In order to encourage public involvement, a Public Hearing is conducted to allow residents to express comments regarding the needs of the City's low and moderate-income populations. The Public Hearing about community needs will be completed at least 15 days before a draft Annual Action Plan is published for comment, so that the needs identified can be considered by the City and addressed in the draft Annual Action Plan.

Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
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B. THE PROPOSED ANNUAL ACTION PLAN (AND/OR FIVE-YEAR STRATEGY)

The law providing the funds covered by the Citizen Participation Plan calls for improved accountability of jurisdictions to the public. In that spirit, and in compliance with the terms of the law, the City will use the following procedures:

At the beginning of this stage, the City will provide the public with an estimate of the amount of CDBG, HOME, and ESG funds it expects to receive in the upcoming year, along with a description of the range of types of activities that can be funded with these resources. Also, the public will be given an estimate of the amount of these funds that will be used in ways that will benefit low and moderate-income people.

Displacement and Relocation

The City does not have any plans to displace or relocate any residents from their homes using CDBG, HOME, or ESG funds. If a project necessitated displacement or relocation, it would be done in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (URA), which requires preparation of an “anti-displacement plan.” The anti-displacement plan would describe how the City would compensate people who are displaced as a result of the use of the funds, specifying the type and amount of compensation.

Technical Assistance

City Staff will work with organizations and individual’s representative of low-and moderate-income people who are interested in submitting a proposal to obtain funding for an activity. All potential applicants for funding are encouraged to contact City staff for technical assistance before completing a proposal form.

Availability of a Proposed Annual Action Plan

Within 3 weeks after the Public Hearing about the Proposed Annual Action Plan, the City will make the Proposed Annual Action Plan available to the public. In addition, copies will be available at the locations specified above in the section, “Public Access to Information.” A public notice will be published at least two weeks prior to the document’s availability. The term “notice” described earlier in the section on “Public Notice” will be used.

Also, the date the Proposed Annual Action Plan is available to the public will be at least 30 days prior to the date a Final Annual Action Plan is approved by the City Council so that low and moderate-income people will have a reasonable opportunity to examine it and to submit comments.

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**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

Public Hearing and Further Action

A Public Hearing about the Proposed Annual Action Plan will be conducted by the City Council within 30 days before it is available to the public. In addition, this Public Hearing will be held so that there are at least another 30 days before the Final Annual Action Plan is approved by the City Council so that the elected officials can consider the public's comments from the Public Hearing.

In preparing a Final Annual Action Plan, careful consideration will be given to all comments and views expressed by the public, whether given as verbal testimony at the Public Hearing or submitted in writing during the review and comment period. The Final Annual Action Plan will have a section that presents all comments and explains why any comments were not accepted.

C. THE FINAL ANNUAL ACTION PLAN (AND/OR FIVE-YEAR STRATEGY)

Copies of the Final Annual Action Plan will be made available to the public at City Hall for review. Copies can be obtained free of charge and within five business days of the request.

D. AMENDMENTS TO THE ANNUAL ACTION PLAN (AND/OR FIVE-YEAR STRATEGY)

The Final Annual Action Plan will be amended any time there is: a change in one of the Priorities presented on the HUD-required Priority Table, a change in the use of money to an activity not mentioned in the Final Annual Action Plan, or, a change in the purpose, location, or scope of beneficiaries of an activity. The public will be notified whenever there is an amendment.

Substantial Amendments

The following will be considered "substantial" amendments:

1. A change in the use of CDBG, HOME, or ESG money from one activity to another.
 2. The elimination of an activity originally described in the Annual Action Plan.
 3. The addition of an activity not originally described in the Annual Action Plan.
 4. A change in the purpose of an activity, such as a change in the type of activity or its ultimate objective – for example, a change in a construction project from housing to commercial.
 5. A meaningful change in the location of an activity.
-

**Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

6. A change in the type or characteristics of people benefiting from the activity. Among the “characteristics” are:
 - a. The HUD-recognized income levels of: 0-30 percent of Area Median Income (AMI); between 31 and 50 percent AMI; and between 51 to 80 percent AMI
 - b. Race or ethnicity
 - c. Renter or homeowner
 - d. Single households, small households (two to four persons), large households (five or more persons)
7. A 20% decrease in the number of low and moderate-income people benefiting from an activity.
8. A change in the scope of an activity, such that there is a 20% increase or decrease in the amount of money allocated to the activity.

Public Notice and Public Hearing for Substantial Amendments

There must be reasonable notice of a proposed Substantial Amendment so that residents will have an opportunity to review it and comment on it. Notice will be made according to the procedures described earlier in this Citizen Participation Plan, with the addition of the following procedures specifically for Substantial Amendments:

1. There will be advanced notice of the availability of a proposed Substantial Amendment 30 days before there is a Public Hearing.
2. A detailed written description of the proposed Substantial Amendment will be made available to the public. Also, copies will be available at the locations indicated earlier in this Citizen Participation Plan under “Public Access to Information.”
3. There will be a Public Hearing regarding the proposed Substantial Amendment conducted by the City Council. This Public Hearing will not take place until the public has had 30 days to review the proposed Substantial Amendment.
4. The Public Hearing will be held no sooner than two weeks prior to submission to HUD.
5. In preparing the Final Substantial Amendment, careful consideration will be given to all comments and views expressed by the public, whether given as verbal testimony at the Public Hearing or submitted in writing during the review and comment period. The Final Substantial Amendment will have a section that presents all comments and explains why any comments were not accepted.

E. CONSOLIDATED ANNUAL PERFORMANCE AND EVALUATION REPORT (CAPER)

Every program year the City must submit to the Department of Housing and Urban Development (HUD) a Consolidated Annual Performance and Evaluation Report

**Community Development Block Grant (CDBG), HOME Investment
Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding**

(CAPER) within 90 days of the close of the program year. In general, the CAPER must describe how funds were used during the program year and the extent to which these funds were used for activities that benefited low and moderate-income people.

Public Notice for the Consolidated Annual Performance and Evaluation Report (CAPER)

There must be reasonable notice that the Consolidated Annual Performance and Evaluation Report (CAPER) is available so that residents will have an opportunity to review it and comment on it. Notice will be made according to the procedures described earlier in this Citizen Participation Plan, with the addition of the following procedures specifically for the CAPER:

1. The City will publish a notice of CAPER availability two weeks in advance of the public review period.
2. A complete copy of the CAPER will be made available to the public at the locations indicated earlier in the Citizen Participation Plan under "Public Access to Information."
3. The public will have a minimum of 15 days to review and provide comments on the CAPER.
4. In preparing the CAPER for submission to HUD, careful consideration will be given to all comments views expressed by the public. The CAPER sent to HUD will have a section that presents all comments and explains why any comments were not accepted.

Contents of the CAPER

The CAPER provides details on the actions taken by the City and the accomplishments completed during the previous program year. Accomplishments include the number of low and moderate-income persons served and the ethnicity of those individuals. Also provided are expenditures taken during the year and funds spent undertaking each activity.

COMPLAINT PROCEDURES

Comments, suggestions or complaints may be addressed to the Financial & Management Services Department as follows:

City of Moreno Valley
Financial & Management Services Department
Attn: Financial Operations Division
14177 Frederick Street
P.O. Box 88005

Community Development Block Grant (CDBG), HOME Investment Partnership and Emergency Solutions Grant (ESG) Programs
Fiscal Year 2018/2019 Application for Funding

Moreno Valley, CA 92552-0805
(951) 413-3450

All written complaints from the public will receive a meaningful written response within 15 working days after receipt.

CHANGES TO THE CITIZEN PARTICIPATION PLAN

The Citizen Participation Plan can be changed only after the public has been notified of the intent to modify it, and only after the public has had a reasonable chance to review and comment on proposed substantial changes to it.

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Public Notices

DRAFT

Advertising Order Confirmation

The Press Enterprise

Ad Number 0011057449-01 Ad Size 3 X 75 Li Color Production Color Ad Attributes Production Method AdBooker Production Notes

External Ad Number Pick Up Ad Type Legal Liner Released for Publication



CITY OF MORENO VALLEY NOTICE OF FUNDING AVAILABILITY (NOFA)

COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG), EMERGENCY SOLUTIONS GRANT (ESG) & HOME INVESTMENT PARTNERSHIP PROGRAM (HOME) NOTICE OF FUNDING AVAILABILITY (NOFA) FOR FISCAL YEAR 2018/2019

The City of Moreno Valley anticipates receiving an allocation of approximately \$1,940,916 in Federal Community Development Block Grant (CDBG) funding, approximately \$533,301 in HOME Investment Partnership funding and approximately \$174,002 in Emergency Solutions Grant (ESG) funding for Fiscal Year 2018/2019 (July 1, 2018 through June 30, 2019) funded by the U.S. Department of Housing and Urban Development (HUD).

The primary objective of the CDBG Program is the development of viable communities by providing decent housing, a suitable living environment, and expanded economic opportunities for low and moderate-income residents. CDBG funds can be used for a variety of community development activities including, but not limited to public service projects such as, services for seniors, after-school programs, public safety, job training, homeless assistance, housing activities, public infrastructure projects, and economic development activities. HOME program funds must be used to create, retain or rehabilitate affordable housing. ESG program funds must be used to assist, protect, and improve living conditions for the homeless.

The City of Moreno Valley's FY 2018/2019 Information Packet and Application will be available on Wednesday, December 20, 2017 on the City's web site at: http://www.moreno-valley.ca.us/city_hall/departments/fin-man-serv/np-cdbg.shtml. You may request to have an electronic copy of the application sent to you via e-mail. Requests for electronic copies may be directed to the Financial Operations Division at (951) 413-3450 or by e-mailing np@moval.org. E-mail requests will not be accepted prior to Wednesday, December 20, 2017. The City will be accepting application proposals from December 20, 2017 through January 31, 2018.

In order to assist potential applicants with preparing and submitting an application, the City of Moreno Valley will hold an **Application Workshop on Thursday, January 11, 2018, from 10:00 a.m. to 12:00 p.m.** This workshop will be held at:

**City Council Chamber
Moreno Valley City Hall
14177 Frederick Street
Moreno Valley, CA 92552**

Upon request, this news release will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in these activities should direct such requests to, ADA Coordinator, at 951.413.3045 at least 72 hours before the activity. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility and participation in this meeting or event.

12/28

<u>Product</u>	<u>Requested Placement</u>	<u>Requested Position</u>	<u>Run Dates</u>	<u># Inserts</u>
PE Riverside:Full Run	Legals CLS	City Notices - 1076~	12/28/17	1

Order Charges:

<u>Net Amount</u>	<u>Tax Amount</u>	<u>Total Amount</u>	<u>Payment Amount</u>	<u>Amount Due</u>
247.50	0.00	247.50	0.00	\$247.50

Advertising Order Confirmation

The Press Enterprise

Ad Number 0011097909-01 Ad Size 3 X 56 Li Color Production Color Ad Attributes Production Method AdBooker Production Notes
External Ad Number Pick Up Ad Type Legal Liner Released for Publication



**NOTICE OF PUBLIC HEARING
TO RECOMMEND
COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG),
EMERGENCY SOLUTIONS GRANT (ESG) &
HOME PROJECT SELECTIONS FISCAL YEAR 2018/2019**

The City Council of the City of Moreno Valley will hold a PUBLIC HEARING to consider proposed project selections for the City's Community Development Block Grant (CDBG), Emergency Solutions Grant (ESG), and HOME Investment Partnership Programs for FY 2018/19 (Program Year July 1, 2018 through June 30, 2019). The public is invited to attend and provide input on the projects and other community and housing needs.

The PUBLIC HEARING will be held on Tuesday, April 17, 2018 at 6:00 p.m. at the following location:

**City Council Chamber
Moreno Valley City Hall
14177 Frederick Street
Moreno Valley, CA 92552**

Citizens of the City of Moreno Valley and the general public are encouraged to attend. All persons interested in this matter may appear and be heard at the hearing. Persons of low- and moderate-incomes, disabled, homeless, elderly and members of minority group are particularly encouraged to attend. If unable to attend, comments may be provided by contacting the Financial Operations Division at (951) 413-3449 or e-mailing np@moval.org.

Upon request, this invitation public notice will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in these activities should direct such requests to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the activity. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility and participation in this meeting or event.

3/29

<u>Product</u>	<u>Requested Placement</u>	<u>Requested Position</u>	<u>Run Dates</u>	<u># Inserts</u>
PE Riverside:Full Run	Legals CLS	City Notices - 1076~	03/29/18	1

Order Charges:

<u>Net Amount</u>	<u>Tax Amount</u>	<u>Total Amount</u>	<u>Payment Amount</u>	<u>Amount Due</u>
184.80	0.00	184.80	0.00	\$184.80

If this confirmation includes an advertising proof, please check your proof carefully for errors, spelling, and/or typos. Errors not marked on the returned proof are not subject to credit or refunds.

Please note: To meet our printer's deadline, we must have your proof returned by the published deadline, and as indicated by your sales rep.

Please note: If you pay by bank card, your card statement will show the merchant as "SoCal Newspaper Group".

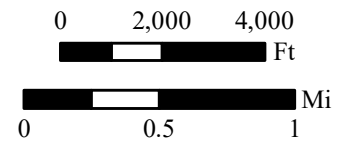
Attachment: Action Plan - FY18/19 - DRAFT (3040) : PUBLIC HEARING TO ADOPT THE CONSOLIDATED

CDBG Map

DRAFT

CITY OF MORENO VALLEY HUD-CDBG LOW/MOD CENSUS TRACTS 2017

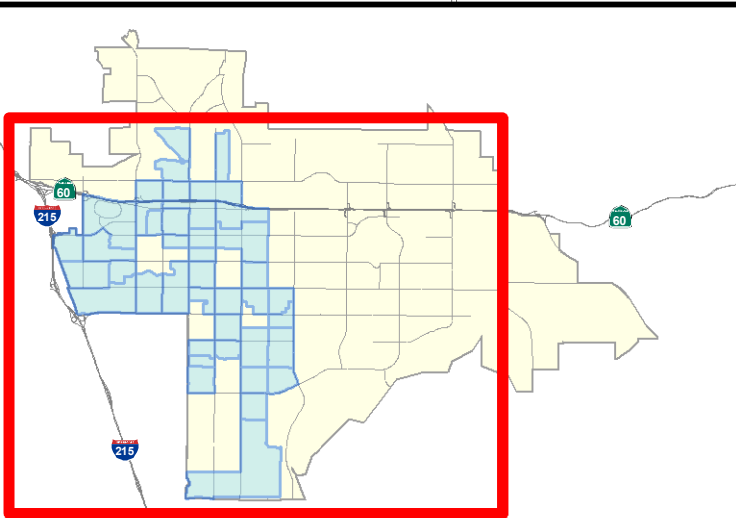
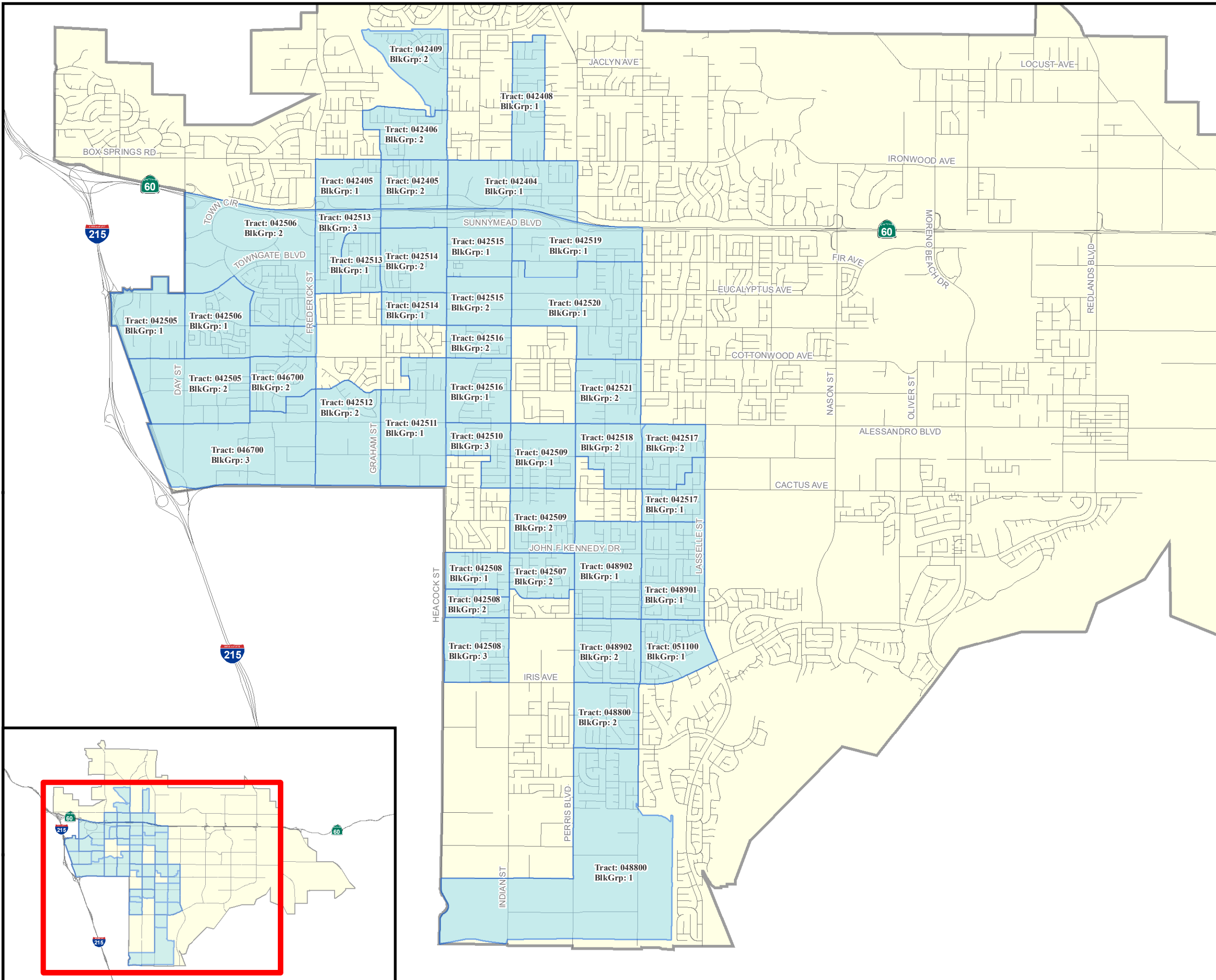
 Low/Mod Census Tracts and Blocks



Map Produced by Moreno Valley Geographic Information System

Geographic Information in:
State Plane NAD 83 California Zone 6 Feet
T:\Divisions\Finance\2017\MXD\
CDBG_approvedtargetareas_2017_110917B.mxd
Effective: 17 November 2017

The information shown on this map was compiled from the Riverside County GIS and the City of Moreno Valley GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claim losses or damages resulting from the use of this map.





EMERGENCY SOLUTIONS GRANT (ESG) WRITTEN STANDARDS v.2.1

Street Outreach
Emergency Shelter
Rapid Re-Housing
Homelessness Prevention

DEFINITIONS:

Certification means a written assertion, based on supporting evidence that must be kept available for inspection by HUD, by the Inspector General of HUD, and by the public. The certification shall be deemed to be accurate unless HUD determines otherwise, after inspecting the evidence and providing due notice and opportunity for comment.

City means the City of Moreno Valley and/or its staff.

Consolidated Plan means the plan prepared in accordance with 24 CFR Part 91.

Grantee means the legal entity to which HUD awards an ESG grant and which is accountable for the use of the funds provided. In this case, the City of Moreno Valley is the Grantee.

Homeless means an individual or family which is considered homeless as determined under Section 103, 42 USC 11302 of the McKinney Vento Act, as amended by the HEARTH Act (24 CFR 576.2) under one of the following four categories:

- 1) Lacks a fixed, regular and adequate nighttime residence which includes a subset for an individual who resided in an emergency shelter or a place not meant for human habitation and who is exiting an institution where he or she temporarily resided for 90 days or less (i.e.: residing in places not meant for human habitation, such as cars, parks, sidewalks, and abandoned buildings, or on the street);
- 2) Individuals and families who will imminently lose their primary nighttime residence (within 14 days of the date of application for homeless assistance) (i.e.: court order to vacate, lack of resources to continue staying in a hotel or motel, or no longer allowed by owner or renter of housing to stay) and no subsequent residence had been identified, and the individual or family lacks the resources or support networks needed to obtain other permanent housing.. This includes persons residing in an emergency shelter but not transitional housing;
- 3) Unaccompanied youth under 25 years of age and families with children and youth who are defined as homeless under the other federal statutes who do not otherwise qualify as homeless under these definitions but who:
 - i. Are defined as homeless under section 387 of the Runaway and Homeless Youth Act (42 U.S.C. 5732a), section 637 of the Head Start Act (42 U.S.C. 9832), section 41403 of the Violence Against Women Act of 1994 (42 U.S.C. 14043e-2), section 330(h) of the Public Health Service Act (42 U.S.C. 254b(h)), section 3 of the Food and Nutrition Act of 2008 (7 U.S.C. 2012), section 17(b) of the Child Nutrition Act of 1966 (42 U.S.C. 1786(b)) or section 725 of the McKinney-Vento Homeless Assistance Act (42 U.S.C. 11434a);
 - ii. Have not had a lease, ownership interest, or occupancy agreement in permanent housing at any time during the 60 days immediately preceding the date of application for homeless assistance;
 - iii. Have experienced persistent instability as measured by two moves or more during the 60-day period immediately preceding the date of applying for homeless assistance; and
 - iv. Can be expected to continue in such status for an extended period of time because of chronic disabilities, chronic physical health or mental health conditions, substance addiction, histories of domestic violence or childhood abuse (including neglect), the presence of a child or youth with a disability, or two or more barriers to employment, which include the lack of a high school degree or General Education Development

(GED), illiteracy, low English proficiency, a history of incarceration or detention for criminal activity, and a history of unstable employment; or

- 4) Individuals and families who are fleeing, or are attempting to flee, domestic violence, dating violence, sexual assault, stalking, or other dangerous or life-threatening conditions that relate to violence against the individuals or a family member, including a child, that has either taken place within the individual's or family's primary nighttime residence or has made the individual or family afraid to return to their primary residence; has no other residence; and lacks the resources or support networks (e.g: family, friends, faith-based or other social networks) to obtain other permanent housing.

Housing – ESG Programs may offer a household the opportunity to choose its neighborhood (including the school district) as well as its type of housing (such as a single-family home, apartment, duplex, garden-style unit, mobile home, etc.) within the City of Moreno Valley however, the housing selected is subject to housing quality and occupancy requirements/standards as set forth in the City's ESG Program Guidelines.

HMIS means Homeless Management Information System.

HUD means the U.S. Department of Housing and Urban Development.

At Risk of Homelessness means as the term is defined by Part 24 of the Code of Federal Regulations – Emergency Solutions Grant Program (24 CFR 576.2). For the purposes of this program is defined as:

- (1) An individual or family who:
 - i. Has an income at 30% of median family for the area, as determined by HUD,
 - ii. Does not have sufficient resources or support networks immediately available to prevent them from moving to an emergency shelter or another place described in paragraph (1) of the definition of homeless, and
 - iii. Meets one of the following conditions:
 - (A) Has moved because of economic reasons two or more times during the 60 days immediately preceding the application for homelessness prevention assistance;
 - (B) Is living in the home of another because of economic hardship;
 - (C) Has been notified in writing that their right to occupy their current housing or living situation will be terminated within 21 days after the date of application for assistance;
 - (D) Lives in a hotel or motel and the cost of the hotel or motel stay is not paid by charitable organizations or by Federal, State, or local government programs for low-income individuals;
 - (E) Lives in a single-room occupancy or efficiency apartment unit in which there reside more than two persons or lives in a larger housing unit in which there reside more than 1.5 persons reside per room, as defined by the U.S. Census Bureau;
 - (F) Is exiting a publicly funded institution, or system of care (such as a health-care facility, a mental health facility, foster care or other youth facility, or correction program or institution); or
 - (G) Otherwise lives in housing that has characteristics associated with instability and an increased risk of homelessness, as identified in the recipient's approved consolidated plan;

- (2) A child or youth who does not qualify as “homeless” under this section, but qualifies as “homeless” under section 387(3) of the Runaway and Homeless Youth Act (42 U.S.C. 5732a(3)), section 637(11) of the Head Start Act (42 U.S.C. 9832(11)), section 41403(6) of the Violence Against Women Act of 1994 (42 U.S.C. 14043e-2(6)), section 330(h)(5)(A) of the Public Health Service Act (42 U.S.C. 254b(h)(5)(A)), section 3(m) of the Food and Nutrition Act of 2008 (7 U.S.C. 2012(m)), or section 17(b)(15) of the Child Nutrition Act of 1966 (42 U.S.C. 1786(b)(15)); or
- (3) A child or youth who does not qualify as “homeless” under this section, but qualifies as “homeless” under section 725(2) of the McKinney-Vento Homeless Assistance Act (42 U.S.C. 11434a(2)), and the parent(s) or guardian(s) of that child or youth if living with her or him.

Non-profit sub-grantee means any private non-profit organization to which a grantee provides funds to carry out the eligible activities under the grant and which is accountable to the grantee for the use of funds provided.

Private non-profit organization means an organization described in 26 United States Code (U.S.C.) 501(c) that is exempt from taxation under subtitle A of the Internal Revenue Code, has an accounting system and a voluntary board, and practices nondiscrimination in the provision of assistance.

Program participant means an individual or family with or without children that is provided ESG financial assistance or housing relocation and stabilization services through a rapid rehousing or prevention program. In this manual, the term “household” refers to individuals or families.

Sub-grantee or Sub-recipient means any private non-profit organization or unit of general local government to which a grantee provides funds to carry out the eligible activities under the grant and which is accountable to the grantee for the use of the funds provided.

Youth means a person less than 25 years of age.

Homeless Definitions:

Additional reference information located at the following link:

https://www.hudexchange.info/resources/documents/HEARTH_HomelessDefinition_FinalRule.pdf

Emergency Solutions Grant Standards

The City of Moreno Valley (City) is responsible for coordinating and implementing a system-wide approach to meet the needs of the population and subpopulation experiencing homelessness within the City. Both the Emergency Solution Grant Rules and Regulations (ESG) and the Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Continuum of Care Program Interim Rules state that the CoC, in consultation with recipients of ESG program funds within the geographic area,

- (1) Establish and consistently follow written standards for providing CoC assistance;
- (2) Establish performance targets appropriate for population and program type; and
- (3) Monitor recipient and sub-recipient performance.

In accordance with Title 24 of the Code of Federal Regulations (24 CFR) Part 578, City of Moreno Valley has developed the following written standards. These standards will apply to all projects that receive City, ESG funding and are intended as basic minimum standards to which subrecipients can make additions and/or enforce more stringent standards applicable to their own projects. In addition, all projects must comply with the Notice of Funding Availability (NOFA) under which the project was originally awarded and the Homeless Emergency and Rapid Transition to Housing (HEARTH) Act. All programs that receive ESG funding are required to abide by these written standards.

Overview of Hearth Act

- The Homeless Emergency and Rapid Transition to Housing (HEARTH) Act on May 20, 2009 amends the McKinney-Vento Homeless Assistance Act
- Changes allow for increased flexibility in who may be served and what activities may be carried out
- The HEARTH Act consolidates three of the separate homeless assistance programs administered by HUD under the McKinney-Vento Homeless Assistance Act into a single grant program and creates the Emergency Solutions Grant Program and the Rural Housing Stability Program.
- The focus changed from Homeless Shelter to Homeless Prevention.

ESG and CoC Coordination/Collaboration

In collaboration with other ESG service providers, these written standards have been developed by ESG recipients, including the City of Riverside, City of Moreno Valley, and Continuum of Care (CoC) Membership. This collaboration allows for input on the standards and implementation process developed by organizations that directly provide homeless and housing services, Rapid Re-housing (R/R), and Homelessness Prevention (HP). The ESG Written Standards have been approved by the CoC, the County, and City ESG recipients. These written standards will be reviewed and revised, at a minimum annually or as needed, to continue to build upon and refine this document.

Housing First Model

Irrespective of the program type, HUD encourages ESG Recipients and the COC to implement a housing first approach when providing housing assistance. The housing first approach prioritizes rapid placement, stabilization in permanent housing, and does not have service participation requirements or preconditions (such as sobriety or a minimum income threshold).

Transitional housing and supportive service only projects may also be considered when using the housing first approach if they operate with low-barriers, work to quickly move people into permanent housing, do not require participation in supportive services, and for transitional housing projects do not

require any preconditions for moving into transitional housing.

Universal Assessment

All individuals will be assessed using a comprehensive, universal assessment tool called the Vulnerability Index Service Prioritization Decision Assistance Tool (VI-SPDAT). This tool guarantees that individuals' levels of need and eligibility determinations are made in an informed and objective manner.

Homeless Management Information System

All subrecipients are required to participate in the Homeless Management Information System (HMIS) per the ESG and CoC Interim Rule (24 CFR 576 and 578). HMIS provides an opportunity to document homelessness and helps to ensure coordination between service providers while avoiding duplication of services and client data.

Data Sharing Requirement

Data sharing is a multi-directional sharing relationship between multiple organizations. In order to systematically share data, the participating agencies must jointly establish a data sharing network formalized by the execution of guidelines, with the understanding they agree to the guidelines made by the HMIS Committee.

Agreements

The City of Moreno Valley (City) will enter into one or two year agreements with each sub-Recipient of ESG funding. In general; these agreements define:

- Key program components or activities (including benchmarks for success);
- The level of ESG funding;
- The anticipated source and amount of matching funds (24CFR 576.201) contributed by the agency/organization; and
- Documentation or reporting requirements. Receipt of Agreement and Terms

Record Keeping

Sub-recipients must establish and maintain standard operating procedures for ensuring that the ESG program funds are used in accordance with the requirements of the ESG program. All records (or copies of records) containing information related to ESG program funds and activities must be retained and kept accessible for four years after year funding was received. Records must include evidence of eligibility for each participant, income documentation, service records, Housing Quality Standards (HQS) inspections, rent reasonableness for each assisted unit, documentation of required matching funds, documentation of expenditures and evidence that required policies are in place.

Written procedures must be in place to ensure the security and confidentiality of all records pertaining containing personally identifying information of any individual or family who applies for and/or receives Emergency Solutions assistance.

Expenditure Limits

Funds used for street outreach and emergency shelter activities will be limited to the greater of:

- 60 percent of the County of Riverside's total current fiscal year (FY) grant for ESG; or
- the amount of FY 2010 ESG grant funds that were committed to street outreach and emergency shelter activities in FY 2010.

Guiding Statutes, Regulations and Circulars

Financial management of federal grant programs, including the ESG is governed by a set of requirements that are contained in the following:

- Provisions in law, as set out in statutes;
- Regulations, which interpret and amplify the statute and are set out in the Code of Federal Regulations (CFR);
- Office of Management and Budget (OMB) Circulars, which in some cases have been reissued as part of the CFR.

Financial Management

Grantees and recipient in the ESG program must ensure compliance with regulations and requirements pertaining to the following key areas of financial management outlined in Financial Management Systems (24CFR 85.20 and 24CFR 84.20-28) for the following areas:

- | | |
|------------------------|--------------------------|
| • Usage of funds | • Required funding match |
| • Internal controls | • Budget controls |
| • Cash management | • Accounting controls |
| • Procurement Property | • Asset controls |
| • Audits | |

General Accounting System

The purpose of 2 CFR Part 200 is to streamline the Federal Government's guidance on administrative requirements to more effectively focus Federal resources on improving performance and outcomes, while ensuring the financial integrity of the Federal programs in partnership with non-federal stakeholders (e.g., grantees and sub-recipients). OMB Circular 2 CFR 200 supersedes, consolidates, and streamlines requirements from eight (8) OMB Circulars: A-21, A-87, A-89, A-102, A-110, A-122, A-133, and A-50. Subrecipients are required to maintain a general accounting system. Accepted general accounting system includes:

- Cost Principals for State and Local Governments 2CFR Part 200
- Cost Principals for Non – Profit Organization 2 CFR Part 200
- Independent Single Audits - Recipients of individual or multiple Federal Awards that expend more than \$750,000 of federal funds with a one year period
- Records to be maintained for a minimum of three (3) years.

Accounting Controls

Having accurate and comprehensive documentation of revenue and expenses is a regulatory requirement, and it is also a necessary part of a sub-grantee's organizational responsibilities. Accounting controls consist of procedures that enable sub-recipients of ESG funds to maintain accounting records that sufficiently identify the source and application of funds that flow through the sub-grantee's organization and, thereby, meet applicable standards. Most important of all, accounting records must be supported by source documentation.

Reimbursement Responsibilities

Sub-recipients will be responsible to submit on a monthly basis a reimbursement request for qualified expenditures. The following must be included in the request as follows:

- Request cover page and summary page;
- Cancelled check or Bank statement;

- Invoice or Bill;
- Late Charges are not eligible;
- Proof of and source of matching funds for 50% of the amount invoiced. Rate of Reimbursement will be 50% of each invoice submitted;
- HMIS reporting.

The disbursement of ESG funds to the Sub-recipient shall be on a reimbursement basis only. There shall not be any advance or prepayment of funds.

Final reimbursement request must be submitted no later than the date specified on ESG agreement.

Matching Funds Requirements

The Sub-recipient must make matching contributions to supplement the Sub-recipient's ESG program in an amount that equals the amount of ESG funds provided by the Grantee. In other words, for every dollar provided through the ESG program, the Sub-recipient must contribute a dollar from another source to eligible ESG activities within the same funded programs.

Matching contributions may be obtained from any source, including any Federal source other than the ESG program, as well as state, local, and private sources. Additional requirements apply to matching contributions from a federal source of funds as follows: the recipient must ensure the laws governing any funds to be used as matching contributions do not prohibit those funds from being used to match Emergency Solutions Grant funds. If ESG funds are used to satisfy the matching requirements of another federal program, then funding from that program may not be used to satisfy the matching requirements under this section.

Matching funds must be provided after the date of that HUD signs the grant agreement.

Recognition of Matching Requirements

In order to meet the matching requirement, the matching contributions must meet all requirements that apply to the ESG funds provided by HUD.

- The matching contributions must be provided after the date that HUD signs the associated grant Agreement;
- For cash match, "provided" means when the funds are expended (or when the allowable cost is incurred);
- For in-kind match, it is the date the service (or other in-kind match source) is actually provided to the program or project;
- To count toward the required match for the sub-recipient's fiscal year grant, cash contributions must be expended for eligible activity costs within 24 months after the date HUD signs the grant agreement with the recipient;
- Contributions used to match a previous ESG grant may not be used to match a subsequent ESG grant;
- Contributions that have been or will be counted as satisfying a matching requirement of another federal grant or award may not count as satisfying the matching requirement of this section.
- The program participants served with matching funds must be entered into HMIS, and reported on the CAPER.

Eligible Types of Matching Contributions

The matching requirement may be met by one or both of the following:

- **Cash contributions** – Cash expended for allowable costs of the sub-recipient, as defined in the Omni-Circular (2 CFR §200).
- **Noncash contributions** – The value of any real property, equipment, goods, or services contributed to the recipient's or sub-recipient's ESG program, provided that if the recipient or sub-recipient had to pay for them with grant funds, the costs would have been allowable. Noncash contributions may also include the purchase value of any donated building.

Program Participant Records

In addition to the eligibility documentation required above, program participant records must include:

- documentation of the services and assistance provided to that program participant, including, as applicable, the security deposit, rental assistance, and utility payments made on behalf of the program participant;
- compliance with the applicable requirements for providing services and assistance to that program participant under the program components and eligible activities provisions where applicable, compliance with the termination of assistance requirement.

Documentation of Homelessness

ESG sub-recipients are required to maintain adequate documentation of homelessness status to determine eligibility of persons served by the ESG program.

- A copy of this documentation must be maintained by the subrecipient in the client's or participant's file. Documentation includes 3-day notice to pay or quit, public agency written verification of homelessness, or self-certification of homelessness are examples of required proof to require and maintain in client file.

Qualifications of Homelessness

A person is considered homeless only when he/she resides in one of the following places:

- In places not meant for human habitation such as a car, park, sidewalk, an abandon building, or on the street;
- In an emergency shelter;
- In transitional or supportive housing for homeless persons who originally came from the streets or emergency shelter; or
- In any of the above but is spending a short time (up to 30 consecutive days) in a hospital or other institution.

Monitoring and Site Visits

Monitoring can take a number of forms and can include review of progress reports, telephone consultation, and performance of on-site assessments. The three basic goals for oversight and monitoring of the progress and performance of ESG grantees/recipients include:

- Ensure that ESG funds are used effectively to assist homeless individuals and families and that the basic ESG program goals are met;
- Ensure compliance with ESG regulations and program requirements in the usage of funds and in carrying out program activities; and
- Enhance and develop the management capacity of grantees or recipients.

Participation of Homeless Persons in Policy-Making and Operations

ESG regulation [24 CFR 576.405] require that recipients of Emergency Solutions Grant funds must provide for the participation of not less than one homeless or formerly homeless persons in a policy-making function within the sub-recipient's organization. If the recipient is unable to meet this requirement it must instead develop and implement a plan to consult with homeless or formerly homeless persons in a policy-making function regarding any facilities, services, or other assistance that received funding under ESG. All sub-recipients of ESG funds are required to involve or encourage involvement of participants in the operation of an ESG-funded program or facility. ESG sub-recipients will be required to provide documentation during the City's monitoring visits of their efforts to seek the participation of the homeless or formerly homeless.

Termination of Participation and Grievance Procedures

The City and sub-recipients may terminate assistance provided through ESG-funded activities to participants that violate program requirements. Written procedures must describe the specific program requirements and the termination grievance or appeal process; this should include the procedures for a participant to request a hearing regarding the termination of their assistance. The federal regulation at 24 CFR 576.402 describes the termination provision:

Termination of Assistance 24 OFR 576.402: Grantees and recipients may, in accordance with 42 U.S.C. 11375 (e), terminate assistance provided under this part to an individual or family who violates program requirements.

- (a) **In general.** If a program participant violates program requirements, the recipient or sub-recipient may terminate the assistance in accordance with a formal process established by the recipient or sub-recipient that recognizes the rights of individuals affected. The recipient or sub-recipient must exercise judgment and examine all extenuating circumstances in determining when violations warrant termination so that a program participant's assistance is terminated only in the most severe cases.
- (b) **Program, participants receiving rental assistance or housing relocation and stabilization services.** To terminate rental assistance or housing relocation and stabilization services to a program participant, the required formal process, at a minimum, must consist of:
 - (1) Written notice to the program participant containing a clear statement of the reasons for termination;
 - (2) A review of the decision, in which the program participant is given the opportunity to present written or oral objections before a person other than the person (or a subordinate of that person) who made or approved the termination decision; and
 - (3) Prompt written notice of the final decision to the program participant.
- (c) **Ability to provide further assistance.** Termination under this section does not bar the recipient or sub-recipient from providing further assistance at a later date to the same family or individual.

ESG Program Eligibility

Eligibility for assistance under the ESG program depends on the housing or homeless status of the participant. All participants in ESG-funded programs must meet the applicable definition of homelessness or at-risk. The specific status needed to be eligible for assistance varies depending on the program component under which a program is operated. Homeless status can be classified as one of four categories under the applicable HUD definition: "literally homeless," "imminent risk of homeless," "Unaccompanied youth and families with children who are defined as homeless under other federal statutes" or "fleeing/attempting to flee domestic violence." as defined within the definitions section of this document.

Homelessness prevention programs may serve those at *Imminent risk of homelessness* or *Fleeing/attempting to flee domestic violence* (with incomes below 30% of the area median income (AMI)) and are also allowed to serve households that meet the definition of "at-risk of homelessness" as defined within the definitions section of this document.

ESG-funded programs must document that the household would experience homelessness but for the ESG assistance (i.e. a household would require emergency shelter or would otherwise become literally homeless in the absence of ESG assistance).

Five ESG Components

The chart below reflects eligible clients and which of the five ESG funding components each group of clients is eligible for:

Component	Those Who Are Homeless	Those Who Are At Risk of Homelessness
1. Street Outreach	X	
2. Emergency Shelter	X	
3. Rapid Re-Housing	X	
4. Homeless Prevention		X
5. Homeless Management Information System (HMIS)	X	X

Standards for Programs Components

1. Street Outreach

Eligible Participants: Unsheltered individuals and families, meaning those who qualify under paragraph (1)(i) of the definition of "homeless."

Eligible Activities: Essential services to eligible participants provided on the street or in parks, abandoned buildings, bus stations, campgrounds, and in other such settings where unsheltered persons are staying. Staff salaries related to carrying out street outreach activities is also eligible.

Eligible Costs:

- Engagement
Activities to locate, identify, and build relationships with unsheltered homeless people for

the purpose of providing immediate support, intervention, and connections with homeless assistance programs and/or mainstream social services and housing programs.

- **Case Management**
Assessing housing needs, and arranging/coordinating/monitoring the delivery of individualized services.
- **Emergency Health Services**
Outpatient treatment for urgent medical conditions provided by licensed medical professionals in community-based settings (e.g., streets, parks, and campgrounds) to eligible participants unwilling or unable to access emergency shelter or health care facility.
- **Emergency Mental Health Services**
Outpatient treatment for urgent mental health conditions by licensed professionals in community-based settings (e.g., streets, parks, and campgrounds)
- **Transportation**
Travel by outreach workers, social workers, medical professionals or other service providers during the provision of eligible street outreach services.
- **Services to Special Populations**
Address the special needs of homeless youth, victims of domestic violence and related crimes/threats, and/or people living with HIV/AIDS who are literally homeless.

2. **Emergency Shelter**

Eligible Participants: Eligible Participants are individuals and families who are homeless. ESG funds may be used to provide essential services to persons in emergency shelters, major renovation of an emergency shelter, or conversion of a building into an emergency shelter, and shelter operating costs. Staff costs related to carrying out emergency shelter activities is also eligible.

Eligible Activities: Essential services apply to persons in emergency shelters, renovating buildings to be used as emergency shelters, and operating emergency shelters. Staff costs related to carrying out emergency shelter activities is also eligible.

Eligible Costs:

- Essential Services
- Renovation
- Shelter Operations

A. Essential Services

Eligible costs to provide essential services to individuals and families who are in an emergency shelter are as follows:

- Case Management
- Life Skills
- Child Care
- Education Services
- Employment Assistance and Job Training
- Outpatient Health Services
- Legal Services
- Mental Health Services
- Substance Abuse Treatment Services Transportation
- Services for Special Populations

B. Rehabilitation and Renovation

Eligible costs include labor, materials, tools, and other costs for renovations. When ESG funds are used for renovations, other than major rehabilitation or conversion, the minimum period of use to be maintained as a shelter for homeless individuals and families is 3 years. If the rehabilitation costs of an emergency shelter exceeds 75 percent of the value of the building before rehabilitation (major rehabilitation) or if the costs to convert a building into an emergency shelter exceeds 75 percent of the value of the building after the conversion, then the minimum period of use is 10 years, including soft costs, or conversion of a building to be used as an emergency shelter. The maximum funding allowed is **\$5,000**.

C. Operations

Eligible costs are the costs of maintenance necessary for the operation of an emergency shelter. In the case when no appropriate emergency shelter is available for a homeless family or individual, a hotel or motel voucher will also be considered eligible. Additional eligible shelter operation costs include the following:

- Maintenance (including minor or routine repairs)
- Food
- Insurance
- Rent
- Furnishings
- Security
- Supplies necessary for the operation of the emergency shelter
- Fuel
- Utilities
- Equipment

Note: Emergency Shelter agencies must include in their policies and procedures the process of admission, diversion, referral and discharge including standards regarding length of stay and safeguards to meet the safety and shelter needs of special populations and individuals, and families who have the highest barriers to housing and are likely to be homeless the longest.

3. Rapid Re-Housing

The purpose of Rapid Re-housing is to serve participants who meet the criteria under paragraph (1) of the “homeless” definition in 24 CFR Part 576.2 or who meet the criteria under paragraph (4) of the “homeless” definition and live in an emergency shelter or other place described in paragraph (1) of the “homeless” definition.

Eligible participants are individuals and families literally homeless currently living in an emergency shelter or place not meant for human habitation.

Eligible activities include:

- Housing Relocation and Stabilization Services
- Short- and Medium-Term Rental Assistance

4. Homelessness Prevention

The purpose of Homelessness Prevention is to prevent persons from becoming homeless in a shelter or an unsheltered situation. Funding may also be used to help such persons regain stability

in their current housing or other permanent housing. Eligibility for services applies to individuals and families who are at imminent risk, or at risk, of homelessness, meaning those who qualify under paragraph (2) and (3) of the homeless definition (or those who qualify as at risk of homelessness found in 24 Part 576.2. Individuals and families must have an income at, or below, 30% of Area Median Income (AMI).

- Eligible activities include the following:
- Housing Relocation and Stabilization Services
 - Short- and Medium-Term Rental Assistance

Housing Relocation and Stabilization Services

The following guidelines apply to both Rapid Re-Housing and Homelessness Prevention:

FINANCIAL ASSISTANCE	SERVICES
Moving Cost	Housing Search & Placement
Rent Application Fees	Housing Stability Case Management
Last Month's Rent	Mediation
Utility Payments – Up to 24 months payments/ including up to 6 months arrears per service	Credit Repair
Security Deposit – Equal to no more than 2 months' rent	Legal Services
Standard Utility Deposit	

Short- and Medium-Term Rental Assistance: Rapid Re-Housing/Homelessness Prevention

Types of Rental Assistance	Length of Assistance
1. Short Term Rental Assistance	up to 3 Months
2. Medium Term Rental Assistance	4 to 24 Months
3. Payment of Rental Arrears (One-time payment up to 6 months arrears months, including late fees.)	

Lease Requirements 24.CFR 576.107(5)

In compliance with HUD requirements, City clarifies that to be permanent housing, the program participant must be the tenant on a lease for a term of at least one year that is renewable and is terminable only for cause. The lease must be renewable for terms that are a minimum of one month long. HUD has determined that requiring a lease for a term of at least one year that is renewable and terminable only for cause can assist program participants in obtaining stability in housing, even when the rental assistance is temporary.

Performance Standards

The recipient must describe the performance standards for evaluating ESG activities which must be developed in consultation with the Continuum of Care.

Based on standards and goals of the local Continuum of Care, the City is proposing the following performance standards for the Emergency Solutions Grant:

Performance Measures for Homelessness Prevention

- a. A reduction in the number of homeless individuals and families seeking emergency shelter services.
- b. Expected Outcome: At least 35% of participants assisted will remain in permanent housing six (6) months after the last assistance was provided under ESG.

Performance Measures for Homeless Rapid Re-Housing

- a. A reduction in the reoccurrence of homelessness for individuals and families who exit the shelter system.
- b. Expected Outcome: At least 35% of participants assisted will remain in permanent housing six (6) months after the last assistance provided under ESG.

A. Standard Policies and Procedures for evaluating individuals and families eligibility for assistance under Emergency Solutions Grant (ESG).**Building on Established HPRP Policies and Procedures**

The policies and procedures were originally established based on the provisions of HPRP assistance. The policies and procedures are now modified based on the checklist of required elements applicable only set forth in 24 CFR 576.400 (e)(1) and (e)(3) (91.220 (4)(vi)) and in collaboration with CoC standards will be adopted. These policies will be employed initially for the provision of ESG assistance, but will be refined as the new ESG program is implemented.

Centralized Pre-Screening and Assessment Available at Multiple Locations

The County of Riverside Continuum of Care (CoC) conducts a Coordinated Intake and Assessment System piloted through the 25 Cities Project, a partnership with HUD and the U.S. Department of Housing and Urban Development (HUD) to eliminate homelessness among veterans by 2016 and chronic homelessness by 2020. The pilot in the Greater City of Riverside Area was implemented countywide during 2015. Participating agencies are responsible for engaging chronically homeless individuals and families through the use of Housing Navigators and a standardized vulnerability assessment and intake process that provides referrals to a centralized housing system that places priority on those who are at highest risk with the most appropriate intervention **rather than** a "first come, first served" approach.

Individuals and families applying for ESG assistance must complete an eligibility pre-screening form. Pre-screening may be completed via phone, online, or at established locations, including emergency shelter locations. Individuals and families who meet established pre-screening requirements will be scheduled an appointment with a case manager for assessment and eligibility documentation.

Basic Eligibility Requirements

- **Initial Consultation & Eligibility Determination:** The applicant(s) must receive at least an initial consultation and eligibility assessment with a case manager or other authorized representative who can determine eligibility and appropriate type of assistance.

ESG clients must meet one of the following definitions of homelessness:

1. Literally homeless
2. At imminent risk of homelessness
3. Homeless under Federal Statutes
4. Fleeing/attempting to flee domestic violence

- **Income:** The household's total annual income must be below 30 percent of Area Median family Income for the area (AMI).
- **Housing Status:** Case files must document the current housing status of the household at application. Housing status will be verified through third party verification whenever possible. Self-certification of housing status will be considered on a case by case basis.
- **City of Moreno Valley Residency:** All households receiving Homelessness Prevention or Rapid Re-housing assistance under ESG must be residents of the City of Moreno Valley at time of application.
- **Unidentifiable financial resources and/or support networks:** In order to receive ESG rental financial assistance, applicants must also demonstrate the following:
 1. No appropriate subsequent housing options have been identified;
 2. The household lacks the financial resources to obtain immediate housing or remain in its existing housing; and
 3. The household lacks support networks needed to obtain immediate housing or remain in its existing housing.

B. Policies and Procedures for Coordination among Emergency Shelter providers, Essential Service providers, Homelessness Prevention and Rapid Re-housing assistance providers, other homeless assistance providers, and mainstream service and housing providers.

The ESG program requires coordination among participating agencies. All ESG sub-recipients in Moreno Valley are experienced homeless providers with a demonstrated track record in fiscal management and the provision of housing and supportive services targeted to homeless households. Additionally, the project administration agreement with ESG sub-recipients will require coordination among agencies receiving ESG funds to administer Emergency Shelter, essential services, Homelessness Prevention, Rapid Re-housing services, and related assistance, and access to mainstream services and housing providers for clients.

Participation in the Continuum of Care

ESG funded agencies have easy access to membership in the Continuum of Care. The Continuum of Care has over 100 member organizations including homeless service providers, veteran service representatives, churches and government organizations. The Continuum of Care meets on a regular basis and shares information about services among participating agencies.

Required Client Information and Referrals

To further facilitate collaboration and information sharing, ESG funded agencies will be required to provide the following information and referrals to ESG program participants:

- 2-1-1 hotline for social services
- Social security benefits
- Cal-Works and other income security programs provided by The County of Riverside Department of Public Social Services (DPSS)
- Cal-Fresh (formerly known as Food Stamps) assistance
- Low Income Energy Assistance Programs
- Affordable housing information
- Employment assistance and job training programs
- Health care and mental health services
- Services for victims of domestic violence
- Veteran services
- Specialized services such as legal services, credit counseling.

C. Policies and Procedures for determining and prioritizing which eligible families and individuals will receive Homelessness Prevention assistance and which eligible families and individuals that will receive Rapid Re-housing assistance.

Once it is determined that the household meets the basic eligibility guidelines noted above the household will be assessed for the appropriate form(s), level, and duration of financial assistance. The results of this assessment will be formalized in a Housing/Financial Assistance Plan that is signed by both the applicant and the case manager.

Homeless Prevention Assistance

Homeless Prevention assistance will be targeted to households who are at risk of losing their present housing and becoming homeless. While there are many people who are housed and have a great need for rental assistance, not everyone will become homeless without assistance. A risk assessment will be used to assess the household's level of crisis and prioritize those who are at greatest risk of becoming homeless. The Field Assessment Tool will include vulnerability criteria including but not limited to; income, housing history, food security, childcare, health care, life skills, and other special needs. Due to the limited amount of funding, assistance will be provided on a first come, first served basis, if the applicant meets the eligibility and risk assessment criteria, if the applicant(s) meet(s) eligibility and risk assessment criteria.*

Rapid Re-Housing Assistance

Homeless Rapid Re-housing assistance is intended for individuals or families who meet the homeless definition described in Section 103, 42 USC 11302 of the McKinney Vento Act, as amended by the HEARTH Act. While there are many homeless individuals and families in Riverside County at any given night, the Rapid Re-housing assistance will be prioritized for households who are residing in emergency shelters and on the streets. Due to the limited amount of funding, assistance will be provided on a first come, first served basis, if the applicant meets the eligibility and risk assessment criteria.*

* Rapid Re-housing should prioritize people with more challenges, including those with no income,

poor employment prospects, troubled rental histories, and criminal records. Providers should link participants with community resources that will help them achieve longer-term stability and well-being.

D. Standards for determining the share of rent and utilities costs that each program participant must pay, if any, while receiving Homelessness Prevention or Rapid Re-housing assistance.

Limitations on Assistance - Homeless Prevention

The City's ESG rental assistance is intended to stabilize individuals and families who have recently endured difficult financial circumstances that have led them into homelessness or who are at imminent risk of becoming homeless. For Homeless Prevention assistance, the rental assistance consists of short term rental assistance (3 months); extended under certain circumstances to medium term rental assistance (for an additional 3 months). The total maximum length of assistance is 12 months over a 3-year period. Client must be reassessed after every 90 days and case management on a monthly basis is **required**.

Not every individual or family in need of rental assistance is a candidate for ESG Homelessness Prevention or Rapid Re-housing assistance. ESG rental assistance is not a substitute for Section 8 rental assistance or a permanent rental subsidy, but rather a tool to help stabilize families or individuals who are at imminent risk of becoming homeless and lack any other resources to help them stabilize their housing situation. Rental assistance cannot be provided to a program participant who is already receiving rental assistance, or living in a housing unit receiving rental assistance or operating assistance through other federal, State, or local sources (CFR 576.106).

As a general rule, an individual or household should pay approximately 30% of their income towards rent. This requirement may be waived on a case-by-case basis for extreme circumstances. The ESG assistance will consist of the remaining portion of the rent, up to \$1,000 (excluding the clients' contribution towards the rent).

Clients are required to be reassessed at regular monthly intervals to monitor progress and levels of self-sufficiency. If a client requires assistance beyond the three month mark, the ESG rental subsidy will be reduced and the client will be required to pay a larger portion of the rent. Homelessness Prevention assistance will be based on number in household, fair market rent rate, and income to determine for a maximum one year over a 3-year period.

Limitations on Assistance - Rapid Re-Housing

Under Rapid Re-housing assistance, a client's share of rent should be based on the client's ability to pay during their path to housing stabilization, with a minimum \$25 client contribution. This requirement may be waived on a case-by-case basis for extreme circumstances. Clients receiving Rapid Re-housing assistance must be re-assessed, at a minimum every 90 days, and reviewed during monthly case management. The maximum length of Rapid Re-housing assistance will be one (1) year* during any 3-year period. The assistance should not exceed the Fair Market Rent amount based on client household, except for the first month of assistance if client requires assistance with other re-housing expenses such as rent deposits or utility deposits. Security deposit should not exceed two times the rent.

Standards for determining the share of rent and utilities costs that each program participant must pay, if any, will be based on the following guidelines:

- 100% of the cost of rent in rental assistance may be provided to program participants. However to maximize the number of households that can be served with Rapid Re-housing resources, it is expected that the level of need will be based on the goal of providing only what is necessary for each household to be stably housed for the long term;
- Rental assistance cannot be provided for a unit unless the rent for that unit is at or below the Fair Market Rent limit, established by HUD;
- The rent charged for a unit must be reasonable in relation to rents currently being charged for comparable units in the private unassisted market and must not be in excess of rents currently being charged by the owner for comparable unassisted units.

Note: Grant funds may be used for rental assistance for homeless individuals and families. Rental assistance cannot be provided to a program participant who is already receiving rental assistance, or living in a housing unit receiving rental assistance or operating assistance through other federal, State, or local sources (CFR 576.106).

Limitations on Assistance - All Clients

Due to the limited amount of funds available, the ESG assistance will not exceed Fair Market Rent (FMR) per client per month in combined ESG assistance, including rent and utility payments. * Generally, clients should be responsible for paying their own utility costs while receiving ESG rental assistance, unless they are experiencing acute financial hardship, or are at risk of losing their housing due to utility shut off. Clients seeking help with utilities only may be eligible for ESG assistance if it can be documented that they will lose their housing and become literally homeless if utility assistance is not provided; however, the household must meet other ESG eligibility requirements.

E. *Standards for determining how long a particular participant will be provided with rental assistance and whether the amount of that assistance will be adjusted over time.*

ESG assistance consists of short term (up to 3 months), medium term (up to 6 months), and maximum term (up to 1 year) rental assistance to allow individuals or families who have recently encountered a financial crisis that has led them into homelessness or at imminent risk of homelessness, to gain housing stabilization. Since the program consists of temporary assistance aiming at rapid stabilization of households, clients are required to contribute a portion of their income towards rent. Clients with no potential to earn income may not be suitable candidates for this type of assistance, unless other subsidies can be accessed after the ESG assistance expires.

Clients assisted under ESG Homelessness Prevention assistance are eligible to receive the rental assistance for up to 3 months if they meet income eligibility of less than 30% of the area median family income (AMI) during the 3 month period and comply with the case management requirements of the program. At the end of the third month, clients must be re-assessed to determine if the client's rental assistance needs to be extended for an additional 3 month period. If the ESG rental assistance is extended for an additional three (3) months, the ESG assistance will be reduced and/or adjusted over the remaining time.

Clients assisted under ESG Rapid Re-housing Assistance are eligible to receive rental and utility

assistance for up to one-year if they meet income eligibility during the one-year period. Rapid Re-housing clients **must** receive monthly case management, be evaluated at regular intervals, and be re-assessed every 90-days during the ESG assistance period. The ESG rental assistance should be reduced gradually and the client's portion of rent increased during the months of assistance.

- F. *Standards for determining the type, amount, and duration of housing stabilization and /or relocation services to provide a program participant, including the limits, if any, on homelessness prevention or rapid re-housing assistance that each program participant may receive, such as the maximum amount of assistance; maximum number of months the program participant receives assistance; or the maximum number of times the program participant may receive assistance.***

Reasonableness Determination

The City will set the maximum amount of assistance to be provided to Homelessness Prevention and Rapid Re-housing clients on an annual basis. The City will also determine if the total benefit amount to be awarded to any one client is both reasonable and necessary.

Reporting - Centralized/Coordinated Assessment System

- The HEARTH Act makes HMIS participation a statutory requirement for ESG recipients and sub-recipients. The City and the sub-recipients work with the Continuum of Care to ensure the screening, assessment, and referral of program participants are consistent with the written standards.
- The recipient will ensure that data on all persons served and all activities assisted under ESG are entered into a community-wide HMIS in the area in which those persons and activities are located.
- Victim service providers cannot, and Legal Services Organizations may choose to not participate in HMIS. Providers that do not participate in HMIS must use a comparable database that produces unduplicated, aggregate reports instead.

Eligible Cost includes, but is not limited to the following:

- Hard ware, Equipment and Software Costs
- Staffing: Paying salaries for operating HMIS
- Training and Overhead - Technical support, leasing space, and utilities for space used by HMIS staff.

Comparable Database for Victim Services

If the sub-recipient is a victim services or a legal services provider that use a comparable database, it may use ESG funds to establish and operate a comparable database that collects client-level data over time and generates unduplicated aggregate reports based on the data. Information entered into a comparable database must not be entered directly into or provided to an HMIS.

Case Management

The City has defined case management as a “collaborative” process that assesses, plans, implements, coordinates, monitors, and evaluates the options and services required to meet the client's health and human service needs. It is characterized by advocacy, communication, and resource management and promotes quality and cost-effective interventions and outcomes. Case management focuses on housing stability and placement, with an emphasis on the arrangement,

coordination, monitoring, and delivery of services related to housing needs and improving housing stability.

A meeting with a case manager is required in order to receive Rapid Re-housing assistance, although it is not necessarily the first step. Some communities might have a screening, intake, assessment, or other eligibility determination process that precedes the assignment to a case manager while other communities may have case managers performing the eligibility task.

Regardless of the arrangement, the meeting with the case manager should be regarded not only as a program requirement, but also as an early opportunity to help a household improve its housing stability during and beyond the period of Rapid Re-housing assistance.

Transitional Housing and Rapid Re-housing

While transitional housing is technically eligible, HUD cautions recipients against using ESG Rapid Re-housing funds as a way of regularly exiting a person from transitional housing to permanent housing. It is recommended that Rapid Re-housing be used as a model for helping people move from the streets or shelter to permanent housing, not for people exiting transitional housing. Additionally, transitional housing providers should have programs designed to successfully exit people and should not use Rapid Re-housing, another form of temporary assistance, as a regular part of their program design. HUD recommends this be done on a case-by-case basis, so that it is not common practice, but is provided only when necessary to prevent the program participant from going back to the streets or emergency shelter.

Please also note that program participants would need to be assessed for and determined to be eligible for ESG Rapid Re-housing assistance, in accordance with the ESG eligibility and documentation requirements. (Homeless definition in 24 CFR 576.2) This includes a requirement that the assistance be necessary to help the program participant move as quickly as possible into permanent housing and achieve stability in housing. Note that such a household would have to be exited from the transitional housing program in HMIS and entered into the ESG program in HMIS.

Consultation Process

The City and the ESG recipients, continuously consult with the Continuum of Care to discuss the ESG allocation in ways that:

- Coordinate across regional entitlement jurisdictions by developing and utilizing standardized eligibility and assessment tools;
- Support federal and local goals for priority populations;
- Allow for variations in the program design that responds to the needs and resources of the jurisdiction; and
- Comply with eligibility and verification requirements (HMIS, housing status, homeless definitions, etc.)

The ESG program requires coordination among participating agencies. All ESG sub-recipients in Moreno Valley are experienced homeless providers with a demonstrated track record in fiscal management and the provision of housing and supportive services targeted to homeless households. ESG funded agencies have easy access to membership in the Continuum of Care (CoC) and are encouraged to participate in the CoC. The CoC has over 100 member organizations including homeless service providers, veteran service representatives, churches and government

organizations. The Continuum of Care meets on a regular basis and shares information about services among participating agencies.

The City also consulted with the Continuum of Care on the Ten Year Plan to End Homelessness to ensure the alignment of proposed ESG activities as they relate to the goals and strategies outlined in the plan. This joint effort has worked successfully in the past and the City will continue to work closely with Riverside County Department of Public Social Services (DPSS), the "umbrella" anti-poverty agency for Moreno Valley, in servicing the needs of homeless.

HUD ESG Link

For complete, detailed information on authorizing laws, regulations, and Federal Register Notices for the Emergency Solutions Grants (ESG) Program, reference the link below:

<https://www.hudexchange.info/esg/esg-law-regulations-and-notice/>

Grantee SF-424's and Certification(s)

DRAFT

Application for Federal Assistance SF-424

*** 1. Type of Submission:**

- Preapplication
- Application
- Changed/Corrected Application

*** 2. Type of Application:**

- New
- Continuation
- Revision

* If Revision, select appropriate letter(s):

* Other (Specify):

* 3. Date Received:

4. Applicant Identifier:

5a. Federal Entity Identifier:

5b. Federal Award Identifier:

State Use Only:

6. Date Received by State:

7. State Application Identifier:

8. APPLICANT INFORMATION:

* a. Legal Name:

* b. Employer/Taxpayer Identification Number (EIN/TIN):

* c. Organizational DUNS:

d. Address:

* Street1:

Street2:

* City:

County/Parish:

* State:

Province:

* Country:

* Zip / Postal Code:

e. Organizational Unit:

Department Name:

Division Name:

f. Name and contact information of person to be contacted on matters involving this application:

Prefix:

* First Name:

Middle Name:

* Last Name:

Suffix:

Title:

Organizational Affiliation:

* Telephone Number:

Fax Number:

* Email:

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

HOUSING AND URBAN DEVELOPMENT

11. Catalog of Federal Domestic Assistance Number:

14.239

CFDA Title:

HOME INVESTMENTS PARTNERSHIP PROGRAM

*** 12. Funding Opportunity Number:**

* Title:

13. Competition Identification Number:

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

HOME monies shall be used to expand the supply of decent, affordable housing in the community, particularly for low and very-low income households.

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant **43&44**

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

Add Attachment

Delete Attachment

View Attachment

17. Proposed Project:

* a. Start Date: **07/01/2018**

* b. End Date: **06/30/2019**

18. Estimated Funding (\$):

* a. Federal	533,301
* b. Applicant	
* c. State	
* d. Local	
* e. Other	
* f. Program Income	
* g. TOTAL	

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on .
- b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**

Yes No

If "Yes", provide explanation and attach

Add Attachment

Delete Attachment

View Attachment

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 218, Section 1001)**

**** I AGREE**

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:

Middle Name:

* Last Name:

Suffix:

* Title: **CITY MANAGER**

* Telephone Number: Fax Number:

* Email:

* Signature of Authorized Representative: * Date Signed:

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

Application for Federal Assistance SF-424

*** 1. Type of Submission:**

- Preapplication
- Application
- Changed/Corrected Application

*** 2. Type of Application:**

- New
- Continuation
- Revision

* If Revision, select appropriate letter(s):

* Other (Specify):

* 3. Date Received:

4. Applicant Identifier:

5a. Federal Entity Identifier:

5b. Federal Award Identifier:

State Use Only:

6. Date Received by State:

7. State Application Identifier:

8. APPLICANT INFORMATION:

* a. Legal Name:

* b. Employer/Taxpayer Identification Number (EIN/TIN):

* c. Organizational DUNS:

d. Address:

* Street1:

Street2:

* City:

County/Parish:

* State:

Province:

* Country:

* Zip / Postal Code:

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Department Name:

Division Name:

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Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

HOUSING AND URBAN DEVELOPMENT

11. Catalog of Federal Domestic Assistance Number:

14.231

CFDA Title:

EMERGENCY SOLUTIONS GRANT PROGRAM (ESG)

*** 12. Funding Opportunity Number:**

* Title:

13. Competition Identification Number:

n/a

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

ESG funding shall be used to assist, protect, and improve living conditions for the City's homeless.

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant **43&44**

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

Add Attachment

Delete Attachment

View Attachment

17. Proposed Project:

* a. Start Date: **07/01/2018**

* b. End Date: **06/30/2019**

18. Estimated Funding (\$):

* a. Federal	174,002
* b. Applicant	
* c. State	
* d. Local	
* e. Other	
* f. Program Income	
* g. TOTAL	

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

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- c. Program is not covered by E.O. 12372.

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If "Yes", provide explanation and attach

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* Telephone Number: Fax Number:

* Email:

* Signature of Authorized Representative: * Date Signed:

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

Application for Federal Assistance SF-424

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Application for Federal Assistance SF-424

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C: City or Township Government

Type of Applicant 2: Select Applicant Type:
[Empty dropdown menu]

Type of Applicant 3: Select Applicant Type:
[Empty dropdown menu]

* Other (specify):
[Empty text box]

*** 10. Name of Federal Agency:**

HOUSING AND URBAN DEVELOPMENT

11. Catalog of Federal Domestic Assistance Number:

14.218

CFDA Title:
COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAMS FOR ENTITLEMENT COMMUNITIES

*** 12. Funding Opportunity Number:**

[Redacted]

* Title:
[Redacted]

13. Competition Identification Number:

[Empty text box]

Title:
N/A

14. Areas Affected by Project (Cities, Counties, States, etc.):

[Empty text box]

*** 15. Descriptive Title of Applicant's Project:**

Community Development Block Grant (CDBG) shall be used to benefit the low to moderate income residents and neighborhoods within Moreno Valley's city limits and designated Target Areas.

Attach supporting documents as specified in agency instructions.

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant **43&44**

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

Add Attachment

Delete Attachment

View Attachment

17. Proposed Project:

* a. Start Date: **07/01/2011**

* b. End Date: **06/30/2011**

18. Estimated Funding (\$):

* a. Federal	1,940,916
* b. Applicant	
* c. State	
* d. Local	
* e. Other	
* f. Program Income	
* g. TOTAL	

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on .
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** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:

Middle Name:

* Last Name:

Suffix:

* Title: **CITY MANAGER**

* Telephone Number: **951.413.3020** Fax Number:

* Email:

* Signature of Authorized Representative: * Date Signed:

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

CERTIFICATIONS

In accordance with the applicable statutes and the regulations governing the consolidated plan regulations, the jurisdiction certifies that:

Affirmatively Further Fair Housing --The jurisdiction will affirmatively further fair housing.

Uniform Relocation Act and Anti-displacement and Relocation Plan -- It will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended, (42 U.S.C. 4601-4655) and implementing regulations at 49 CFR Part 24. It has in effect and is following a residential anti-displacement and relocation assistance plan required under 24 CFR Part 42 in connection with any activity assisted with funding under the Community Development Block Grant or HOME programs.

Anti-Lobbying --To the best of the jurisdiction's knowledge and belief:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;
2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions; and
3. It will require that the language of paragraph 1 and 2 of this anti-lobbying certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

Authority of Jurisdiction --The consolidated plan is authorized under State and local law (as applicable) and the jurisdiction possesses the legal authority to carry out the programs for which it is seeking funding, in accordance with applicable HUD regulations.

Consistency with plan --The housing activities to be undertaken with Community Development Block Grant, HOME, Emergency Solutions Grant, and Housing Opportunities for Persons With AIDS funds are consistent with the strategic plan in the jurisdiction's consolidated plan.

Section 3 -- It will comply with section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u) and implementing regulations at 24 CFR Part 135.

Signature of Authorized Official

Date

Title

Attachment: Action Plan - FY18/19 - DRAFT (3040 : PUBLIC HEARING TO ADOPT THE CONSOLIDATED PLAN FOR FISCAL YEARS 2018/19-

Specific Community Development Block Grant Certifications

The Entitlement Community certifies that:

Citizen Participation -- It is in full compliance and following a detailed citizen participation plan that satisfies the requirements of 24 CFR 91.105.

Community Development Plan -- Its consolidated plan identifies community development and housing needs and specifies both short-term and long-term community development objectives that that have been developed in accordance with the primary objective of the CDBG program (i.e., the development of viable urban communities, by providing decent housing and expanding economic opportunities, primarily for persons of low and moderate income) and requirements of 24 CFR Parts 91 and 570.

Following a Plan -- It is following a current consolidated plan that has been approved by HUD.

Use of Funds -- It has complied with the following criteria:

1. Maximum Feasible Priority. With respect to activities expected to be assisted with CDBG funds, it has developed its Action Plan so as to give maximum feasible priority to activities which benefit low- and moderate-income families or aid in the prevention or elimination of slums or blight. The Action Plan may also include CDBG-assisted activities which the grantee certifies are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community, and other financial resources are not available (see Optional CDBG Certification).

2. Overall Benefit. The aggregate use of CDBG funds, including Section 108 guaranteed loans, during program year(s) _____ [a period specified by the grantee of one, two, or three specific consecutive program years], shall principally benefit persons of low and moderate income in a manner that ensures that at least 70 percent of the amount is expended for activities that benefit such persons during the designated period.

3. Special Assessments. It will not attempt to recover any capital costs of public improvements assisted with CDBG funds, including Section 108 loan guaranteed funds, by assessing any amount against properties owned and occupied by persons of low and moderate income, including any fee charged or assessment made as a condition of obtaining access to such public improvements.

However, if CDBG funds are used to pay the proportion of a fee or assessment that relates to the capital costs of public improvements (assisted in part with CDBG funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG funds.

In addition, in the case of properties owned and occupied by moderate-income (not low-income) families, an assessment or charge may be made against the property for public improvements financed by a source other than CDBG funds if the jurisdiction certifies that it lacks CDBG funds to cover the assessment.

Excessive Force -- It has adopted and is enforcing:

1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
2. A policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within its jurisdiction.

Compliance with Anti-discrimination laws -- The grant will be conducted and administered in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the Fair Housing Act (42 U.S.C. 3601-3619) and implementing regulations.

Lead-Based Paint -- Its activities concerning lead-based paint will comply with the requirements of 24 CFR Part 35, Subparts A, B, J, K and R.

Compliance with Laws -- It will comply with applicable laws.

Signature of Authorized Official

Date

Title

OPTIONAL Community Development Block Grant Certification

Submit the following certification only when one or more of the activities in the action plan are designed to meet other community development needs having particular urgency as specified in 24 CFR 570.208(c):

The grantee hereby certifies that the Annual Plan includes one or more specifically identified CDBG-assisted activities which are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community and other financial resources are not available to meet such needs.

Signature of Authorized Official

Date

Title

Specific HOME Certifications

The HOME participating jurisdiction certifies that:

Tenant Based Rental Assistance -- If it plans to provide tenant-based rental assistance, the tenant-based rental assistance is an essential element of its consolidated plan.

Eligible Activities and Costs -- It is using and will use HOME funds for eligible activities and costs, as described in 24 CFR §§92.205 through 92.209 and that it is not using and will not use HOME funds for prohibited activities, as described in §92.214.

Subsidy layering -- Before committing any funds to a project, it will evaluate the project in accordance with the guidelines that it adopts for this purpose and will not invest any more HOME funds in combination with other Federal assistance than is necessary to provide affordable housing;

Signature of Authorized Official

Date

Title

Emergency Solutions Grants Certifications

The Emergency Solutions Grants Program recipient certifies that:

Major rehabilitation/conversion/renovation – If an emergency shelter’s rehabilitation costs exceed 75 percent of the value of the building before rehabilitation, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 10 years after the date the building is first occupied by a homeless individual or family after the completed rehabilitation.

If the cost to convert a building into an emergency shelter exceeds 75 percent of the value of the building after conversion, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 10 years after the date the building is first occupied by a homeless individual or family after the completed conversion.

In all other cases where ESG funds are used for renovation, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 3 years after the date the building is first occupied by a homeless individual or family after the completed renovation.

Essential Services and Operating Costs – In the case of assistance involving shelter operations or essential services related to street outreach or emergency shelter, the recipient will provide services or shelter to homeless individuals and families for the period during which the ESG assistance is provided, without regard to a particular site or structure, so long the recipient serves the same type of persons (e.g., families with children, unaccompanied youth, disabled individuals, or victims of domestic violence) or persons in the same geographic area.

Renovation – Any renovation carried out with ESG assistance shall be sufficient to ensure that the building involved is safe and sanitary.

Supportive Services – The recipient will assist homeless individuals in obtaining permanent housing, appropriate supportive services (including medical and mental health treatment, victim services, counseling, supervision, and other services essential for achieving independent living), and other Federal, State, local, and private assistance available for these individuals.

Matching Funds – The recipient will obtain matching amounts required under 24 CFR 576.201.

Confidentiality – The recipient has established and is implementing procedures to ensure the confidentiality of records pertaining to any individual provided family violence prevention or treatment services under any project assisted under the ESG program, including protection against the release of the address or location of any family violence shelter project, except with the written authorization of the person responsible for the operation of that shelter.

Homeless Persons Involvement – To the maximum extent practicable, the recipient will involve, through employment, volunteer services, or otherwise, homeless individuals and families in constructing, renovating, maintaining, and operating facilities assisted under the ESG program, in providing services assisted under the ESG program, and in providing services for occupants of facilities assisted under the program.

Consolidated Plan – All activities the recipient undertakes with assistance under ESG are consistent with its consolidated plan.

Discharge Policy – The recipient will establish and implement, to the maximum extent practicable and where appropriate, policies and protocols for the discharge of persons from publicly funded institutions or systems of care (such as health care facilities, mental health facilities, foster care or other youth facilities, or correction programs and institutions) in order to prevent this discharge from immediately resulting in homelessness for these persons.

Signature of Authorized Official

Date

Title

Housing Opportunities for Persons With AIDS Certifications

The HOPWA grantee certifies that:

Activities -- Activities funded under the program will meet urgent needs that are not being met by available public and private sources.

Building -- Any building or structure assisted under that program shall be operated for the purpose specified in the consolidated plan:

1. For a period of not less than 10 years in the case of assistance involving new construction, substantial rehabilitation, or acquisition of a facility,
2. For a period of not less than 3 years in the case of assistance involving non-substantial rehabilitation or repair of a building or structure.

Signature of Authorized Official

Date

Title

APPENDIX TO CERTIFICATIONS**INSTRUCTIONS CONCERNING LOBBYING CERTIFICATION:****Lobbying Certification**

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.



City of Moreno Valley

**COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)
HOME INVESTMENT PARTNERSHIP (HOME)
EMERGENCY SOLUTIONS GRANT (ESG)**

FISCAL YEAR 2018/2019

**APPLICATION REVIEW
AND
FUNDING RECOMMENDATION**

**Public Hearing
May 1, 2018**

27368 Via Industria
Suite 200
Temecula, CA 92590
T 951.587.3500 | 800.755.6864
F 951.587.3510

www.willdan.com/financial



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Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

I. OVERVIEW

Historically, the City of Moreno Valley (the “City”) has received federal funding on an annual basis from the Department of Housing and Urban Development (HUD) for two formula block grant programs: Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME). Since Program Year 2014/15, the City has become a direct recipient of Emergency Solutions Grant (ESG) program funds.

Descriptions of each formula block program (HOME, ESG and CDBG) can be found in Sections II, III, and IV of this report.

The following subsections provide an overview of the Five-Year Consolidated Plan, The Citizen Participation Plan, The One-Year Action Plan and the FY2018-19 Application Process and Review.

The Five-Year Consolidated Plan

Every five years, the City of Moreno Valley prepares a Five-Year Consolidated Plan, which describes community needs, resources, priorities, and proposed activities to be undertaken under certain HUD programs, including CDBG, HOME and ESG.

The proposed Consolidated Plan for Program Years 2018/19 through 2022/23, outline the following goals and strategies:

- Substandard Housing Strategy
- Homelessness Strategy
- Public Services Program Strategy
- Public Facilities and Improvements Strategy
- Housing Discrimination Strategy
- Economic Development Strategy
- Planning and Administration Development Strategy

The Citizen Participation Plan

The City has developed a Citizen Participation Plan as a part of the Five-Year Consolidated Plan that sets forth the policies and procedures to encourage citizen's participation in the CDBG, HOME and ESG Program planning and implementation processes. This Citizen Participation Plan provides the method and process by which the City will encourage citizen participation in the development of its Consolidated Plan.

A copy of the City's Citizen Participation Plan is available for inspection at the Financial & Management Services Department during normal business hours.

The One-Year Action Plan

Each year in May, the City of Moreno Valley is required to submit an update to the Consolidated Plan to HUD, referred to as an Action Plan. The Action Plan outlines the specific steps that will be taken during the year to address both the community development and housing priorities of the Consolidated Plan. The Action Plan identifies how the CDBG, HOME and ESG Program funds will be utilized to provide programs and projects that benefit low and moderate-income households and neighborhoods.

A copy of the City's One-Year Action Plan for prior program years is available for inspection at the Financial & Management Services Department during normal business hours.

Fiscal Year 2018-19 Proposed HOME, ESG and CDBG Objectives and Policies

The City's Objectives for the HOME, ESG and CDBG programs are summarized below (*listed alphabetically*) and additional detail can be found in the application booklet:

- Capital Improvement Activities
- Economic Development Activities
- Health, Safety, and Public Welfare Activities
- Historic Preservation Activities
- Homeless/Homeless Prevention Activities
- Housing and Neighborhood Improvement Activities
- Public Service Activities
 1. Basic Needs Related to Social Services Programs (such as but not limited to emergency food, shelter (homelessness), and utility assistance)
 2. Community Public Safety Programs
 3. Programs offering Low-Cost Transportation
 4. Employment Services/Programs and Job (Skills) Training
 5. Free/Low-Cost programs for School-Aged Youth
 6. Fair Housing Activities
- Slum or Blight Activities

FY2018-19 Application Process and Review

On December 28, 2017 the City published Notice of Funding Availability (NOFA) for Fiscal Year 2018/2019 Application for Funding for Community Development Block Grant (CDBG), Home Investment Partnership (HOME) and Emergency Solutions Grant (ESG). According to the application guidelines, interested parties were informed to submit their completed applications by January 31, 2018, 5:00 pm. Programs and projects seeking funding from the City of Moreno Valley must address one or more of the Community Development Priorities set forth in the Five-Year Consolidated Plan, in addition to meeting all other conditions as summarized in the Application booklet. A copy of the application booklet which provides additional information on the City's objectives and policies can be found on the City's website.

The City received twenty-nine (29) applications requesting a total \$4,782,728.07.

As part of the application process in preparation of the One-Year Action Plan, the City has contracted Willdan Financial Services ("Willdan") to collaborate with City Staff and Officials, as the Technical Review Committee for the CDBG, HOME, and ESG application proposals. On March 27, 2018, the City of Moreno Valley held a "Public Meeting" during the Finance Subcommittee, to provide applicants an opportunity to explain their programs in person and, for the Technical Review Committee to ask applicants questions directly. The information provided in the completed application packet and during the Public Meeting was considered to evaluate and score each applicant in accordance with the evaluation guidelines described in the application booklet.

The Technical Review Committee's preliminary recommendations were presented at a Public Hearing held on April 17, 2018. At this meeting, the City of Moreno Valley City Council reviewed and considered the proposed project selections. In line with the City's policies and objectives and the Citizen's participation Plan, the final project selections will be made by the City Council via Public Hearing on May 1, 2018. The Annual Action Plan is scheduled to be submitted to HUD at least 45 days before the beginning of the program year.

The following subsequent sections of this report contain the current proposed project selections for Fiscal Year 2018/2019.

II. Home Investment Partnerships Program (HOME) - \$533,301

Grant Purpose

The Home Investment Partnerships Program was established by the Title II of the Cranston-Gonzalez National Affordable Housing Act. The objectives of the HOME Program include:

- Expanding the supply of decent and affordable housing; primarily rental housing.
- Strengthening the ability of state and local government to provide adequate supplies of decent, affordable housing.
- Providing financial and technical assistance to participating jurisdictions, including the development of model programs for affordable low-income housing.
- Extending partnerships among all levels of government and the private sector, including for-profit and non-profit organizations, in the production and operation of affordable housing.

Funding

Estimated Fiscal Year 2018-2019 Allocation	HOME
Planning and Administration Cap (10% of annual grant)	\$53,330.10
Mandatory CHDO set-aside (15% of annual grant)	79,995.15
Available for Other Activities	399,975.75
TOTAL Estimated Allocation	\$533,301.00

Applications

The City received two (2) HOME applications requesting a total of \$270,824.

Recommendations

Applications were evaluated according to the required criteria. Habitat for Humanity is a returning applicant with good performance and the funding recommendation is for their full request of \$120,000. The second applicant did not respond to the request to provide required information to complete their evaluation.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Home Investment Partnership (HOME)

App. No.	Applicant	Program	Funding	City Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19	Total # Persons/Units Served	MV # Persons/Units Served	Funding Requested Per Person/Unit ⁽¹⁾
1	Habitat for Humanity Riverside	Mobile HOME Repair Program (A Brush with Kindness Critical HOME Repair Program)	HOME	Housing and Neighborhood Improvement Activities	\$120,000	\$120,000	\$120,000	8 households	8 households	\$15,000 per household
2	RE Electric	Electrical Panel Upgrades	HOME	Housing and Neighborhood Improvement Activities	\$0	\$150,824	\$0	60 households	60 households	\$2,513.73 per household
Totals					\$120,000	\$270,824	\$120,000			

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

III. Emergency Solutions Grants (ESG) - \$174,002

Grant Purpose

The Homeless Emergency Assistance and Rapid Transition to Housing Act of 2009 (HEARTH Act) amended the McKinney-Vento Homeless Assistance Act, revising the Emergency Shelter Grants Program in significant ways and renaming it the Emergency Solutions Grants program. The ESG program is new to the City. The decision to apply the American Community Survey (ACS) data to calculate HUD allocations made Moreno Valley eligible to receive ESG funds.

The ESG program is issued to assist, protect, and improve living conditions for the homeless. The program provides funding to:

- Engage homeless individuals and families living on the street;
- Improve the number and quality of emergency shelters for homeless individuals and families;
- Help operate these shelters and provide essential services to shelter residents;
- Rapidly re-house and provide essential services to shelter residents,
- Prevent families/individuals from becoming homeless and provide essential services to those at risk of homelessness.

Funding

Estimated Fiscal Year 2018-2019 Allocation	ESG
Planning and Administration Cap (7.5% of annual grant)	\$13,050.15
Available for Other Activities	\$ 160,951.85*
TOTAL Estimated Allocation	\$174,002.00*

*The City anticipates to utilize approximately \$42,738.85 of uncommitted prior year funds.

Applications

The City received three (3) ESG applications requesting a total of \$296,936 in ESG. The City also plans to continue to fund the County of Riverside Department of Public Social Services for HMIS (\$5,000), therefore the total request for ESG funds is \$301,936, exceeding the available funds by \$140,984.15.

Recommendations

Funding is being recommended for existing providers, these include Catholic Charities, United States Veterans Initiative, The Salvation Army and the County of Riverside for HMIS. Additionally, ESG prior year funds in the amount of \$42,738.85 is recommended to be awarded to Catholic Charities.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Emergency Solutions Grant (ESG)

App. No.	Applicant	Program	Funding	City Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
n/a	County of Riverside	Homeless Management Information System (HMIS)	ESG	n/a	\$5,000	\$5,000	\$5,000.00
3	Catholic Charities San Bernardino & Riverside Counties	Casework Services Program*	ESG	Homeless/Homeless Prevention Activities	\$68,000	\$160,984	\$25,951.85
4	The Salvation Army	Street Outreach Program	ESG	Homeless/Homeless Prevention Activities	\$80,000	\$80,000	\$80,000.00
5	United States Veteran's Initiative	U.S. Vets Emergency Shelter Program***	ESG	Homeless/Homeless Prevention Activities	\$63,213	\$98,069	\$50,000.00
Totals					\$216,213	\$344,053	\$160,951.85

*ESG prior year funds in the amount of \$42,738.85 is recommended to be awarded to Catholic Charities.
 ***The City may utilize additional ESG allocations received, if any, towards US Vets Emergency Shelter program.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

IV. Community Development Block Grant (CDBG) - \$1,940,916

Grant Purpose

The Community Development Block Grant (CDBG) Program is authorized by Title I of the Housing and Community Development Act of 1974, as amended. The primary objective of the CDBG program is to develop viable urban communities by providing decent housing, a suitable living environment, and expanded economic opportunities, principally for persons of low and moderate income.

The CDBG objective is to be achieved in two ways:

First, a grantee can only use funds to assist eligible activities that meet one of three national objectives of the program:

- Benefit low- and moderate-income persons,
- Aid in the prevention or elimination of slums and/or blight,
- Meet community development needs having a particular urgency.

Second, at least 70 percent of funds must be spent (over a period of up to 3 years) for activities that address the national objective of benefiting low- and moderate-income persons.

Funding and Limitations

Estimated Fiscal Year 2018-2019 Allocation	CDBG
Planning and Administration Cap (20% of annual grant)	\$388,183.20
Public Services Cap (15% of annual grant)	\$291,137.40
Available for Other Activities (65% of annual grant)	1,261,595.40*
TOTAL Estimated Allocation	\$1,940,916.00*

*The City may utilize prior-year uncommitted funds towards non-public service activities.

CDBG Public Service – Limited to 15%

The City's Public Service priority ranking as approved by the Council is recapped below:

Priority 1: Basic Needs Related Social Services Programs (such as but not limited to emergency food, shelter (homelessness), and utility assistance)

Priority 2: Community Public Safety Programs

Priority 3: Programs offering Low-Cost Transportation

Priority 4: Employment Services/Programs and Job (Skills) Training

Priority 5: Free/Low-Cost programs for School-Aged Youth

Priority 6: Fair Housing Activities

According to the CDBG regulations, the amount of CDBG funds obligated within a program year to support public service activities may not exceed 15% of the annual program allocation. As a result, the City's Public Service projects for program year 18-19 is limited to **\$291,137.40**.

There were a total of fifteen (15) public service applications received, totaling \$474,769, exceeding the cap by \$183,631.60. Priority was provided to returning applicants with good performance within the respective public service category.

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Community Development Block Grant (CDBG)
Public Service

App. No.	Applicant	Program	Funding	Funding Type	City Priority	Public Service Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
(1) Public Service - Basic Needs									
8	Catholic Charities San Bernardino & Riverside Counties	Casework Services Program	CDBG	Public Service (Homelessness)	Homeless/Homeless Prevention	(1) Basic Needs (Homelessness Services)	\$0	\$15,000	\$0
11	Family Services Association (FSA) Riverside County Coalition for Alternatives to Domestic Violence	Senior Nutrition Program	CDBG	Public Service (Senior Services)	Public Service	(1) Basic Needs (Case Management for Food Program)	\$10,000	\$20,000	\$10,000
17	(ADV)	Emergency/Transitional Shelter Services	CDBG	Public Service (Other)	Public Service	(1) Basic Needs (Homelessness Services)	\$0	\$20,000	\$0
18	Riverside County Office on Aging	Meals for Low and Moderate Income Elderly Clients	CDBG	Public Service (Senior Services)	Public Service	(1) Basic Needs (Case Management for Food Program)	\$0	\$30,000	\$0
20	The Salvation Army	Food Pantry	CDBG	Public Service (Food Banks)	Public Service	(1) Basic Needs (Food Program)	\$10,000	\$10,000	\$10,000
(2) Public Service - Community Safety Program									
29	Moreno Valley Police Department	Betterment Through Community Based Policing & Holiday Cheer***	CDBG	Public Service (Crime Awareness/Prevention)	Public Service	(2) Community Public Safety Programs	\$58,012	\$105,000	\$58,012
(3) Public Service - Low Cost Transportation									
12	Friends of Moreno Valley Senior Center, Inc.	The "Mo-Van" Senior Transportation Program	CDBG	Public Service (Senior Services)	Public Service	(3) Low-Cost Transportation	\$35,000	\$47,100	\$41,000
(4) Public Service - Employment Services/Programs and Job (Skills) Training									
25	City of Moreno Valley Economic Development Department	City of Moreno Valley Employment Resource Center	CDBG	Public Service (Employment Training)	Public Service	(4) Employment Services/Programs and Job (Skills) Training	\$66,000	\$75,000	\$66,000

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Community Development Block Grant (CDBG)
Public Service

App. No.	Applicant	Program	Funding	Funding Type	City Priority	Public Service Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
(5) Public Service - Free/Low-Cost Programs for School-Aged Youth									
6	Assistance League of Riverside	Operation School Bell	CDBG	Public Service (Youth Services)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$10,000	\$10,000
7	Boys & Girls Club of Greater Redlands-Riverside	Membership and Services at Casitas del Valle	CDBG	Public Service (Youth Services)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$20,000	\$0
15	Operation SafeHouse, Inc.	Operation SafeHouse Emergency Shelter for Youth	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$10,000	\$15,000	\$10,000
16	Riverside Area Rape Crisis Center	Child Abuse Prevention Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$10,000	\$10,000	\$10,000
19	Silence Aloud, Inc.	Peer to Peer Mentoring Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$20,000	\$0
22	Voices for Children	Court Appointed Special Advocate (CASA) Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$25,000	\$25,000	\$25,000
(6) Public Service - Fair Housing Activities									
9	Fair Housing Council of Riverside County, Inc.	Fair Housing Anti-Discrimination Services	CDBG	Public Service (Fair Housing Activities)	Public Service	Fair Housing	\$32,748	\$32,158	\$32,158
10	Fair Housing Council of Riverside County, Inc.	Fair Housing Landlord/Tenant Counseling	CDBG	Public Service (Fair Housing Activities)	Public Service	Fair Housing	\$18,377	\$20,511	\$18,967
Totals							\$275,137	\$474,769	\$291,137

***The City may utilize additional CDBG allocations received, if any, towards Moreno Valley Police Department up to its requested funding for 18-19.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

CDBG Other Activities - 65% (Remaining Allocation)

After taking into account the limitations for CDBG Administration and Public Service Activities, the remaining allocation available to fund other activities was **\$1,261,595.40**. There was a total of eight (8) applications received for other activities, totaling \$3,698,082. The total requests, exceeded the Fiscal Year 2018/19 allocation by \$2,436,486.60.

Funding was prioritized for Housing and Neighborhood Improvement and Economic Development Activities. Remaining available funds, were allocated to Capital Improvement projects. The City may consider increasing funding level for these projects as additional grant or program income become available.

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Community Development Block Grant (CDBG)
Other-65% Funding

App. No.	Applicant	Program	Funding	Funding Type	City Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
Housing and Neighborhood Improvement Activities								
13	GRID Alternatives	City of Moreno Valley Low Income Solar Energy Assistance Program	CDBG	Rehabilitation: Single Unit Residential	Housing and Neighborhood Improvement Activities	\$50,000	\$50,000	\$50,000
14	Habitat for Humanity Riverside	A Brush with Kindness	CDBG	Rehabilitation: Single Unit Residential	Housing and Neighborhood Improvement Activities	\$10,000	\$10,000	\$10,000
21	The Salvation Army	Neighborhood Clean-up	CDBG	Interim Assistance	Housing and Neighborhood Improvement Activities	\$30,000	\$30,000	\$30,000
Health, Safety and Public Welfare								
24	City of Moreno Valley Community Development Department	Neighborhood Code Enforcement / Rental Property	CDBG	Code Enforcement	Health, Safety and Public Welfare	\$339,400	\$346,100	\$0
Capital Improvements								
26	City of Moreno Valley Public Works Department	Pavement Rehabilitation for Various Streets**	CDBG	Public Facilities and Improvements	Capital Improvements	\$0	\$1,200,000	\$722,350
27	City of Moreno Valley Public Works Department	Heacock Street Pedestrian and Bicycle Facility Enhancements/ Gregory Lane to 680 Feet South**	CDBG	Public Facilities and Improvements	Capital Improvements	\$0	\$650,000	\$0
28	City of Moreno Valley Purchasing and Facilities Department	ADA Improvements at City Facilities**	CDBG	Public Facilities and Improvements	Capital Improvements	\$0	\$1,362,736	\$400,000
Economic Development Activities								
23	University Enterprises Corporation at CSUSB / Inland Empire SBDC	Inland Empire Small Business Development Center Technical Assistance	CDBG	Economic Development	Economic Development Activities	\$50,000	\$49,246	\$49,246
Totals						\$479,400	\$3,698,082	\$1,261,595

**The City may utilize prior-year uncommitted funds towards non-public service activities

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

V. Fiscal Year 2018/19 Applicants Summary Listing

A summary listing of all Fiscal Year 2018/19 applicants can be found in the next two pages.

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Community Development Block Grant (CDBG)
 Home Investment Partnership (HOME)
 Emergency Solutions Grant (ESG)

App. No.	Applicant	Program	Funding	Funding Type	City Priority	Public Service Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
1	Habitat for Humanity Riverside	Mobile Home Repair Program	HOME	n/a	Housing and Neighborhood Improvement Activities	n/a	\$120,000	\$120,000	\$120,000
2	RE Electric	Electrical Panel Upgrades	HOME	n/a	Housing and Neighborhood Improvement Activities	n/a	\$0	\$150,824	\$
3	Catholic Charities San Bernardino & Riverside Counties	Casework Services Program*	ESG	n/a	Homeless/Homeless Prevention Activities	n/a	\$68,000	\$160,984	\$25,95
4	The Salvation Army	Street Outreach Program	ESG	n/a	Homeless/Homeless Prevention Activities	n/a	\$80,000	\$80,000	\$80,000
5	US Veterans Initiative	U.S. Vets Emergency Shelter Program***	ESG	n/a	Homeless/Homeless Prevention Activities	n/a	\$63,213	\$98,069	\$50,000
6	Assistance League of Riverside	Operation School Bell	CDBG	Public Service (Youth Services)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$10,000	\$10,000
7	Boys & Girls Club of Greater Redlands-Riverside	Membership and Services at Casitas del Valle	CDBG	Public Service (Youth Services)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$20,000	\$
8	Catholic Charities San Bernardino & Riverside Counties	Casework Services Program	CDBG	Public Service (Homelessness)	Public Service	(1) Basic Needs (Homelessness Services)	\$0	\$15,000	\$
9	Fair Housing Council of Riverside County, Inc.	Fair Housing Anti-Discrimination Services	CDBG	Public Service (Fair Housing Activities)	Public Service	(6) Fair Housing	\$32,748	\$32,158	\$32,15
10	Fair Housing Council of Riverside County, Inc.	Fair Housing Landlord/Tenant Counseling	CDBG	Public Service (Fair Housing Activities)	Public Service	(6) Fair Housing	\$18,377	\$20,511	\$18,96
11	Family Services Association (FSA)	Senior Nutrition Program	CDBG	Public Service (Senior Services)	Public Service	(1) Basic Needs (Case Management for Food Program)	\$10,000	\$20,000	\$10,000
12	Friends of Moreno Valley Senior Center, Inc.	The "Mo-Van" Senior Transportation Program	CDBG	Public Service (Senior Services)	Public Service	(3) Low-Cost Transportation	\$35,000	\$47,100	\$41,000
13	GRID Alternatives	City of Moreno Valley Low Income Solar Energy Assistance Program	CDBG	Rehabilitation: Single Unit Residential Rehabilitation: Single Unit Residential	Housing and Neighborhood Improvement Activities	n/a	\$50,000	\$50,000	\$50,000
14	Habitat for Humanity Riverside	A Brush with Kindness	CDBG		Housing and Neighborhood Improvement Activities	n/a	\$10,000	\$10,000	\$10,000
15	Operation SafeHouse, Inc.	Operation SafeHouse Emergency Shelter for Youth	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$10,000	\$15,000	\$10,000
16	Riverside Area Rape Crisis Center	Child Abuse Prevention Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$10,000	\$10,000	\$10,000
17	Riverside County Coalition for Alternatives to Domestic Violence (ADV)	Emergency/Transitional Shelter Services	CDBG	Public Service (Other)	Public Service	(1) Basic Needs (Homelessness Services)	\$0	\$20,000	\$
18	Riverside County Office on Aging	Meals for Low and Moderate Income Elderly Clients	CDBG	Public Service (Senior Services)	Public Service	(1) Basic Needs (Case Management for Food Program)	\$0	\$30,000	\$

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

City of Moreno Valley
Fiscal Year 2018/19
 Application Review
 Community Development Block Grant (CDBG)
 Home Investment Partnership (HOME)
 Emergency Solutions Grant (ESG)

App. No.	Applicant	Program	Funding	Funding Type	City Priority	Public Service Priority	FY 17-18 Funding	Funding Requested FY 18-19	Funding Recommended FY 18-19
19	Silence Aloud, Inc.	Peer to Peer Mentoring Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$0	\$20,000	\$0
20	The Salvation Army	Food Pantry Program	CDBG	Public Services (Food Bank)	Public Service	(1) Basic Needs (Food Program)	\$10,000	\$10,000	\$10,000
21	The Salvation Army	Neighborhood Clean-up	CDBG	Interim Assistance	Housing and Neighborhood Improvement Activities	n/a	\$30,000	\$30,000	\$30,000
22	Voices for Children	Court Appointed Special Advocate (CASA) Program	CDBG	Public Service (Services for Abused and Neglected Children)	Public Service	(5) Free/Low-Cost programs for School-Aged Youth	\$25,000	\$25,000	\$25,000
23	University Enterprises Corporation at CSUSB / Inland Empire SBDC	Inland Empire Small Business Development	CDBG	Economic Development	Economic Development Activities	n/a	\$50,000	\$49,246	\$49,246
24	City of Moreno Valley Community Development Department	Neighborhood Code Enforcement / Rental Property	CDBG	Code Enforcement	Health, Safety and Public Welfare	n/a	\$339,400	\$346,100	\$0
25	City of Moreno Valley Economic Development Department	Moreno Valley Employment Resource Center	CDBG	Public Service (Employment Training)	Public Service	(4) Employment Services/Programs and Job (Skills) Training	\$66,000	\$75,000	\$66,000
26	City of Moreno Valley Public Works Department	Pavement Rehabilitation for Various Streets**	CDBG	Public Facilities and Improvements	Capital Improvements	n/a	\$0	\$1,200,000	\$722,340
27	City of Moreno Valley Public Works Department	Heacock Street Pedestrian and Bicycle Facility Enhancements/ Gregory Lane to 680 Feet South**	CDBG	Public Facilities and Improvements	Capital Improvements	n/a	\$0	\$650,000	\$0
28	City of Moreno Valley Purchasing and Facilities Department	ADA Improvements at City Facilities** Community Betterment Through CDBG Funding and POP Based Policing	CDBG	Public Facilities and Improvements	Capital Improvements	n/a	\$0	\$1,362,736	\$400,000
29	Moreno Valley Police Department	and Holiday Cheer***	CDBG	Public Service (Crime Awareness/Prevention)	Public Service	(2) Community Public Safety Programs	\$58,012	\$105,000	\$58,012
n/a	County of Riverside	Homeless Management Information System (HMIS)	ESG	n/a	n/a	n/a	\$5,000	\$5,000	\$5,000
Totals							\$1,090,750	\$4,787,728.07	\$1,833,684

*ESG prior year funds in the amount of \$42,738.85 is recommended to be awarded to Catholic Charities.
 **The City may utilize prior-year uncommitted funds towards non-public service activities
 ***The City may utilize additional ESG allocations received, if any, towards US Vets Emergency Shelter program, and additional CDBG allocations received, if any, towards Moreno Valley Police Department up to its requested funding for 18-19.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC

VI. Fiscal Year 2018/19 Applicants Program Descriptions

Applicant's Program Descriptions for each application, as submitted by the applicants, can be found in the subsequent pages.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Home Investment Partnership (HOME)
Applicant Program Description

Application Number: 1
Location in Moreno Valley: Yes
Requested Funding: HOME

Applicant: Habitat for Humanity Riverside
Program: Mobile Home Repair Program

FY18/19 Recommended Funding: **\$120,000**

Requested Funding Amount: **\$120,000**
Total # Person/Unit Served: 8
MV # Person/Unit Served: 8
Funding per Person/Unit Served: \$15,000/household

Program Description:

The Mobile Home Repair Program is designed to assist low to moderate income (no more than 80% of the median HH income) mobile homeowners in the City of Moreno Valley with interior and exterior repairs to address their substandard living conditions. Health and safety issues as well as code violations are addressed first. Exterior issues may also be addressed if they are deemed health and safety related. Repairs will not exceed \$10,000 per household (not including overhead costs). HFHR is able to leverage deep relationships with business partners as well as volunteers where applicable to complete the repairs and upgrades while maximizing the impact of the funding available.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Home Investment Partnership (HOME)
Applicant Program Description

Application Number: 2
Location in Moreno Valley: No
Requested Funding: HOME

Applicant: RE Electric
Program: Electrical Panel Upgrades

FY18/19 Recommended Funding: \$0

Requested Funding Amount: \$150,824
Total # Person/Unit Served: 60
MV # Person/Unit Served: 60
Funding per Person/Unit Served: \$2,514/household

Program Description:

The project is a residential electrical panel upgrade to a 200 amp panel. All residential houses built before 1973 should have there electrical panels upgraded from a 100 amp electrical panel to a 200 amp panel.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Emergency Solutions Grant (ESG)
Applicant Program Description

Application Number: 3
Funding: ESG

Applicant: Catholic Charities San Bernardino & Riverside Counties
Program: Casework Services Program*

FY18/19 Recommended Funding: \$25,951.85*

Requested Funding Amount: \$160,984.00
Total # Person/Unit Served: 66
MV # Person/Unit Served: 46
Funding per Person/Unit Served: \$3,499.65/person

ESG Component	Budget	Individuals to be Served
Street Outreach		
Rapid Rehousing	57,390.00	10
Homelessness Prevention	103,594.00	36
Emergency Shelter		
Total	160,984.00	46

Program Description:

The Caseworker Services Program provides case management services, which includes crisis intervention, community outreach and a wide range of homeless and homelessness prevention services to low-income residents. Services may include motel vouchers, rental assistance (rent in arrears to prevent eviction), late fees, security deposits, utility assistance, food and other supportive services. A minimum of 20 households (46 individuals) will receive homeless and homelessness prevention assistance.

** An Additional amount of \$42,738.85 of ESG prior year funds are also recommended to be awarded to Catholic Charities.*

City of Moreno Valley
 Fiscal Year 2018/19
 Emergency Solutions Grant (ESG)
 Applicant Program Description

Application Number: 4
Funding: ESG

Applicant: The Salvation Army
Program: Street Outreach Program

FY18/19 Recommended Funding: \$80,000.00

Requested Funding Amount: \$80,000.00
 Total # Person/Unit Served: 60
 MV # Person/Unit Served: 30
 Funding per Person/Unit Served: \$2,666.67/person

ESG Component	Budget	Individuals to be Served
Street Outreach	80,000.00	30
Rapid Rehousing		
Homelessness Prevention		
Emergency Shelter		
Total	80,000	30

Program Description:

Street Outreach activity that will provide engagement and case management services to homeless individuals within the City of Moreno Valley. These activities consist of making an initial assessment of needs and eligibility; providing crisis counseling; addressing urgent physical needs, such as providing meals, and actively connecting and providing information and referrals to programs targeted to homeless people and mainstream social services and housing programs, including emergency shelter, transitional housing, community-based services, permanent supportive housing, and encourage participation in employment activities such as the Homeless to Work program.

ESG funds will be used for personnel costs, overhead, and supportive services.

City of Moreno Valley
Fiscal Year 2018/19
Emergency Solutions Grant (ESG)
Applicant Program Description

Application Number: 5
Funding: ESG

Applicant: US Veterans Initiative
Program: U.S. Vets Emergency Shelter Program

FY18/19 Recommended Funding: \$50,000.00

Requested Funding Amount: \$98,069.15
Total # Person/Unit Served: 16
MV # Person/Unit Served: 16
Funding per Person/Unit Served: \$6,129.32/person

ESG Component	Budget	Individuals to be Served
Street Outreach	24,050.00	16
Rapid Rehousing		
Homelessness Prevention		
Emergency Shelter	74,019.15	16
Total	98,069.15	

Program Description:

As more veterans return home, many will face issues of reintegration into society due to the still struggling economy, lack of affordable housing, homelessness, mental health issues, addiction, and unemployment. In order to continue to assist these low income, displaced and at-risk veterans, U.S. VETS respectfully requests a grant in the amount of \$98,069.15 to extend to our existing resources to support the provision of rooms and three meals a day for homeless veterans. ESG will allow us to operate an 8-bed capacity program with length of stay of a minimum of 1-day and maximum of what is allowed by the grant with consideration to the housing first model. This will allow a case manager and outreach/housing specialist the time to connect participants with employment, permanent supportive housing, mainstream benefits, and supportive services. U.S. VETS offer comprehensive continuum of care designed to break the cycle of homelessness by moving the individual as quickly as possible into employment and self-sufficiency. TO obtain this, we operate on a housing first model and provide a great deal of onsite supportive service which include; room and meals, case management, relapse prevention classes/ residential support groups, training/employment development, connection to mainstream benefits and transportation.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 6
Funding: CDBG

Applicant: Assistance League of Riverside
Program: Operation School Bell

Funding Type: Public Service (Youth Services)
City Priority: Public Service
Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$10,000.00
Total # Person/Unit Served: 2,000
MV # Person/Unit Served: 400
Funding per Person/Unit Served: \$25/person

Program Description:

Operation School Bell is a program provided to elementary, middle school and high school students with a goal of assisting them in removing barriers to learning. Since 1967 we have provided new school clothes, backpacks, school supplies, hygiene kits and reading books to homeless and economically disadvantaged children. We have served 360 students from the Moreno Valley School District from September, 2017 to January 21, 2018. Beginning in May of each year volunteers order all of the items we give to our clients. In the summer months the items are sorted and shelved. After the school year begins, we are contacted by the schools, receive a list of names and begin to set up appointments for children. The elementary students come to our Chapter House to “shop” for their new school clothes. Each child receives: 4 shirts, 2 pairs of pants, 6 pairs of socks and underwear, a sweatshirt, a jacket, a voucher for a new pair of shoes, a backpack, school supplies, two age-appropriate reading books and a hygiene kit. Middle School and High School students are served at a J.C. Penney’s store in Moreno Valley for those in that school district. This store offers a greater array of styles and sizes than we can offer at our Chapter House. This variety gives the older students a better opportunity to choose clothing that is similar to what their peers wear. By providing new school clothing to homeless and economically disadvantaged students, our organization helps them to have a greater engagement in attending school and encourages them in the key skill of reading.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 7
Funding: CDBG

Applicant: Boys & Girls Club of Greater Redlands-Riverside
Program: Membership and Services at Casitas del Valle

Funding Type: Public Service (Youth Services)
City Priority: Public Service
Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$20,000.00
Total # Person/Unit Served: 46
MV # Person/Unit Served: 46
Funding per Person/Unit Served: \$435/person

Program Description:

The Club has operated after-school programs for youth ages 6-18 at Casitas del Valle, a public housing complex on Lamos Place north of the 60, since 2012. The Club had a financial contract with Coachella Valley Housing Coalition to offer programs three days a week. Club staff ran programs Monday, Wednesday, Friday for all youth who came.

Coachella Valley Housing Coalition recently stopped paying for the Club's services at Casitas del Valle, but the Club kept funding them out of its own budget so local youth would still have a safe place to go after school.

The Club is requesting funds to help pay for annual memberships for youth at Casitas del Valle, along with Club staff and program expenses. The funds would allow the Club to continue serving more youth in the area around the Casitas complex and the City of Moreno Valley without draining the Club's budget. Parents would still have a safe place to send their kids three days a week. To ensure that happens in the future, the Club needs financial help keeping operations going.

Requested funds would pay Club staff members to run programs from 2-6 p.m. three days a week during the school year; pay for program materials like curriculum, snacks, games, paper and incentives; and cover the \$25-per-child annual membership for the 46 youth enrolled at the Club's Casitas site. Membership is open to any school-age young person.

Facility expenses are still paid by the Coachella Valley Housing Coalition.

Club programs include homework help, career and college exploration, STEM, physical activity, cooking, and leadership and character development. The first hour of programming, called Power Hour, is mandatory homework and reading time.

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 8
Funding: CDBG

Applicant: Catholic Charities San Bernardino & Riverside Counties
Program: Casework Services Program

Funding Type: Public Service (Homelessness)
 City Priority: Public Service
 Public Service Priority: (1) Basic Needs (Homelessness Services)

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$15,000.00
 Total # Person/Unit Served: 66
 MV # Person/Unit Served: 66
 Funding per Person/Unit Served: \$227.27/person

Program Description:

The Caseworker Services Program provides case management services, which includes community outreach and a wide range of homeless and homeless prevention services to low-income residents. Services may include motel vouchers, rental assistance (rent in arrears to prevent eviction), security deposits, utility assistance, food and other supportive services. A minimum of 20 households (66 individuals) will receive homeless and homelessness prevention assistance.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 9
Funding: CDBG

Applicant: Fair Housing Council of Riverside County, Inc.
Program: Fair Housing Anti-Discrimination Services

Funding Type: Public Service (Fair Housing Activities)
City Priority: Public Service
Public Service Priority: (6) Fair Housing

FY18/19 Recommended Funding: \$32,158.00

Requested Funding Amount: \$32,158.00
Total # Person/Unit Served: 975
MV # Person/Unit Served: 185
Funding per Person/Unit Served: \$173.83/household

Program Description:

THE FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY, INC., (FHCR) proposes to offer a full menu of fair housing services which affirmatively address and promote fair housing rights and obligations as defined and articulated under the Federal Fair Housing Act and the California State Law Enactments under the Rumford and Unruh Civil Rights Acts.

FHCR's Mission is to provide comprehensive services which affirmatively address and promote fair housing (anti-discrimination) rights and further other housing opportunities for all persons without regard to race, color, age, national origin, religion, sex, familial status (presence of children), disability, ancestry, marital status, or other arbitrary factors.

The Mission is accomplished through three component areas under both ANTIDISCRIMINATION and LANDLORD/TENANT services. These three components are

1. Education
2. Training and Technical Assistance
3. Enforcement

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 10
Funding: CDBG

Applicant: Fair Housing Council of Riverside County, Inc.
Program: Fair Housing Landlord/Tenant Counseling

Funding Type: Public Service (Fair Housing Activities)
 City Priority: Public Service
 Public Service Priority: (6) Fair Housing

FY18/19 Recommended Funding: \$18,967.00

Requested Funding Amount: \$20,511.00
 Total # Person/Unit Served: 12700
 MV # Person/Unit Served: 4650
 Funding per Person/Unit Served: \$4.41/household

Program Description:

THE FAIR HOUSING COUNCIL OF RIVERSIDE COUNTY, INC., (FHRC) proposes to provide comprehensive services which affirmatively address and promote landlord and tenant rights and further other housing opportunities for all persons without regard to race, color, age, national origin, religion, sex, familial status (presence of children), disability, ancestry, marital status, or other arbitrary factors.

The Mission is accomplished through three component areas under LANDLORD/TENANT services. These three components are

1. Education
2. Training and Technical Assistance
3. Enforcement

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 11
Funding: CDBG

Applicant: Family Services Association (FSA)
Program: Senior Nutrition Program

Funding Type: Public Service (Senior Services)
City Priority: Public Service
Public Service Priority: (1) Basic Needs (Case Management for Food Program)

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$20,000.00
Total # Person/Unit Served: 559
MV # Person/Unit Served: 559
Funding per Person/Unit Served: \$35.78/person

Program Description:

FSA's Senior Nutrition Program provides seniors with one nutritionally balanced meal Monday - Friday. The meals are provided to seniors 62 years of age and older in a group setting at the City of Moreno Valley Senior Center. Meals are also provided through an in-home delivery service to seniors who are unable to visit the center because of illness, incapacity, disability, and a lack of transportation. With funding from the City of Moreno Valley, FSA will provide services for 15-22 individuals during the 2018-19 Fiscal Year.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 12
Funding: CDBG

Applicant: Friends of Moreno Valley Senior Center, Inc.
Program: The "Mo-Van" Senior Transportation Program

Funding Type: Public Service (Senior Services)
City Priority: Public Service
Public Service Priority: (3) Low-Cost Transportation

FY18/19 Recommended Funding: \$41,000.00

Requested Funding Amount: \$47,100.00
Total # Person/Unit Served: 4,700
MV # Person/Unit Served: 4,700
Funding per Person/Unit Served: \$10.02/trip

Program Description:

The Senior Van Transportation Program utilizes the "MoVan" to transport senior citizens over the age of 60 + years old and disabled adults to the Moreno Valley Senior Center and necessary destinations for non-emergency medical, dental, optical appointments and monthly Farmers Market trips and monthly trips to the Salvation Army Headquarters for Free Grocery Bags. Mo Van is a Paratransit bus providing "Curb to Curb Service" for up to (12) passengers and (2) wheel chair tie downs. The "Mo Van" provides low cost intra-city (non-ADA) service and covers a 20 mile radius. The fare is \$1.00 for one way trips and \$2.50 for one way trips outside of the city limits but no-one is turned away due to their inability to donate. The "MoVan" is available to transport Monday through Friday from 8:00am to 5:00pm. Riders must make reservations 24 hours in advance. The funds requested are needed to pay for the services of the sub-contractor to operate the MoVan Transportation Program.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 13
Funding: CDBG

Applicant: GRID Alternatives
Program: City of Moreno Valley Low Income Solar Energy Assistance Program

Funding Type: Rehabilitation: Single Unit Residential
 City Priority: Housing and Neighborhood Improvement Activities
 Public Service Priority: n/a

FY18/19 Recommended Funding: \$50,000.00

Requested Funding Amount: \$50,000.00
 Total # Person/Unit Served: 10
 MV # Person/Unit Served: 30
 Funding per Person/Unit Served: \$1,666.67/household

Program Description:

GRID Alternatives will continue its partnership with the City of Moreno Valley by installing solar electric systems for 10 low-income residents of Moreno Valley. These installations will be facilitated using GRID's job trainees, providing up to 1,600 hours free, hands-on job training. These solar electric systems will produce about 1.2 million kWh (dc) of clean, renewable energy saving these homeowners a combined \$290,000 over the next 25 years. Additionally, these systems will prevent 600 tons of greenhouse gases, equal to taking 110 cars off the road for a year.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 14
Funding: CDBG

Applicant: Habitat for Humanity Riverside
Program: A Brush with Kindness

Funding Type: Rehabilitation: Single Unit Residential

City Priority: Housing and Neighborhood Improvement Activities
Public Service Priority: n/a

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$10,000.00
Total # Person/Unit Served: 10
MV # Person/Unit Served: 10
Funding per Person/Unit Served: \$1,000/household

Program Description:

A Brush with Kindness is a one-time exterior home preservation services that offers exterior painting, landscaping, and minor exterior repairs for homeowners in need. The minor repairs consist of skirting, trim, steps, entrance, and porch deck repairs to ensure safety and health compliance and improve accessibility. ABWK helps homeowners impacted by age, disability, and family circumstances who struggle to maintain the exterior of their homes, reclaim their homes with pride and dignity. The program will assist ten mobile homes in the low to moderate income range.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 15
Funding: CDBG

Applicant: Operation SafeHouse, Inc.
Program: Operation SafeHouse Emergency Shelter for Youth

Funding Type: Public Service (Services for Abused and Neglected Children)
City Priority: Public Service
Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$15,000.00
Total # Person/Unit Served: 50
MV # Person/Unit Served: 50
Funding per Person/Unit Served: \$300/person

Program Description:

Operation SafeHouse was established in 1988 to provide a safe, nurturing place where teenagers in crisis could receive help instead of taking to the unsafe streets. Since that time we have continued to grow and expand our services to meet the needs of our young people. Teens leave home for a variety of reasons. Sometimes there is drug or alcohol abuse by a family member, violence in the home or the youth is told to leave. Whether runaways or throwaways, these young people do not feel safe in their own homes. Life on the street turns out to be even more dangerous. Fortunately there are places like SafeHouse that are there to help. Our 21-day shelter programs located in Riverside and Thousand Palms provides core essentials needed for a child to find a path to safety. Of course our first thoughts go toward necessities-a home cooked meal, clean clothes and a warm bed. Once settled into the program we can concentrate on the unique individual we find before us. The entire program is designed with the youth in mind, from the way they are treated, to the activities we engage in, to a staff that is caring and supportive. Our counseling program helps the youth recognize and deal with the serious issues they are facing in today's world. Each counseling session is targeted to the individual youth and may include abuse, substance abuse, gender identity issues, teen pregnancy, anger management or abandonment.

CDBG funds from Moreno Valley will be used to supplement the salaries of two full-time Child Care Workers. The Child Care Workers will provide direct services such as 24-hour supervision, life skills classes, educational tutoring, meal preparation, 800 crisis line assistance, transportation to appointments or recreational activities, and intake and exit paperwork to a minimum of 50 City of Moreno Valley youth who enter our shelter. 95% of these Moreno Valley youth will exit into a safe and stable environment, such as home or with a suitable relative. At least 75% of these Moreno Valley youth who exited the shelter into stable living environments will continue to have permanent connections.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 16
Funding: CDBG

Applicant: Riverside Area Rape Crisis Center
Program: Child Abuse Prevention Program

Funding Type: Public Service (Services for Abused and Neglected Children)
City Priority: Public Service
Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$10,000.00
Total # Person/Unit Served: 5,440
MV # Person/Unit Served: 2,800
Funding per Person/Unit Served: \$3.57/person

Program Description:

The Child Abuse Prevention Program (CAP) is provided by the Riverside Area Rape Crisis Center (RARCC) which is a non-profit community organization that was founded in 1973. CAP is designed to provide primary prevention education for Moreno Valley schools, grades K-12, including Special Education and Bilingual classrooms. CAP emphasizes the involvement of children, parents, and teachers in classroom to classroom presentations, parent meetings, as well as weekly Club meetings. The program educates students, parents, and teachers on the facts of physical, verbal, sexual abuse and neglect. All presentations are age-appropriate and free of charge. These presentations will benefit low and moderate income families that live in the City of Moreno Valley.

This year the agency intends to enhance our existing Child Abuse Prevention Program with our weekly My Strength Clubs for young men and our weekly Be Strong Clubs for young women. We are also adding our Youth Leadership Development program to provide young adults the opportunity to lead their peers in stopping violence in their community. The My Strength Club targets the high school young men in a curriculum that engages them in looking at healthy masculinity, non-violence, healthy relationships and active bystander engagement. We are currently facilitating our My Strength Club at Valley View High School in Moreno Valley as well as other high and middle schools in Riverside and Corona. We have been facilitating these Clubs in Western Riverside County since 2005. The Be Strong Clubs target high school young women engaging in a curriculum that explores multiple units emphasizing confidence, self-worth, self-esteem, sisterhood and healthy relationships. We are currently at Valley View High School in Moreno Valley as well as high and middle schools in Riverside and Corona. We have facilitated the Be Strong Clubs in Western Riverside County since 2010.

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 17
Funding: CDBG

Applicant: Riverside County Coalition for Alternatives to Domestic Violence (ADV)
Program: Emergency/Transitional Shelter Services

Funding Type: Public Service (Other)
 City Priority: Public Service
 Public Service Priority: (1) Basic Needs (Homelessness Services)

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$20,000.00
 Total # Person/Unit Served: 12,000
 MV # Person/Unit Served: 350
 Funding per Person/Unit Served: \$57.14/person

Program Description:

ADV's domestic violence (DV) program provides county-wide/specific comprehensive services to victims who seek to achieve self-sufficiency in a violence –free environment for themselves and their children. The project involves providing a collection of psycho-educational, therapeutic classes and residential safety that will strengthen and enhance the victim's life, thus empowering them to transition from victim to survivor. This is usually accomplished by ensuring that the victims receive permanent housing assistance as a component of their case management when they are residents of ADV Residential Shelter.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 18
Funding: CDBG

Applicant: Riverside County Office on Aging
Program: Meals for Low and Moderate Income Elderly Clients

Funding Type: Public Service (Senior Services)
City Priority: Public Service
Public Service Priority: (1) Basic Needs (Case Management for Food Program)

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$30,000.00
Total # Person/Unit Served: 150
MV # Person/Unit Served: 150
Funding per Person/Unit Served: \$200/person

Program Description:

The Riverside County Office on Aging (RCOoA) is requesting \$30,000 for the “Meals for Low Income Elderly Clients”. If awarded, this funding will allow RCOoA to provide 4,800 meals annually (five days per week) to approximately 20 additional congregate and/or home delivery clients living in the City of Moreno Valley.

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City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 19
Funding: CDBG

Applicant: Silence Aloud, Inc.
Program: Peer to Peer Mentoring Program

Funding Type: Public Service (Services for Abused and Neglected Children)
 City Priority: Public Service
 Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$20,000.00
 Total # Person/Unit Served: 23
 MV # Person/Unit Served: 23
 Funding per Person/Unit Served: \$869.56/person

Program Description:

The organization's Search Light Center for Healing 24 hour residential treatment program provides services to young men ages 13-18 who are foster youth removed from their primary caregiver due to abuse, neglect, and/or extreme emotional disturbance and behavior problems. As a state licensed and certified Medi-Cal insurance provider clinic, the program provides intensive mental health services, independent living and rehabilitation skills, substance abuse treatment, behavior intervention, and recreational programs to residents. The Peer To Peer program employs young adult mentors (ages 18-21) who have successfully overcome prior social service and juvenile justice system involvement to serve as youth advocates and role models to program residents with the objective of assisting them in achieving therapeutic, educational and life goals. The program also creates economic opportunities for low income young adults through job creation and professional development training.

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 20
Funding: CDBG

Applicant: The Salvation Army
Program: Food Pantry Program

Funding Type: Public Services (Food Bank)
 City Priority: Public Service
 Public Service Priority: (1) Basic Needs (Food Program)

FY18/19 Recommended Funding: \$10,000.00

Requested Funding Amount: \$10,000.00
 Total # Person/Unit Served: 42,000
 MV # Person/Unit Served: 33,600
 Funding per Person/Unit Served: \$0.30/person

Program Description:

Through our social services we offer a food pantry to help individuals and their families in need. The pantry is open 12:00pm – 3:00pm Monday, Tuesday, Wednesday, and Friday. Clients can access the Pantry once every 30 days. The requesting funding will make it possible to offer hours to our pantry worker allowing him the necessary time to pick up donations and supervise volunteers who help sort through donations and make up our food bags and homeless lunches. We would love to hire a part time employee to help with the pick-ups, sorting and general management of the food pantry.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 21
Funding: CDBG

Applicant: The Salvation Army
Program: Neighborhood Clean-up

Funding Type: Interim Assistance
City Priority: Housing and Neighborhood Improvement Activities
Public Service Priority: n/a

FY18/19 Recommended Funding: \$30,000.00

Requested Funding Amount: \$30,000.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

The goal of this program is to provide clean up services throughout the city of Moreno Valley. The sites will be identified by Waste Management. We will provide transportation and supervision to the employees we hire to do the cleanup. We hope to provide at least 90 days of cleanup throughout the year. This will help to beautify the city.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 22
Funding: CDBG

Applicant: Voices for Children
Program: Court Appointed Special Advocate (CASA) Program

Funding Type: Public Service (Services for Abused and Neglected Children)
 City Priority: Public Service
 Public Service Priority: (5) Free/Low-Cost programs for School-Aged Youth

FY18/19 Recommended Funding: \$25,000.00

Requested Funding Amount: \$25,000.00
 Total # Person/Unit Served: 350
 MV # Person/Unit Served: 12
 Funding per Person/Unit Served: \$2,083/person

Program Description:

A \$25,000 Community Development Block Grant from the City of Moreno Valley would provide a volunteer Court Appointed Special Advocate (CASA) to 12 foster children in the City of Moreno Valley for a full year, representing approximately 1,500 hours of direct advocacy service. Seven fulltime professionals provide the critical staffing support for our CASA Program in Riverside County (one Vice President, one Recruitment and Training Coordinator, and five Advocacy Supervisors), and this CDBG grant would partially fund salaries for the staff members overseeing the cases of Moreno Valley foster children and directly supervising their CASAs.

City of Moreno Valley
 Fiscal Year 2018/19
 Community Development Block Grant (CDBG)
 Applicant Program Description

Application Number: 23
Funding: CDBG

Applicant: University Enterprises Corporation at CSUSB / Inland Empire SBDC
Program: Inland Empire Small Business Development

Funding Type: Economic Development
 City Priority: Economic Development Activities
 Public Service Priority: n/a

FY18/19 Recommended Funding: \$49,246.00

Requested Funding Amount: \$49,245.92
 Total # Person/Unit Served: 200
 MV # Person/Unit Served: 165
 Funding per Person/Unit Served: \$298.46/person

Program Description:

During the course of the fiscal year, the Inland Empire SBDC will provide 75 one-on-one confidential business counseling sessions with existing and start-up small businesses that will total about 240 hours, provide 10-11 workshops for 95-110 people, help 90 low-to-moderate income individuals via confidential, free one-on-one counseling services and group training. IESBDC will help start at least three new and viable businesses in the year and create 10-15 new jobs while helping existing businesses retain at least 15 jobs via help from IESBDC.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 24
Funding: CDBG

Applicant: City of Moreno Valley Community Development Department
Program: Neighborhood Code Enforcement / Rental Property

Funding Type: Code Enforcement
City Priority: Health, Safety and Public Welfare
Public Service Priority: n/a

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$346,100.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

Within the CDBG Target Areas, Code Compliance personnel will provide an enhanced level of service to help to eliminate substandard housing, blight, property deterioration, and to encourage revitalization of neighborhoods suffering from a proliferation of rental/foreclosed/vacant houses. Through the promotion of neighborhood participation and voluntary compliance, Officers and staff will work with property owners and residents, educating and encouraging them to get involved to help improve and preserve their neighborhoods. In addition, select staff will take a proactive approach to address health, safety and welfare issues, while working to safeguard and improve the stock of secure, sanitary and respectable rental housing. This service will be provided in an organized and efficient routine inspection manner and also give attention to unsafe and potentially dangerous conditions that can occur in rental housing.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 25
Funding: CDBG

Applicant: City of Moreno Valley Economic Development Department
Program: Moreno Valley Employment Resource Center

Funding Type: Public Service (Employment Training)
City Priority: Public Service
Public Service Priority: (4) Employment Services/Programs and Job (Skills) Training

FY18/19 Recommended Funding: \$66,000.00

Requested Funding Amount: \$75,000.00
Total # Person/Unit Served: 800
MV # Person/Unit Served: 592
Funding per Person/Unit Served: \$126.69/person

Program Description:

The ERC provides job seekers with access to resources that are necessary to search and acquire employment within the city and surrounding areas. On-site job seekers have access to knowledgeable and friendly staff who assist with services such as job searches, job applications, one-on-one mock interviews, resume assistance, and enrollment services which includes job training and career coaching. Resources also include 29 computers with internet access, Wi-Fi availability, a computer lab for training purposes, a conference room for workshops and group activities, two printer/copiers, job recruitment boards featuring area jobs, two fax machines, and staffing to assist both job seekers and employers with their individual needs.

Employers utilize the ERC for recruitment purposes with access to a large and local applicant pool, private offices to hold interviews, a conference room to conduct new employee orientations and trainings, and staff assistance as they have access to Riverside County Business Solutions representatives to assist them in all of their human resources and labor market information needs. Recent activities have included job recruitment fairs for some of the biggest employers in town such as Amazon, Deckers Outdoor, and Karma (Fisker) Automotive.

The \$75,000 requested CDBG Allocation will be used to fund a portion of the ERC's overall operating expenses.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 26
Funding: CDBG

Applicant: City of Moreno Valley Public Works Department
Program: Pavement Rehabilitation for Various Streets**

Funding Type: Public Facilities and Improvements
City Priority: Capital Improvements
Public Service Priority: n/a

FY18/19 Recommended Funding: \$722,349.40

Requested Funding Amount: \$1,200,000.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

This project will provide pavement rehabilitation for a total of approximately 63 local streets within the City’s HUD-CDBG Low/Mod Census Tract 2017 areas. The project also includes the reconstruction of approximately 22 access ramps within the pavement rehab limits to meet current ADA requirements. Pavement rehabilitation consists of the removal of 1.5 –inch thick of existing asphalt concrete pavement surface and replacement of new asphalt concrete surface of same thickness for street areas that are severely distressed. Rehabilitation also includes the crack sealing and application of slurry seal for areas of street pavement that are less distressed. The project is to improve the street pavement and extend the service life of the pavement while enhancing the safety and aesthetic appearance of various communities with in the HUD-CDBG Low/Mod Census Tract 2017 areas.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 27
Funding: CDBG

Applicant: City of Moreno Valley Public Works Department
Program: Heacock Street Pedestrian and Bicycle Facility Enhancements/ Gregory Lane to 680 Feet South**

Funding Type: Public Facilities and Improvements
City Priority: Capital Improvements
Public Service Priority: n/a

FY18/19 Recommended Funding: \$ 0.00

Requested Funding Amount: \$650,000.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

This project will provide Americans with Disabilities (ADA) compliant and safety –enhanced walking and bicycling facilities including pavement widening, sidewalk, curb, gutter, pedestrian ramp upgrades, relocation of existing roadside utilities and a striped bike lane on Heacock Street south of Gregory Lane. The surrounding areas are generally built out with residential homes and full street improvements with sidewalks. The missing facilities on the east side have created a gap on the walking path for pedestrians. Pedestrians have been walking on an uneven dirt shoulder which is subject to mudding after a rain event or inconveniently crossing to the west side. The proposed facilities will provide a safe continuous path encouraging pedestrians to walk or bike to local residences, senior living, businesses, medical centers, schools, parks, public transportation stops, and more, located within walking distance from the residences near this project. The proposed facilities are in direct response to concerns voiced by a local constituent who is in a wheelchair and having a difficult time passing through this location. Additionally, in the current condition, the street/pavement width is too narrow at the project location and there is not enough room for striped bike lane. This project will allow for the installation of a northbound bike lane on Heacock Street. There are existing Class 2 bike lanes on Heacock Street both north and south of the project location. This project will provide the missing link to connect the existing bicycle facilities, enhancing safety for cyclist and encourage ridership. The adjacent property owners support the project and have voluntarily dedicated the necessary right of way the City in 2016.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 28
Funding: CDBG

Applicant: City of Moreno Valley Purchasing and Facilities Department
Program: ADA Improvements at City Facilities**

Funding Type: Public Facilities and Improvements
City Priority: Capital Improvements
Public Service Priority: n/a

FY18/19 Recommended Funding: \$400,000.00

Requested Funding Amount: \$1,362,736.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

The Moreno Valley Main Public Library was among the facilities in which ADA improvement needs were identified. The City's accessibility consultant, Disability Access Consultants, identified 236 non-compliant issues (approximately \$370,000) at the Library. If approved, Improvements at the Main Library will include parking lot upgrades to the curb ramps (slopes and warning strips), passenger loading zones (warning strips, access aisle), parking stalls (slopes, signing and striping), path of travel (sidewalks, patios and warning strips), stairs (Installation of stairway and compliant handrail, treads, etc.) and ramps to the entrance of the building (length and width modifications & handrails), improvements of restrooms which are in need of upgrades to the height and distance of the sinks, toilets, counters, partitions, etc, and installation of accessible lockers.

In addition to the Library, there were a total of 156 issues (\$133,146 in estimated construction cost) identified as requiring correction at the Moreno Valley Animal Shelter. Among the issues identified, adjustment of reach ranges, re-striping of accessible parking spaces, adjustment of slopes, and width of parking spaces, correction of curb ramp slopes, installation of ADA accessible path of travel, installation of compliant sinks, lockers and showers, etc. were included.

There are a total of 629 (\$729,251 in estimated construction cost) of items requiring correction at the four recreational facilities, including Cottonwood Golf Center, March Field Park Community Center, Moreno Valley Conference and Recreation Center, and the Towngate Community Center. Additionally, there have been 225 items (approximately \$270,339 in estimated construction cost) identified to require correction at City Hall. The items requiring correction include adjustment of reach ranges and door pressures, access ramp slopes and handrails correction, path of travel installation, correction to curb ramp slopes and landings, correction to restroom fixtures, including toilets, dispensers, grab bars, and parking lot striping, slope, height and width adjustments, etc.

City of Moreno Valley
Fiscal Year 2018/19
Community Development Block Grant (CDBG)
Applicant Program Description

Application Number: 29
Funding: CDBG

Applicant: Moreno Valley Police Department
Program: Community Betterment Through CDBG Funding and POP Based Policing and Holiday Cheer

Funding Type: Public Service (Crime Awareness/Prevention)
City Priority: Public Service
Public Service Priority: (2) Community Public Safety Programs

FY18/19 Recommended Funding: \$58,012.00

Requested Funding Amount: \$105,000.00
Total # Person/Unit Served: n/a
MV # Person/Unit Served: n/a
Funding per Person/Unit Served: n/a

Program Description:

Sworn personnel from the MVPD personnel work overtime hours to the CDBG target areas to enhance the Community Oriented Policing philosophy. The overall purpose of the project is to reduce crime within the areas, remove blighted conditions, and improve quality of life for the community. The officers will acquaint themselves with the apartment managers and residents and will work closely with residents to forge relationships and reduce crime.

Operation Holiday Cheer:

The Police Department is also requesting CDBG grant funds for our holiday events such as "Operation Holiday Cheer." This outreach program is intended to brighten the lives of children and adults in our CDBG community during the holiday season as well as foster good will between the community and Moreno Valley Police Department.

Attachment: FY18-19 CDBG, ESG and HOME Funding Recommendations [Revision 1] (3040 : PUBLIC HEARING TO ADOPT THE

Eligible CDBG Activities

- ❖ Acquisition, design, construction, rehabilitation, or installation of certain publicly owned facilities such as:
 - Parks, playgrounds and recreational facilities.
 - Senior centers, except 24-hour care facilities.
 - Neighborhood facilities.
 - Fire protection facilities and equipment.
 - Parking facilities.
 - Street improvements.
 - Flood, drainage, or sewer facilities.
 - Other improvements vital to a community's development.
- ❖ Acquisition of property that is: of historic value; appropriate for beautification or conservation of open spaces; appropriate for low or moderate income housing.
- ❖ Clearance and demolition of buildings and land which may be a health hazard to the community. Interim assistance or temporary help to alleviate harmful or dangerous conditions.
- ❖ Removal of architectural barriers which restrict the mobility of handicapped persons.
- ❖ Rehabilitation and preservation of buildings and improvements, both publicly and privately owned.
- ❖ Code enforcement in designated target areas.
- ❖ Historic preservation activities.
- ❖ Eligible economic development activities.
- ❖ Eligible planning and environmental design costs.
- ❖ Public services including, but not limited to: fair housing activities, public safety services, homeless services, senior citizen services, educational programs, youth services, drug abuse counseling & treatment and recreation programs.

Ineligible CDBG Activities

- ❖ Buildings for the general conduct of government, such as city halls, courthouses, and police stations.
- ❖ Stadiums, sports arenas, auditoriums, museums and central libraries (Note: branch libraries may be built in CDBG Target Areas).
- ❖ Purchase of equipment such as construction equipment, fire protection equipment, furnishings, and personal property.
- ❖ Schools
- ❖ Airports, subways, bus or other stations.
- ❖ Hospitals, nursing homes, and other medical facilities.
- ❖ Treatment works for liquid industrial wastes or sewage.
- ❖ Expenses of general government for operation and maintenance of public facilities.
- ❖ Political activities.
- ❖ Direct income payments to residents.

Eligible HOME Activities

- ❖ Loans and grants provided by Participating Jurisdictions (the City of Moreno Valley is a Participating Jurisdiction) to develop and support affordable rental housing and homeownership affordability through acquisition, new construction, reconstruction, or rehabilitation of non-luxury housing (including manufactured housing).
- ❖ Operating expenses and capacity building costs for eligible Community Housing Development Organizations (CHDO).
- ❖ Eligible administrative and planning costs.

Ineligible HOME Activities

- ❖ Project reserve accounts or operating subsidies.
- ❖ Tenant-based rental assistance for the special purposes of the Section 8 program.
- ❖ To provide non-federal matching contributions.
- ❖ To provide assistance to annual contributions for the operation of public housing.
- ❖ Modernization of public housing.
- ❖ Prepayment of low-income housing mortgages.
- ❖ Assistance to a project previously assisted with HOME funds during the period of affordability.

Eligible ESG Activities

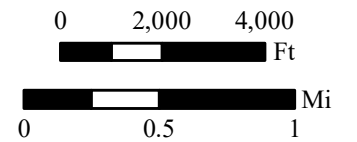
- ❖ Homelessness prevention,
- ❖ Street outreach,
- ❖ Emergency shelter,
- ❖ Rapid re-housing assistance, and
- ❖ Homeless Management Information System (HMIS)
- ❖ Administrative activities

Ineligible ESG Activities

- ❖ Activities not authorized under Code of Federal Regulations, 24 CFR Section 576.21.
- ❖ Projects inconsistent with environmental standards as established by HUD.
- ❖ Improvements to sanctuaries, chapels, or other rooms that faith based organization use as its principal place of worship and/or for inherently religious activities.

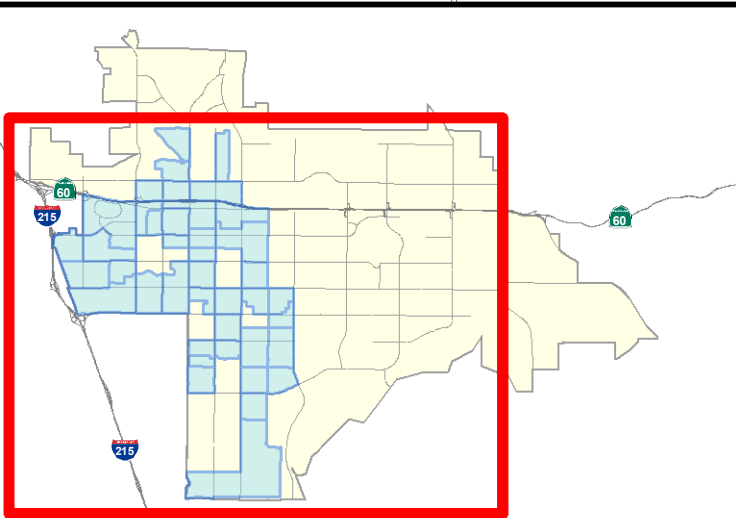
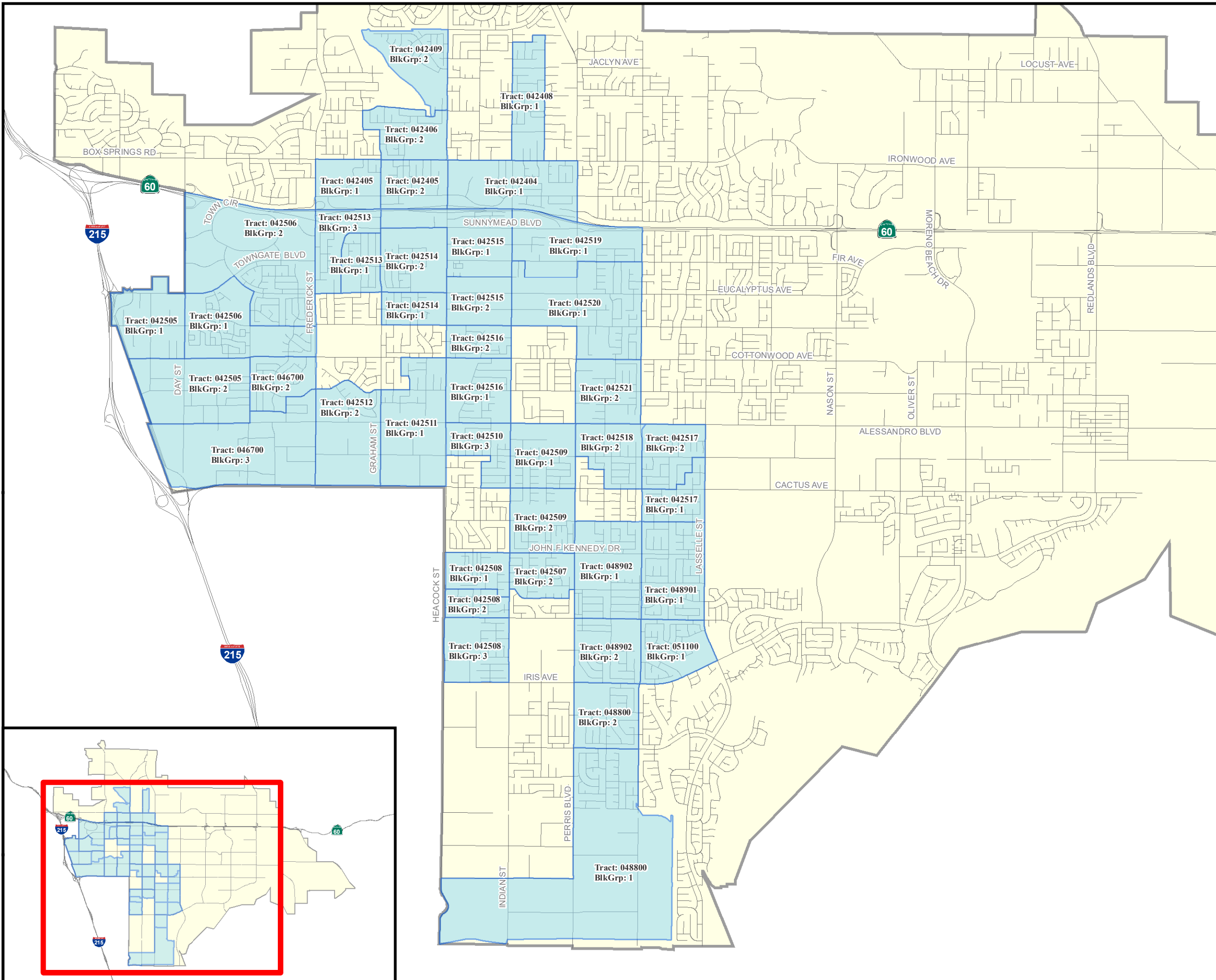
CITY OF MORENO VALLEY HUD-CDBG LOW/MOD CENSUS TRACTS 2017

 Low/Mod Census Tracts and Blocks



Map Produced by Moreno Valley Geographic Information System
Geographic Information in:
State Plane NAD 83 California Zone 6 Feet
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CDBG_approvedtargetareas_2017_110917B.mxd
Effective: 17 November 2017

The information shown on this map was compiled from the Riverside County GIS and the City of Moreno Valley GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claim losses or damages resulting from the use of this map.





Report to City Council

TO: Mayor and City Council

FROM: Michael L. Wolfe, P.E., Public Works Director/City Engineer

AGENDA DATE: May 1, 2018

TITLE: PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MAIL BALLOT PROCEEDINGS

RECOMMENDED ACTION

Recommendations: That the City Council:

1. Conduct the Public Hearing and accept public testimony for the mail ballot proceedings for the National Pollutant Discharge Elimination System (NPDES) maximum commercial/industrial regulatory rate to be applied to five property tax bill(s) and the maximum regulatory rate for residential development to be applied to four property tax bill(s).
2. Direct the City Clerk to open and count the returned NPDES ballots.
3. Verify and accept the results of the mail ballot proceedings as maintained by the City Clerk on the Official Tally Sheet.
4. Receive and file the Official Tally Sheet with the City Clerk's office.
5. If approved, set the rate and impose the applicable NPDES rates to the Assessor's Parcel Numbers as mentioned.

SUMMARY

The action before the City Council is to conduct a Public Hearing for four National Pollutant Discharge Elimination System (NPDES) mail ballot proceedings. The process to accept nine parcels into the City's NPDES funding program impacts four property owners, not the general citizens or taxpayers of the City.

The City requires property owners of development projects to mitigate the cost of certain impacts created by the proposed development, such as the cost of complying with the state and federal NPDES requirements. The City offers the NPDES funding program to assist property owners in satisfying the requirement. After a property owner approves the City's NPDES rate through a mail ballot proceeding, the City can levy the rate on the annual property tax bill of the authorized parcel(s). Attachment 1 outlines the steps to satisfy the NPDES funding requirement.

The four property owners participating in tonight's Public Hearing are Continental East Fund III, Cactus Commerce, Alisam Moreno, LLC, and Metric Homes, LLC. Continental East Fund III is approved to construct a 125-unit apartment project on the southeast corner of Lasselle St. and Cahuilla Dr. Cactus Commerce is approved to construct a commercial center and 36,950 square foot warehouse building at the northeast corner of Cactus Ave. and Commerce Center Dr. Alisam Moreno, LLC is approved to construct a 5,430 square foot carwash on the north side of Sunnymead Blvd., west of Heacock St. Metric Homes, LLC has received approval for Tentative Tract Map 31621, a 12-lot subdivision located east of Hubbard St. at the end of Tranquil Way.

Each property owner has requested to participate in the City's NPDES funding program. If a property owner approves the mail ballot and the City Council accepts the results, the condition of approval will be satisfied for their respective project.

The revenue generated by this program provides funding to monitor pollution control of storm water runoff into municipally owned drainage facilities, lessening the financial impact of compliance with the state and federal requirements on the general taxpayer in Moreno Valley.

DISCUSSION

The Clean Water Act of 1987 established requirements for the discharge of Urban Runoff from Municipal Separate Storm Sewer Systems under the NPDES program. The Santa Ana Regional Water Quality Control Board administers the NPDES program through the issuance of a Permit. The NPDES program requires public agencies to obtain coverage under the Permit to discharge urban storm water runoff from municipally owned drainage facilities, including streets, highways, storm drains, and flood control channels. The City's current NPDES Permit requires all new development projects comply with storm water management requirements.

As a condition of approval for development projects, the Land Development Division (Public Works Department) requires property owners to provide a funding source to support activities for the NPDES program requirements. The City Council adopted the NPDES residential regulatory rate on June 10, 2003, and the NPDES commercial/industrial regulatory rate on January 10, 2006. Revenue received from the rate supports the increased compliance activities related to the development. It also reduces the financial impact to the General Fund to maintain compliance with the unfunded requirements of the Permit.

With revenue received from the NPDES commercial/industrial regulatory rate, the City annually inspects site design, source and treatment control Best Management Practices, monitors maintenance records for those on-site facilities that require periodic monitoring, and performs annual inspections of the affected areas to ensure compliance with federally mandated NPDES Permit requirements, as administered by the State. The City monitors residential developments by providing the necessary services for the continuous operation, enhancement, and maintenance of the storm water discharge system, and performs inspections of the affected areas to ensure compliance with federally mandated NPDES Permit requirements with revenue received from the NPDES residential rate.

The property owners for the projects described below are required to provide a funding source for the NPDES program as a condition of approval of their respective projects.

Property Owner/Project	Assessor's Parcel Number(s)	Location	FY 2017/18 NPDES Maximum Rate(s)
Continental East Fund III PEN17-0159/SBP17-0015 125-unit apartment project	308-040-052	Southeast corner of Lasselle St. and Cahuilla Dr.	\$236.86/parcel commercial/industrial
Cactus Commerce PEN16-0131/SBP17-0014 Warehouse and Commercial Center	297-130-052, 297-130-053, and 297-130-054	Northeast corner of Cactus Ave. and Commerce Center Dr.	\$236.86/parcel commercial/industrial
Alisam Moreno, LLC PEN16-0113/SBP18-0005 5,430 square foot carwash	292-160-023	North side of Sunnymead Blvd., west of Heacock St.	\$236.86/parcel commercial/industrial
Metric Homes, LLC PEN17-0014/SBP18-0001 Tentative Tract Map 31621 12-lot subdivision	475-220-060, 475-220-061, 475-220-062, and 475-220-063	East of Hubbard St. at the end of Tranquil Way	\$314.53/parcel residential

Property owners have two (2) options to satisfy the condition of approval:

- 1) Approve the NPDES rate and authorize the City to collect the rate on the annual Riverside County property tax bill through participation in a mail ballot proceeding; or
- 2) Fund an endowment.

Each property owner has decided to have the NPDES rate applied to the annual property tax bill. Before the City can levy the NPDES rate on the property tax bill, each property owner must first approve it and authorize the City to levy it on the annual property tax bill through a mail ballot proceeding. A mail ballot proceeding is a legally required process to approve new charges, or an increase to existing charges, on property tax bills (Proposition 218). Each property owner was mailed a notice and a ballot to cast their vote (Attachment 2-5) for their property. The notice provides the purpose and amount of the charge and the potential annual inflationary adjustment. The

City is required to provide the property owner with 45 days to review the notice and an opportunity to address the City Council. The property owner will have an opportunity to address the City Council during the public comment portion of the Public Hearing. The ballots are due to the City Clerk prior to the close of the Public Hearing. At the close of the Public Hearing, the ballots can be opened and counted, and results announced.

The condition of approval to provide a funding source for their NPDES program will be satisfied with each property owner's approval of the NPDES mail ballot and City Council acceptance of the results. In the event a property owner does not return their ballot, does not approve the ballot, or returns an invalid ballot (unmarked or unsigned), this condition of approval will remain unsatisfied and may delay development of their project. The ballot for each mail ballot proceeding will be counted separately to determine if the property owner approved inclusion of their respective properties in the NPDES program.

This action meets the Strategic Plan Priorities by managing and maximizing Moreno Valley's public infrastructure to ensure an excellent quality of life, develop and implement innovative, cost effective infrastructure maintenance programs, public facilities management strategies, and capital improvement programming and project delivery.

ALTERNATIVES

1. Conduct the Public Hearing and upon its close, open, count, and verify the returned ballots and accept the results. *Staff recommends this alternative as it will satisfy each project's condition of approval if the property owner approves their respective ballot.*
2. Open the Public Hearing and continue it to a future regular City Council meeting. *Staff does not recommend this alternative as it will delay announcement of the ballot results and may delay project development.*
3. Do not conduct the Public Hearing. *Staff does not recommend this alternative as it will delay the condition of approval from being satisfied and may delay project development. Additional costs will be incurred to restart the 45-day noticing period.*
4. Do not conduct the Public Hearing at this time but reschedule it to a date certain during a regular City Council meeting. *Staff does not recommend this alternative as it may delay project development and will incur additional costs to restart the 45-day noticing period.*

FISCAL IMPACT

The fiscal year (FY) 2017/18 NPDES maximum regulatory rate is \$236.86 per parcel, and any division thereof, for commercial/industrial properties and \$314.53 per parcel, and any division thereof, for residential properties. The NPDES maximum regulatory rate for FY 2018/19 and each subsequent FY is subject to an annual inflationary adjustment, provided the City Council approves such increase each year. The annual increase cannot exceed the annual inflationary adjustment without approval of the property owners subject to the charge.

Revenue received from the NPDES rate is restricted and can only be used within the storm water management program. This revenue offsets storm water management program expenses, which reduces financial impacts to the General Fund and maintains compliance with the unfunded requirements of the Permit. The NPDES rate is only applied to the property tax bills of parcels wherein their property owners have previously provided approval.

NOTIFICATION

The ballot documents were mailed to each property owner at least 45-days in advance of the Public Hearing. The documents included a notice, map of the project area, NPDES commercial/industrial or residential rate schedule, NPDES ballot, instructions for marking and returning the ballot, and a postage paid return envelope addressed to the City Clerk.

Newspaper advertising for tonight's Public Hearing was published in The Press-Enterprise on April 13 and 19, 2018.

PREPARATION OF STAFF REPORT

Prepared by:
Isa Rojas
Management Analyst

Department Head Approval:
Michael L. Wolfe, P.E.
Public Works Director/City Engineer

Concurred by:
Candace E. Cassel
Special Districts Division Manager

Concurred by:
Michael Lloyd, P.E.
Engineering Division Manager/Assistant City Engineer

CITY COUNCIL GOALS

Advocacy. Develop cooperative intergovernmental relationships and be a forceful advocate of City policies, objectives, and goals to appropriate external governments, agencies and corporations.

Revenue Diversification and Preservation. Develop a variety of City revenue sources and policies to create a stable revenue base and fiscal policies to support essential City services, regardless of economic climate.

CITY COUNCIL STRATEGIC PRIORITIES

1. Economic Development
2. Public Safety
3. Library
4. Infrastructure
5. Beautification, Community Engagement, and Quality of Life
6. Youth Programs

See the Discussion section above for details of how this action supports the City Council's Strategic Priorities.

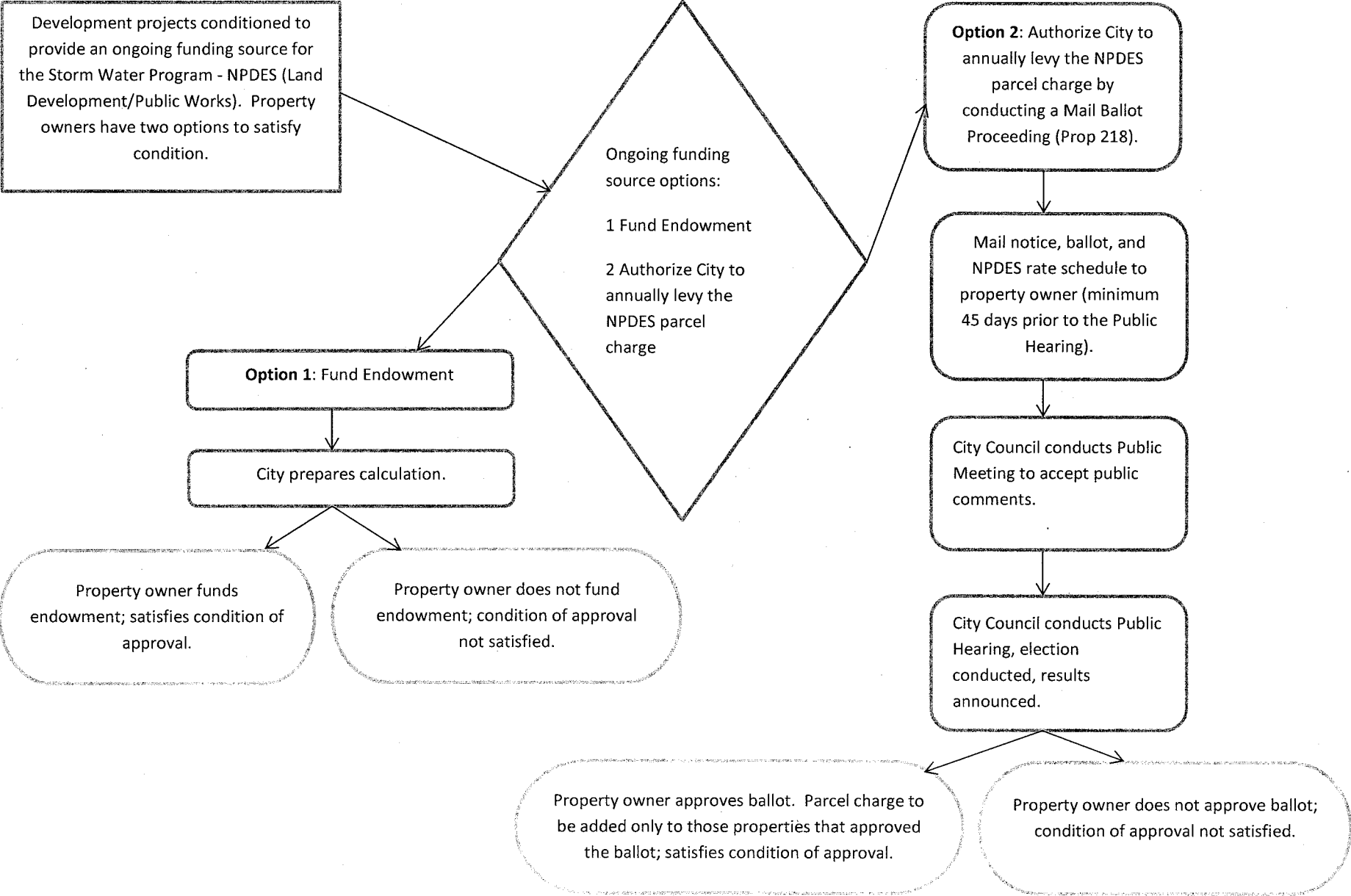
ATTACHMENTS

- 1. Flowchart
- 2. Ballot Documents for Continental East Fund III
- 3. Ballot Documents for Cactus Commerce
- 4. Ballot Documents for Alisam Moreno, LLC
- 5. Ballot Documents for Metric Homes, LLC

APPROVALS

Budget Officer Approval	<u>✓ Approved</u>	4/25/18 5:26 PM
City Attorney Approval	<u>✓ Approved</u>	4/25/18 4:56 PM
City Manager Approval	<u>✓ Approved</u>	4/25/18 5:51 PM

Process Flow for Property Owners/Developers to Satisfy Funding Requirement for the Storm Water Program



This process flow is simplified for illustration purposes. Contact the Special Districts Division at 951.413.3480 for the detailed process.

November 12, 2014

Attachment: Flowchart (3019) : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE

TEL: 951.413.3480
 FAX: 951.413.3498
 WWW.MOVAL.ORG



14331 FREDERICK STREET, SUITE 2
 P. O. BOX 88005
 MORENO VALLEY, CA 92552-0805

March 15, 2018

Continental East Fund III
 c/o Truong Pham or Andrew Spousta
 25467 Medical Center Dr. Suite 201
 Murrieta, CA 92562

NOTICE TO PROPERTY OWNER - MAIL BALLOT PROCEEDING FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MAXIMUM COMMERCIAL/INDUSTRIAL REGULATORY RATE FOR APN 308-040-052

******* OFFICIAL BALLOT ENCLOSED *******

Introduction

In November of 1996, California voters passed Proposition 218 (“The Right to Vote on Taxes Act”). As a result, any new or proposed increase in a property-related charge requires approval by the property owner of record. In compliance with Proposition 218 legislation, the City of Moreno Valley Special Districts Division is conducting a mail ballot proceeding to provide the owner of Assessor’s Parcel Number (APN) 308-040-052 the opportunity to express support for or opposition to the approval of the NPDES Maximum Commercial/Industrial Regulatory Rate and services. Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding fulfills Land Development Division’s Condition of Approval to provide a funding source for the NPDES financial program.

Background

The Clean Water Act of 1987 established requirements for the discharge of Urban Runoff from Municipal Separate Storm Sewer Systems under the National Pollution Discharge Elimination System (NPDES) Program. The NPDES Program is administered by the Santa Ana Regional Water Quality Control Board through the issuance of a Permit. The City’s current NPDES Permit mandates all new development projects comply with storm water management activities. The NPDES Program requires public agencies to obtain coverage under the Permit to discharge urban storm water runoff from municipally owned drainage facilities, including streets, highways, storm drains, and flood control channels.

Services Provided

In compliance with the Federal Clean Water Act, the City of Moreno Valley shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

How is the Amount of the Charge Determined?

Each fiscal year (FY), the City of Moreno Valley determines the type of services necessary to comply with NPDES Permit requirements and levies the rate applicable for that service, not to exceed the rate previously approved by the property owner.

Proposed Charge

For FY 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. The total amount of the NPDES rates levied for FY 2017/18 for the program as a whole was \$474,654.22.

Annual Adjustment

Beginning in FY 2018/19, the NPDES Maximum Commercial/Industrial Regulatory Rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor’s Bureau of Labor Statistics.

Duration of the Charge

Upon approval of the NPDES Maximum Commercial/Industrial Regulatory Rate, the annual levy amount will be assessed to APN 308-040-052 (and any division thereof) and shall be placed on the Riverside County property tax bill or included as a monthly charge on a utility bill. The NPDES Maximum Commercial/Industrial Regulatory Rate will be levied each following year at the proposed rate, which includes an annual inflation adjustment.

Public Hearing

To provide information concerning this mail ballot proceeding the City has scheduled a Public Hearing, which will be held at the **Moreno Valley City Hall Council Chamber located at 14177 Frederick Street, Moreno Valley.**

<p style="text-align: center;"><u>Public Hearing</u> Tuesday, May 1, 2018 6:00 P.M. (Or As Soon Thereafter As The Matter May Be Called)</p>
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Tabulation of the returned ballot will commence after the close of the public testimony portion of the Public Hearing. Any ballot received shall be tabulated under the direction of the City Clerk in compliance with the City’s Policy for Conducting Mail Ballot Proceedings Policy #1.12.

Effect if the Charge is Approved

Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate will be confirmed if the ballot is marked in favor of the NPDES rate. Approving the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding will fulfill the Land Development Division’s Condition of Approval to provide an ongoing funding source for the NPDES financial program.

Effect if the Charge is Not Approved

Not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to meet state and federally mandated NPDES Permit requirements will not satisfy the Land Development Division’s Condition of Approval to provide a funding source for the NPDES financial program. If the returned ballot is marked “No”, the NPDES rate will not be levied on the property tax bill.

Attachment: Ballot Documents for Continental East Fund III (3019 : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE

Effect if the Ballot is Deemed Invalid or Incomplete

Not marking the corresponding box on the ballot in support of or opposition to the proposed program and annual rate and/or not signing the ballot will result in an invalid ballot. In order to satisfy the Land Development Division's Condition of Approval by placement of the NPDES rate on the annual property tax bill, the mail ballot proceeding and 45-day noticing period will need to start over. Reinitiating the process will require payment of the mail ballot proceeding fee.

For More Information

If you have any questions about the mail ballot proceeding process, please contact Isa Rojas, Management Analyst, with the City's Special Districts Division at 951.413.3491 or via email at IsaRo@moval.org during the City's business hours.

Questions regarding the NPDES financial program, the annual rate, or the Land Development Division's Conditions of Approval should be directed to the Land Development Division at 951.413.3120 or via email at landdevelopment@moval.org during the City's business hours.

The City's business hours are Monday through Thursday from 7:30 a.m. to 5:30 p.m. and Friday from 7:30 a.m. to 4:30 p.m.

Completing Your Ballot

Please follow the instructions below to complete and return your ballot. Procedures for the completion, return, and tabulation of the ballot are also on file in the City Clerk's office.





1. Mark the enclosed ballot in support of or opposition to the proposed program and annual rate **by placing a mark in the corresponding box.** Ballots received without a designated vote will be considered invalid.
2. Sign your name on the ballot. Ballots received without signature(s) will be considered invalid *and will not be counted.*
3. Mail or personally deliver your completed ballot in a sealed envelope to the City Clerk's office, 14177 Frederick Street, Moreno Valley, California, 92553. For your convenience, a postage-paid envelope has been included for return of the ballot.
4. Ballot(s) must be **received** by the City Clerk prior to the close of the public testimony portion of the Public Hearing scheduled for **Tuesday, May 1, 2018**, at the Moreno Valley City Hall Council Chamber. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called. Ballots received after the close of the Public Hearing cannot be legally counted.

Ballot Marks

Appropriate ballot markings include any one of the following for either the YES/Approved or NO/Not Approved blank box:

- A check mark substantially inside a box;
- An X mark substantially inside a box;
- A dot or oval mark substantially inside a box;

Attachment: Ballot Documents for Continental East Fund III (3019) : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE

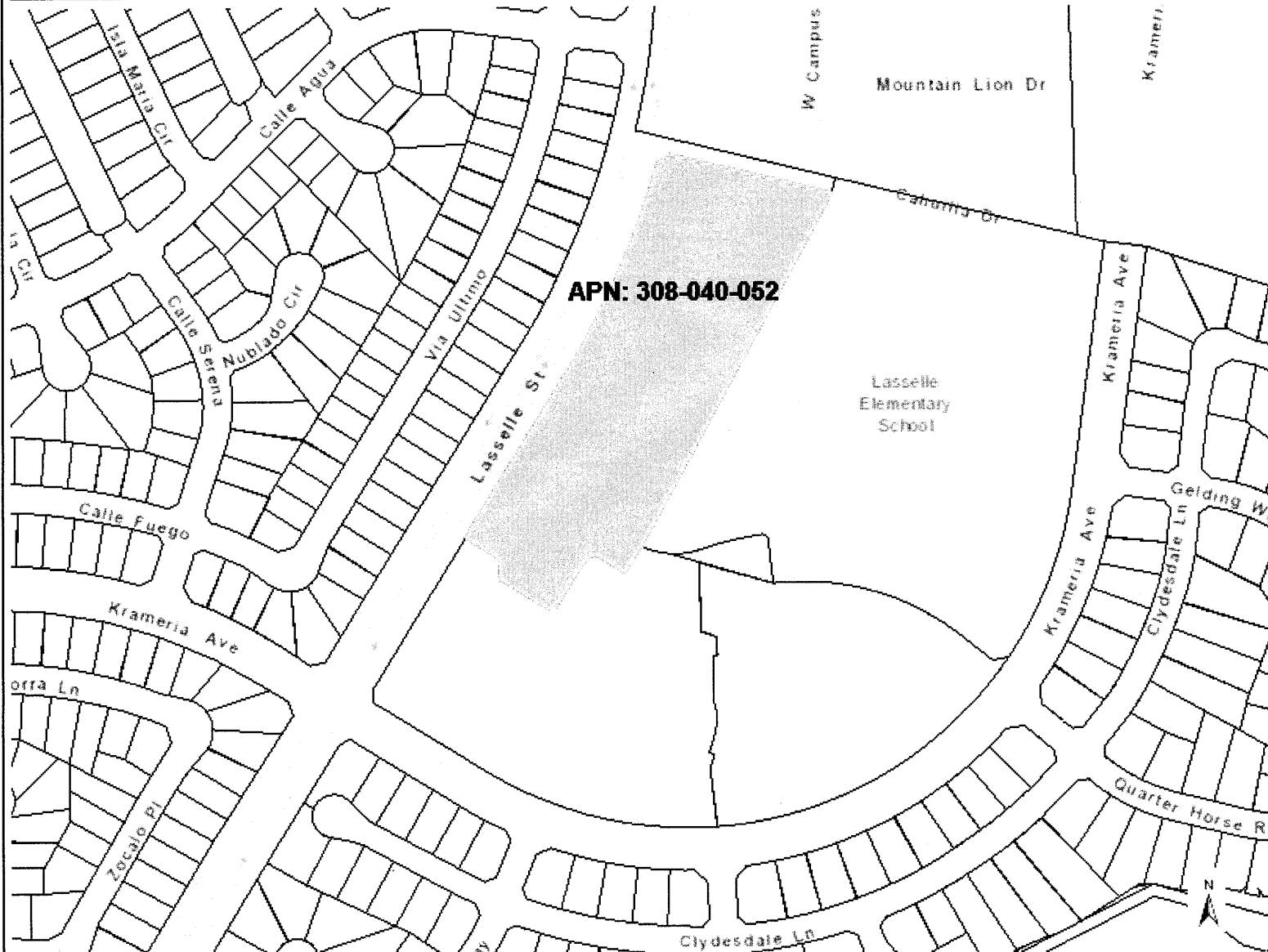
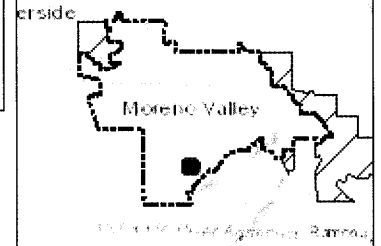
-  A completely shaded or filled mark substantially inside a box;
-  A line, single or dashed, or combination of lines, through the box area. Lines may be any one of the following marks: horizontal, vertical, or diagonal. The mark may either run from side to side or corner to corner. All valid lines must be substantially within the box area and not marking any part of another blank box on the ballot;
-  A circle around the box and/or associated clause; or
-  A square or rectangle around the box and/or associated clause.

Balloting marks shall not extend past one box area into any portion of another nor surround the perimeter or any portion of more than one box area. Markings that extend past one box area into any portion of another or surround the perimeter or any portion of more than one box area shall be considered invalid and not counted.

Ballot Mark Revisions (Changes): An error or desire to revise (change) a selection made on the ballot may be completed and returned any time prior to the conclusion of public testimony at the Public Hearing. **The revision must be initialed by the record owner(s) of property. Initials must be clearly printed and placed at the right top corner of the revised selection.**

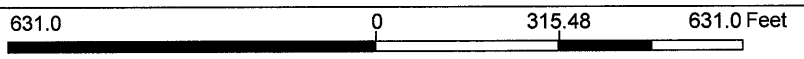


Continental Multi-family Apartments PEN17-0159



- Legend**
- Parcels
 - City Boundary

Notes



WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 3/8/2018

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Attachment: Ballot Documents for Continental East Fund III (3019) : PUBLIC HEARING FOR FOUR

COMMON INTEREST, COMMERCIAL, INDUSTRIAL AND QUASI-PUBLIC USE NPDES RATE SCHEDULE
 Adopted by the City Council on January 10, 2006

LEVEL 1			LEVEL II		
NPDES Administration			Site Design, Source Control and Treatment Control BMPs Monitoring and Maintenance		
<i>(Not covered by CSA 152)</i>					
<p>Costs associated with personnel, administration and management of the storm water management program. Administrative tasks include development and filing of various stormwater reports and data collection and management.</p> <p>Level I is levied on all parcels conditioned for the NPDES Rate Schedule.</p>			<p>Costs associated with stormwater and non-stormwater runoff monitoring, inspection of the project's site design, source control and treatment control BMPs; evaluation of site stormwater compliance activities, review of site-specific technical reports and treatment control BMP maintenance records.</p>		
<p>Fiscal Year (FY) 2005/2006 - Base Year Calculation, subject to an annual inflation factor based on the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers, as published by the Department of Labor's Bureau of Labor Statistics</p>					
PARCEL RATE	Per Month	Per Year	PARCEL RATE	Per Month	Per Year
	\$3.45	\$41.42		\$16.29	\$195.44

Inflation Factor Adjustments

- FY 2006/2007 - 4.5% = (\$33.00 & \$158.00)
- FY 2007/2008 - 3.1% = (\$34.00 & \$163.00)
- FY 2008/2009 - 4.2% = (\$35.00 & \$170.00)
- FY 2009/2010 - no change = (\$35.00 & \$170.00)
- FY 2010/2011 - no change = (\$35.00 & \$170.00)
- FY 2011/2012 - 3.8% = (\$36.00 & \$176.00)
- FY 2012/2013 - 2.7% = (\$37.00 & \$181.00)
- FY 2013/2014 - 2.0% = (\$38.00 & \$185.00) rounded to the nearest dollar
- FY 2014/2015 - 1.14% = (\$39.52 & \$186.49) Pursuant to City Council approval on June 10, 2014.
- FY 2015/2016 - 0.73% = (\$39.81 & \$187.85)
- FY 2016/2017 - 2.03% = (\$40.62 & \$191.66)
- FY 2017/2018 - 1.97% = (\$41.42 & \$195.44)

Attachment: Ballot Documents for Continental East Fund III (3019) : PUBLIC HEARING FOR FOUR

OFFICIAL MAIL BALLOT
for Assessor's Parcel Number (APN) 308-040-052
National Pollutant Discharge Elimination System (NPDES)
Maximum Commercial/Industrial Regulatory Rate

YES* — as property owner of APN 308-040-052 **I approve** the NPDES Maximum Commercial/Industrial Regulatory Rate and services. For fiscal year (FY) 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. Upon approval of the maximum regulatory rate, the annual levy amount shall be placed on the annual Riverside County property tax bill or included as a monthly charge on a utility bill. Beginning FY 2018/19, the maximum regulatory rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor's Bureau of Labor Statistics. The City shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

NO** — as property owner of APN 308-040-052 **I do not approve** the NPDES Maximum Commercial/Industrial Regulatory Rate and services. I understand that not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to fund state and federally mandated NPDES Permit requirements will not satisfy the project's Conditions of Approval. The NPDES maximum commercial/industrial regulatory rate will not be levied on the annual Riverside County property tax bill.

YES*	NO**	Weighted Ballot Count*	Fiscal Year 2017/18 NPDES Maximum Commercial/Industrial Regulatory Rate per Parcel
<input type="checkbox"/>	<input type="checkbox"/>	1	\$236.86

*Each Assessor's Parcel Number equals 1 Weighted Ballot.

This ballot must be received by the City Clerk of the City of Moreno Valley prior to the close of the public testimony portion of the Public Hearing to be held on May 1, 2018, at the Moreno Valley City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, California. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called.

PROPERTY OWNER SIGNATURE DATE

Please remember to mark the appropriate box, sign and date the ballot, and return to the City Clerk's office in the enclosed envelope prior to the close of the public testimony portion of the May 1, 2018 Public Hearing.

Ballot(s) deemed invalid or incomplete will be discarded and a new process must be initiated in order to place the charge on the annual Riverside County property tax bill, which includes payment of the mail ballot fee.

TEL: 951.413.3480
 FAX: 951.413.3498
 WWW.MOVAL.ORG



14331 FREDERICK STREET, SUITE 2
 P. O. BOX 88005
 MORENO VALLEY, CA 92552-0805

March 15, 2018

Cactus Commerce
 c/o Hagop Kofdarali
 139 Radio Rd.
 Corona, CA 92879

NOTICE TO PROPERTY OWNER - MAIL BALLOT PROCEEDING FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MAXIMUM COMMERCIAL/INDUSTRIAL REGULATORY RATE FOR APNs 297-130-052, 297-130-053, AND 297-130-054

***** OFFICIAL BALLOT ENCLOSED *****

Introduction

In November of 1996, California voters passed Proposition 218 (“The Right to Vote on Taxes Act”). As a result, any new or proposed increase in a property-related charge requires approval by the property owner of record. In compliance with Proposition 218 legislation, the City of Moreno Valley Special Districts Division is conducting a mail ballot proceeding to provide the owner of Assessor’s Parcel Numbers (APNs) 297-130-052, 297-130-053, and 297-130-054, the opportunity to express support for or opposition to the approval of the NPDES Maximum Commercial/Industrial Regulatory Rate and services. Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding fulfills Land Development Division’s Condition of Approval to provide a funding source for the NPDES financial program.

Background

The Clean Water Act of 1987 established requirements for the discharge of Urban Runoff from Municipal Separate Storm Sewer Systems under the National Pollution Discharge Elimination System (NPDES) Program. The NPDES Program is administered by the Santa Ana Regional Water Quality Control Board through the issuance of a Permit. The City’s current NPDES Permit mandates all new development projects comply with storm water management activities. The NPDES Program requires public agencies to obtain coverage under the Permit to discharge urban storm water runoff from municipally owned drainage facilities, including streets, highways, storm drains, and flood control channels.

Services Provided

In compliance with the Federal Clean Water Act, the City of Moreno Valley shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

How is the Amount of the Charge Determined?

Each fiscal year (FY), the City of Moreno Valley determines the type of services necessary to

comply with NPDES Permit requirements and levies the rate applicable for that service, not to exceed the rate previously approved by the property owner.

Proposed Charge

For FY 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. The total amount of the NPDES rates levied for FY 2017/18 for the program as a whole was \$474,654.22.

Annual Adjustment

Beginning in FY 2018/19, the NPDES Maximum Commercial/Industrial Regulatory Rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor’s Bureau of Labor Statistics.

Duration of the Charge

Upon approval of the NPDES Maximum Commercial/Industrial Regulatory Rate, the annual levy amount will be assessed to APNs 297-130-052, 297-130-053, and 297-130-054 (and any division thereof) and shall be placed on the Riverside County property tax bill or included as a monthly charge on a utility bill. The NPDES Maximum Commercial/Industrial Regulatory Rate will be levied each following year at the proposed rate, which includes an annual inflation adjustment.

Public Hearing

To provide information concerning this mail ballot proceeding the City has scheduled a Public Hearing, which will be held at the **Moreno Valley City Hall Council Chamber located at 14177 Frederick Street, Moreno Valley.**

Public Hearing
Tuesday, May 1, 2018
6:00 P.M.
(Or As Soon Thereafter As The
Matter May Be Called)

Tabulation of the returned ballot will commence after the close of the public testimony portion of the Public Hearing. Any ballot received shall be tabulated under the direction of the City Clerk in compliance with the City’s Policy for Conducting Mail Ballot Proceedings Policy #1.12.

Effect if the Charge is Approved

Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate will be confirmed if the ballot is marked in favor of the NPDES rate. Approving the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding will fulfill the Land Development Division’s Condition of Approval to provide an ongoing funding source for the NPDES financial program.

Effect if the Charge is Not Approved

Not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to meet state and federally mandated NPDES Permit requirements will not satisfy the Land Development

Attachment: Ballot Documents for Cactus Commerce (3019 : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE ELIMINATION

Division's Condition of Approval to provide a funding source for the NPDES financial program. If the returned ballot is marked "No", the NPDES rate will not be levied on the property tax bill.

Effect if the Ballot is Deemed Invalid or Incomplete

Not marking the corresponding box on the ballot in support of or opposition to the proposed program and annual rate and/or not signing the ballot will result in an invalid ballot. In order to satisfy the Land Development Division's Condition of Approval by placement of the NPDES rate on the annual property tax bill, the mail ballot proceeding and 45-day noticing period will need to start over. Reinitiating the process will require payment of the mail ballot proceeding fee.

For More Information

If you have any questions about the mail ballot proceeding process, please contact Isa Rojas, Management Analyst, with the City's Special Districts Division at 951.413.3491 or via email at IsaRo@moval.org during the City's business hours.

Questions regarding the NPDES financial program, the annual rate, or the Land Development Division's Conditions of Approval should be directed to the Land Development Division at 951.413.3120 or via email at landdevelopment@moval.org during the City's business hours.

The City's business hours are Monday through Thursday from 7:30 a.m. to 5:30 p.m. and Friday from 7:30 a.m. to 4:30 p.m.

Completing Your Ballot

Please follow the instructions below to complete and return your ballot. Procedures for the completion, return, and tabulation of the ballot are also on file in the City Clerk's office.







1. Mark the enclosed ballot in support of or opposition to the proposed program and annual rate **by placing a mark in the corresponding box**. Ballots received without a designated vote will be considered invalid.
2. Sign your name on the ballot. Ballots received without signature(s) will be considered invalid *and will not be counted*.
3. Mail or personally deliver your completed ballot in a sealed envelope to the City Clerk's office, 14177 Frederick Street, Moreno Valley, California, 92553. For your convenience, a postage-paid envelope has been included for return of the ballot.
4. Ballot(s) must be **received** by the City Clerk prior to the close of the public testimony portion of the Public Hearing scheduled for **Tuesday, May 1, 2018**, at the Moreno Valley City Hall Council Chamber. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called. Ballots received after the close of the Public Hearing cannot be legally counted.

Ballot Marks

Appropriate ballot markings include any one of the following for either the YES/Approved or NO/Not Approved blank box:



A check mark substantially inside a box;

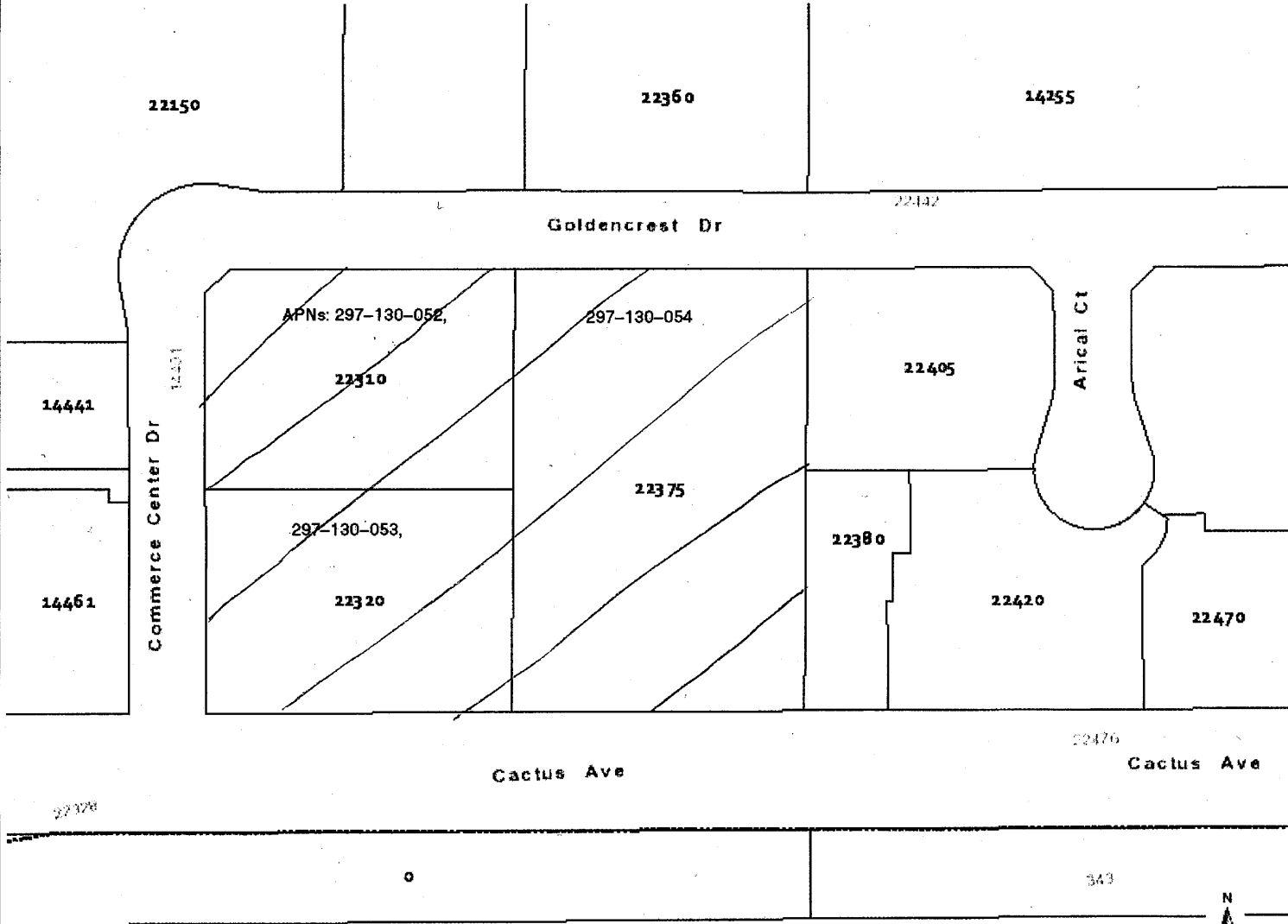
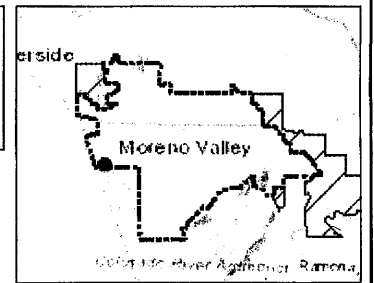
-  An X mark substantially inside a box;
-  A dot or oval mark substantially inside a box;
-  A completely shaded or filled mark substantially inside a box;
-  A line, single or dashed, or combination of lines, through the box area. Lines may be any one of the following marks: horizontal, vertical, or diagonal. The mark may either run from side to side or corner to corner. All valid lines must be substantially within the box area and not marking any part of another blank box on the ballot;
-  A circle around the box and/or associated clause; or
-  A square or rectangle around the box and/or associated clause.

Balloting marks shall not extend past one box area into any portion of another nor surround the perimeter or any portion of more than one box area. Markings that extend past one box area into any portion of another or surround the perimeter or any portion of more than one box area shall be considered invalid and not counted.

Ballot Mark Revisions (Changes): An error or desire to revise (change) a selection made on the ballot may be completed and returned any time **prior** to the conclusion of public testimony at the Public Hearing. **The revision must be initialed by the record owner(s) of property. Initials must be clearly printed and placed at the right top corner of the revised selection.**

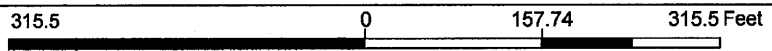


Moreno Valley Cactus Commerce Center PEN16-0131



- Legend**
- Parcels
 - City Boundary

Notes



WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 3/8/2018

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Attachment: Ballot Documents for Cactus Commerce (3019 : PUBLIC HEARING FOR FOUR NATIONAL

COMMON INTEREST, COMMERCIAL, INDUSTRIAL AND QUASI-PUBLIC USE NPDES RATE SCHEDULE
 Adopted by the City Council on January 10, 2006

LEVEL 1			LEVEL II		
NPDES Administration			Site Design, Source Control and Treatment Control BMPs Monitoring and Maintenance		
<i>(Not covered by CSA 152)</i>					
<p>Costs associated with personnel, administration and management of the storm water management program. Administrative tasks include development and filing of various stormwater reports and data collection and management.</p> <p>Level I is levied on all parcels conditioned for the NPDES Rate Schedule.</p>			<p>Costs associated with stormwater and non-stormwater runoff monitoring, inspection of the project's site design, source control and treatment control BMPs; evaluation of site stormwater compliance activities, review of site-specific technical reports and treatment control BMP maintenance records.</p>		
<p>Fiscal Year (FY) 2005/2006 - Base Year Calculation, subject to an annual inflation factor based on the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers, as published by the Department of Labor's Bureau of Labor Statistics</p>					
PARCEL RATE	Per Month	Per Year	PARCEL RATE	Per Month	Per Year
	\$3.45	\$41.42		\$16.29	\$195.44

Inflation Factor Adjustments

- FY 2006/2007 - 4.5% = (\$33.00 & \$158.00)
- FY 2007/2008 - 3.1% = (\$34.00 & \$163.00)
- FY 2008/2009 - 4.2% = (\$35.00 & \$170.00)
- FY 2009/2010 - no change = (\$35.00 & \$170.00)
- FY 2010/2011 - no change = (\$35.00 & \$170.00)
- FY 2011/2012 - 3.8% = (\$36.00 & \$176.00)
- FY 2012/2013 - 2.7% = (\$37.00 & \$181.00)
- FY 2013/2014 - 2.0% = (\$38.00 & \$185.00) rounded to the nearest dollar
- FY 2014/2015 - 1.14% = (\$39.52 & \$186.49) Pursuant to City Council approval on June 10, 2014.
- FY 2015/2016 - 0.73% = (\$39.81 & \$187.85)
- FY 2016/2017 - 2.03% = (\$40.62 & \$191.66)
- FY 2017/2018 - 1.97% = (\$41.42 & \$195.44)

**OFFICIAL MAIL BALLOT for Assessor's Parcel Numbers (APNs)
297-130-052, 297-130-053, and 297-130-054
National Pollutant Discharge Elimination System (NPDES)
Maximum Commercial/Industrial Regulatory Rate**

YES* — as property owner of APNs 297-130-052, 297-130-053, and 297-130-054, **I approve** the NPDES Maximum Commercial/Industrial Regulatory Rate and services. For fiscal year (FY) 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. Upon approval of the maximum regulatory rate, the annual levy amount shall be placed on the annual Riverside County property tax bill or included as a monthly charge on a utility bill. Beginning FY 2018/19, the maximum regulatory rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor's Bureau of Labor Statistics. The City shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

NO** — as property owner of APNs 297-130-052, 297-130-053, and 297-130-054, **I do not approve** the NPDES Maximum Commercial/Industrial Regulatory Rate and services. I understand that not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to fund state and federally mandated NPDES Permit requirements will not satisfy the project's Conditions of Approval. The NPDES maximum commercial/industrial regulatory rate will not be levied on the annual Riverside County property tax bill.

YES*	NO**	Weighted Ballot Count*	Fiscal Year 2017/18 NPDES Maximum Commercial/Industrial Regulatory Rate per Parcel
<input type="checkbox"/>	<input type="checkbox"/>	3	\$236.86

*Each Assessor's Parcel Number equals 1 Weighted Ballot.

This ballot must be received by the City Clerk of the City of Moreno Valley prior to the close of the public testimony portion of the Public Hearing to be held on May 1, 2018, at the Moreno Valley City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, California. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called.

PROPERTY OWNER SIGNATURE

DATE

Please remember to mark the appropriate box, sign and date the ballot, and return to the City Clerk's office in the enclosed envelope prior to the close of the public testimony portion of the May 1, 2018 Public Hearing.

Ballot(s) deemed invalid or incomplete will be discarded and a new process must be initiated in order to place the charge on the annual Riverside County property tax bill, which includes payment of the mail ballot fee.

For administrative convenience all parcels for your project have been combined on one ballot. If you would prefer to have a separate ballot for each APN please call 951.413.3480 to request separate ballots.

TEL: 951.413.3480
 FAX: 951.413.3498
 WWW.MOVAL.ORG



14331 FREDERICK STREET, SUITE 2
 P. O. BOX 88005
 MORENO VALLEY, CA 92552-0805

March 15, 2018

Alisam Moreno, LLC
 Attn: Bob Bandari
 21241 Ventura Blvd Suite 181
 Woodland Hills CA, 91364

NOTICE TO PROPERTY OWNER - MAIL BALLOT PROCEEDING FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MAXIMUM COMMERCIAL/INDUSTRIAL REGULATORY RATE FOR APN 292-160-023

***** OFFICIAL BALLOT ENCLOSED *****

Introduction

In November of 1996, California voters passed Proposition 218 (“The Right to Vote on Taxes Act”). As a result, any new or proposed increase in a property-related charge requires approval by the property owner of record. In compliance with Proposition 218 legislation, the City of Moreno Valley Special Districts Division is conducting a mail ballot proceeding to provide the owner of Assessor’s Parcel Number (APN) 292-160-023 the opportunity to express support for or opposition to the approval of the NPDES Maximum Commercial/Industrial Regulatory Rate and services. Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding fulfills Land Development Division’s Condition of Approval to provide a funding source for the NPDES financial program.

Background

The Clean Water Act of 1987 established requirements for the discharge of Urban Runoff from Municipal Separate Storm Sewer Systems under the National Pollution Discharge Elimination System (NPDES) Program. The NPDES Program is administered by the Santa Ana Regional Water Quality Control Board through the issuance of a Permit. The City’s current NPDES Permit mandates all new development projects comply with storm water management activities. The NPDES Program requires public agencies to obtain coverage under the Permit to discharge urban storm water runoff from municipally owned drainage facilities, including streets, highways, storm drains, and flood control channels.

Services Provided

In compliance with the Federal Clean Water Act, the City of Moreno Valley shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

How is the Amount of the Charge Determined?

Each fiscal year (FY), the City of Moreno Valley determines the type of services necessary to comply with NPDES Permit requirements and levies the rate applicable for that service, not to exceed the rate previously approved by the property owner.

Attachment: Ballot Documents for Alisam Moreno, LLC (3019) : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE

Proposed Charge

For FY 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. The total amount of the NPDES rates levied for FY 2017/18 for the program as a whole was \$474,654.22.

Annual Adjustment

Beginning in FY 2018/19, the NPDES Maximum Commercial/Industrial Regulatory Rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor’s Bureau of Labor Statistics.

Duration of the Charge

Upon approval of the NPDES Maximum Commercial/Industrial Regulatory Rate, the annual levy amount will be assessed to APN 292-160-023 (and any division thereof) and shall be placed on the Riverside County property tax bill or included as a monthly charge on a utility bill. The NPDES Maximum Commercial/Industrial Regulatory Rate will be levied each following year at the proposed rate, which includes an annual inflation adjustment.

Public Hearing

To provide information concerning this mail ballot proceeding the City has scheduled a Public Hearing, which will be held at the **Moreno Valley City Hall Council Chamber located at 14177 Frederick Street, Moreno Valley.**

Public Hearing
Tuesday, May 1, 2018
6:00 P.M.
(Or As Soon Thereafter As The
Matter May Be Called)

Tabulation of the returned ballot will commence after the close of the public testimony portion of the Public Hearing. Any ballot received shall be tabulated under the direction of the City Clerk in compliance with the City’s Policy for Conducting Mail Ballot Proceedings Policy #1.12.

Effect if the Charge is Approved

Approval of the NPDES Maximum Commercial/Industrial Regulatory Rate will be confirmed if the ballot is marked in favor of the NPDES rate. Approving the NPDES Maximum Commercial/Industrial Regulatory Rate through a mail ballot proceeding will fulfill the Land Development Division’s Condition of Approval to provide an ongoing funding source for the NPDES financial program.

Effect if the Charge is Not Approved

Not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to meet state and federally mandated NPDES Permit requirements will not satisfy the Land Development Division’s Condition of Approval to provide a funding source for the NPDES financial program. If the returned ballot is marked “No”, the NPDES rate will not be levied on the property tax bill.

Attachment: Ballot Documents for Alisam Moreno, LLC (3019) : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE

Effect if the Ballot is Deemed Invalid or Incomplete

Not marking the corresponding box on the ballot in support of or opposition to the proposed program and annual rate and/or not signing the ballot will result in an invalid ballot. In order to satisfy the Land Development Division's Condition of Approval by placement of the NPDES rate on the annual property tax bill, the mail ballot proceeding and 45-day noticing period will need to start over. Reinitiating the process will require payment of the mail ballot proceeding fee.

For More Information

If you have any questions about the mail ballot proceeding process, please contact Isa Rojas, Management Analyst, with the City's Special Districts Division at 951.413.3491 or via email at IsaRo@moval.org during the City's business hours.

Questions regarding the NPDES financial program, the annual rate, or the Land Development Division's Conditions of Approval should be directed to the Land Development Division at 951.413.3120 or via email at landdevelopment@moval.org during the City's business hours.

The City's business hours are Monday through Thursday from 7:30 a.m. to 5:30 p.m. and Friday from 7:30 a.m. to 4:30 p.m.

Completing Your Ballot

Please follow the instructions below to complete and return your ballot. Procedures for the completion, return, and tabulation of the ballot are also on file in the City Clerk's office.

1. Mark the enclosed ballot in support of or opposition to the proposed program and annual rate **by placing a mark in the corresponding box.** Ballots received without a designated vote will be considered invalid.
2. Sign your name on the ballot. Ballots received without signature(s) will be considered invalid *and will not be counted.*
3. Mail or personally deliver your completed ballot in a sealed envelope to the City Clerk's office, 14177 Frederick Street, Moreno Valley, California, 92553. For your convenience, a postage-paid envelope has been included for return of the ballot.
4. Ballot(s) must be **received** by the City Clerk prior to the close of the public testimony portion of the Public Hearing scheduled for **Tuesday, May 1, 2018**, at the Moreno Valley City Hall Council Chamber. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called. Ballots received after the close of the Public Hearing cannot be legally counted.

Ballot Marks






Appropriate ballot markings include any one of the following for either the YES/Approved or NO/Not Approved blank box:



A check mark substantially inside a box;



An X mark substantially inside a box;

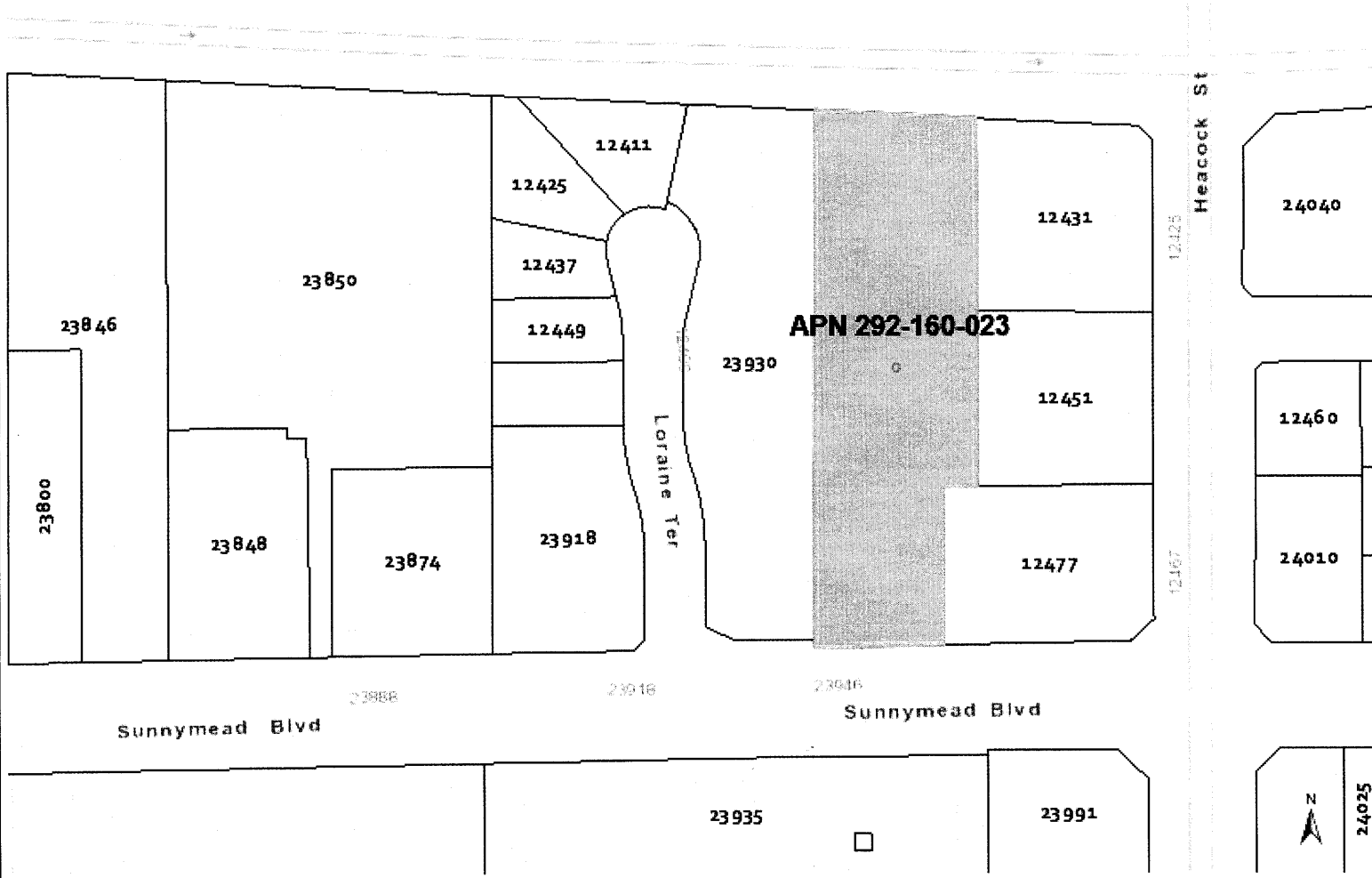
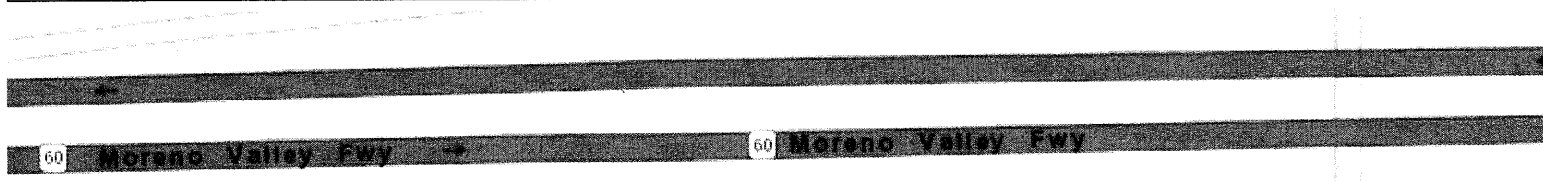
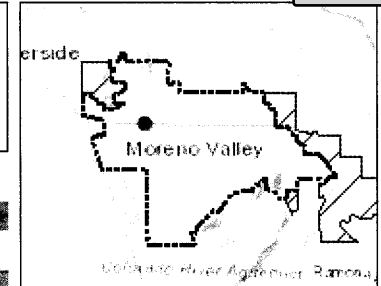
-  A dot or oval mark substantially inside a box;
-  A completely shaded or filled mark substantially inside a box;
-  A line, single or dashed, or combination of lines, through the box area. Lines may be any one of the following marks: horizontal, vertical, or diagonal. The mark may either run from side to side or corner to corner. All valid lines must be substantially within the box area and not marking any part of another blank box on the ballot;
-  A circle around the box and/or associated clause; or
-  A square or rectangle around the box and/or associated clause.

Balloting marks shall not extend past one box area into any portion of another nor surround the perimeter or any portion of more than one box area. Markings that extend past one box area into any portion of another or surround the perimeter or any portion of more than one box area shall be considered invalid and not counted.

Ballot Mark Revisions (Changes): An error or desire to revise (change) a selection made on the ballot may be completed and returned any time **prior** to the conclusion of public testimony at the Public Hearing. **The revision must be initialed by the record owner(s) of property. Initials must be clearly printed and placed at the right top corner of the revised selection.**



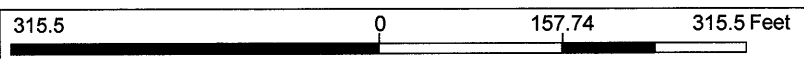
Carwash PEN16-0113



Legend

- Parcels
- City Boundary

Notes



DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 3/8/2018

Attachment: Ballot Documents for Alisam Moreno, LLC (3019 : PUBLIC HEARING FOR FOUR NATIONAL

COMMON INTEREST, COMMERCIAL, INDUSTRIAL AND QUASI-PUBLIC USE NPDES RATE SCHEDULE
 Adopted by the City Council on January 10, 2006

LEVEL 1			LEVEL II		
NPDES Administration			Site Design, Source Control and Treatment Control BMPs Monitoring and Maintenance		
<i>(Not covered by CSA 152)</i>					
<p>Costs associated with personnel, administration and management of the storm water management program. Administrative tasks include development and filing of various stormwater reports and data collection and management.</p> <p>Level I is levied on all parcels conditioned for the NPDES Rate Schedule.</p>			<p>Costs associated with stormwater and non-stormwater runoff monitoring, inspection of the project's site design, source control and treatment control BMPs; evaluation of site stormwater compliance activities, review of site-specific technical reports and treatment control BMP maintenance records.</p>		
<p>Fiscal Year (FY) 2005/2006 - Base Year Calculation, subject to an annual inflation factor based on the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers, as published by the Department of Labor's Bureau of Labor Statistics</p>					
PARCEL RATE	Per Month	Per Year	PARCEL RATE	Per Month	Per Year
	\$3.45	\$41.42		\$16.29	\$195.44

Inflation Factor Adjustments

- FY 2006/2007 - 4.5% = (\$33.00 & \$158.00)
- FY 2007/2008 - 3.1% = (\$34.00 & \$163.00)
- FY 2008/2009 - 4.2% = (\$35.00 & \$170.00)
- FY 2009/2010 - no change = (\$35.00 & \$170.00)
- FY 2010/2011 - no change = (\$35.00 & \$170.00)
- FY 2011/2012 - 3.8% = (\$36.00 & \$176.00)
- FY 2012/2013 - 2.7% = (\$37.00 & \$181.00)
- FY 2013/2014 - 2.0% = (\$38.00 & \$185.00) rounded to the nearest dollar
- FY 2014/2015 - 1.14% = (\$39.52 & \$186.49) Pursuant to City Council approval on June 10, 2014.
- FY 2015/2016 - 0.73% = (\$39.81 & \$187.85)
- FY 2016/2017 - 2.03% = (\$40.62 & \$191.66)
- FY 2017/2018 - 1.97% = (\$41.42 & \$195.44)

**OFFICIAL MAIL BALLOT for Assessor's Parcel Number (APN)
292-160-023 National Pollutant Discharge Elimination System (NPDES)
Maximum Commercial/Industrial Regulatory Rate**

YES* — as property owner of APN 292-160-023, I approve the NPDES Maximum Commercial/Industrial Regulatory Rate and services. For fiscal year (FY) 2017/18, the NPDES Maximum Commercial/Industrial Regulatory Rate is \$236.86 per parcel. Upon approval of the maximum regulatory rate, the annual levy amount shall be placed on the annual Riverside County property tax bill or included as a monthly charge on a utility bill. Beginning FY 2018/19, the maximum regulatory rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor's Bureau of Labor Statistics. The City shall provide annual and periodic facility inspections for site design, NPDES permit compliance, and Best Management Practices implementation and maintenance for specified facilities.

NO** — as property owner of APN 292-160-023, I do not approve the NPDES Maximum Commercial/Industrial Regulatory Rate and services. I understand that not approving the NPDES Maximum Commercial/Industrial Regulatory Rate to fund state and federally mandated NPDES Permit requirements will not satisfy the project's Conditions of Approval. The NPDES maximum commercial/industrial regulatory rate will not be levied on the annual Riverside County property tax bill.

YES*	NO**	Weighted Ballot Count*	Fiscal Year 2017/18 NPDES Maximum Commercial/Industrial Regulatory Rate per Parcel
<input type="checkbox"/>	<input type="checkbox"/>	1	\$236.86

*Each Assessor's Parcel Number equals 1 Weighted Ballot.

This ballot must be received by the City Clerk of the City of Moreno Valley prior to the close of the public testimony portion of the Public Hearing to be held on May 1, 2018, at the Moreno Valley City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, California. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called.

PROPERTY OWNER SIGNATURE

DATE

Please remember to mark the appropriate box, sign and date the ballot, and return to the City Clerk's office in the enclosed envelope prior to the close of the public testimony portion of the May 1, 2018 Public Hearing.

Ballot(s) deemed invalid or incomplete will be discarded and a new process must be initiated in order to place the charge on the annual Riverside County property tax bill, which includes payment of the mail ballot fee.

TEL: 951.413.3480
 FAX: 951.413.3498
 WWW.MOVAL.ORG



14331 FREDERICK STREET, SUITE 2
 P. O. BOX 88005
 MORENO VALLEY, CA 92552-0805

Metric Homes, LLC
 c/o Jagdish Patel
 1442 E. Lincoln Ave., #444
 Orange, CA 92865

March 15, 2018

NOTICE TO PROPERTY OWNER-MAIL BALLOT PROCEEDING FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) MAXIMUM RESIDENTIAL REGULATORY RATE FOR APNs 475-220-060, 475-220-061, 475-220-062, AND 475-220-063

******* OFFICIAL BALLOT ENCLOSED *******

Introduction

In November of 1996, California voters passed Proposition 218 (“The Right to Vote on Taxes Act”). As a result, any new or proposed increase in a property-related charge requires approval of the charge by the property owner of record. In compliance with Proposition 218 legislation, the City of Moreno Valley Special Districts Division is conducting a mail ballot proceeding to provide the owner of Assessor’s Parcel Numbers (APNs) 475-220-060, 475-220-061, 475-220-062, and 475-220-063 the opportunity to express support for or opposition to the approval of the NPDES Maximum Residential Regulatory Rate and services. Approval of the NPDES Maximum Residential Regulatory Rate through a mail ballot proceeding will fulfill Conditions of Approval LD24 from the Land Development Division to provide a funding source for the NPDES program.

Background

The current NPDES Permit, as administered by the State, regulates the volume and amount of pollutants in storm water runoff from all development types. The City provides the services necessary to meet mandates of the Federal Clean Water Act. NPDES Maximum Residential Regulatory Rate provides financial support for monitoring, maintaining, and if necessary, improving the storm water discharge system, and performing inspections of the affected areas to ensure compliance with federally mandated NPDES Permit requirements, as administered by the State.

Services Provided

In compliance with the Federal Clean Water Act, the City of Moreno Valley shall provide the necessary services for the continuous operation, enhancement, and maintenance of the storm water discharge system, and perform inspections of the affected areas to ensure compliance with federally mandated NPDES Permit requirements.

How is the Amount of the Charge Determined?

Each fiscal year (FY), the City of Moreno Valley shall determine the type of services necessary to comply with NPDES Permit requirements and levy the rate applicable for that service. The rate levied shall not exceed the rate previously approved by the property owner.

Proposed Charge

For FY 2017/18, the NPDES Maximum Residential Regulatory Rate is \$314.53 per parcel. The total amount of the NPDES rates levied for FY 2017/18 for the program as a whole was \$474,654.22.

Annual Adjustment

Beginning in FY 2018/19, the NPDES Maximum Residential Regulatory Rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor’s Bureau of Labor Statistics.

Duration of the Charge

Upon approval of the NPDES Maximum Residential Regulatory Rate, the annual levy amount will be assessed to APNs 475-220-060, 475-220-061, 475-220-062, and 475-220-063 (and any division thereof) and shall be placed on the Riverside County property tax bill or included as a monthly charge on a utility bill. The NPDES Maximum Residential Regulatory Rate will be levied each following year at the proposed rate, which includes an annual inflation adjustment.

Public Hearing

To provide information concerning this mail ballot proceeding, the City has scheduled a Public Hearing, which will be held at the **Moreno Valley City Hall Council Chamber located at 14177 Frederick Street, Moreno Valley.**

Public Hearing
Tuesday, May 01, 2018
6:00 P.M.
(Or As Soon Thereafter As The
Matter May Be Called)

Tabulation of returned ballot will commence after the close of the Public Hearing. All ballots received shall be tabulated under the direction of the City Clerk in compliance with the current Policy For Conducting Mail Ballot Proceedings Policy #1.12.

Effect if the Charge is Approved

Approval of the NPDES Maximum Residential Regulatory Rate will be confirmed if the ballot is marked in favor of the NPDES rate. Approving the NPDES Maximum Residential Regulatory Rate through a mail ballot proceeding will fulfill the Condition of Approval (to provide an ongoing funding source for the NPDES program).

Effect if the Charge is Not Approved

Not approving the NPDES Maximum Residential Regulatory Rate to meet federally mandated NPDES Permit requirements will not satisfy the Condition of Approval. If the returned ballot is marked “No”, the NPDES rate will not be levied on the property tax bill.

Effect if the Ballot is Deemed Invalid or Incomplete

Not marking the corresponding box on the ballot next to the APN (in support of or opposition to the proposed program and annual rate) and/or not signing the ballot will result in an invalid ballot. In order to satisfy the required Condition of Approval by placement of the charge on the

Attachment: Ballot Documents for Metric Homes, LLC (3019) : PUBLIC HEARING FOR FOUR NATIONAL POLLUTANT DISCHARGE ELIMINATION

annual property tax bill, the mail ballot proceeding and 45-day noticing period will need to start over. Reinitiating the process will require payment of the mail ballot proceeding fee.

For More Information

If you have any questions about the mail ballot proceeding process, please contact Isa Rojas, Management Analyst, with the City's Special Districts Division at 951.413.3491 or via email at IsaRo@moval.org during the City's business hours.

Questions regarding the NPDES program, the annual rate, or the Condition of Approval should be directed to the Land Development Division at 951.413.3120 or via email at landdevelopment@moval.org during the City's business hours.

The City's business hours are Monday through Thursday from 7:30 a.m. to 5:30 p.m. and Friday from 7:30 a.m. to 4:30 p.m.

Completing Your Ballot

Please follow the instructions listed below to complete and return your ballot. Procedures for the completion, return, and tabulation of the ballot are also on file in the City Clerk's office.

1. Mark the enclosed ballot in support of or opposition to the proposed program and annual rate **by placing a mark in the corresponding box next to the APN.** Ballots received without a designated vote will be considered invalid.
2. Sign your name on the ballot. Ballots received without signature(s) will be considered invalid *and will not be counted.*
3. Mail or personally deliver your completed ballot in a sealed envelope to the City Clerk's office, 14177 Frederick Street, Moreno Valley, California, 92553. For your convenience, a postage-paid envelope has been included for return of the ballot.
4. Ballot(s) must be **received** by the City Clerk prior to the close of the public testimony portion of the Public Hearing scheduled for **Tuesday, May 01, 2018**, at the Moreno Valley City Hall Council Chamber. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called. Ballots received after the close of the Public Hearing cannot be legally counted.

Ballot Marks

Appropriate ballot markings include any one of the following for either the YES/Approved or NO/Not Approved blank box:



A check mark substantially inside a box;



An X mark substantially inside a box;



A dot or oval mark substantially inside a box;



A completely shaded or filled mark substantially inside a box;



A line, single or dashed, or combination of lines, through the box area. Lines may be any one of the following marks: horizontal, vertical, or diagonal. The mark may either run from side to side or corner to corner. All valid lines must be substantially within the

box area and not marking any part of another blank box on the ballot;



A circle around the box and/or associated clause; or



A square or rectangle around the box and/or associated clause.

Balloting marks shall not extend past one box area into any portion of another nor surround the perimeter or any portion of more than one box area. Markings that extend past one box area into any portion of another or surround the perimeter or any portion of more than one box area shall be considered invalid and not counted.

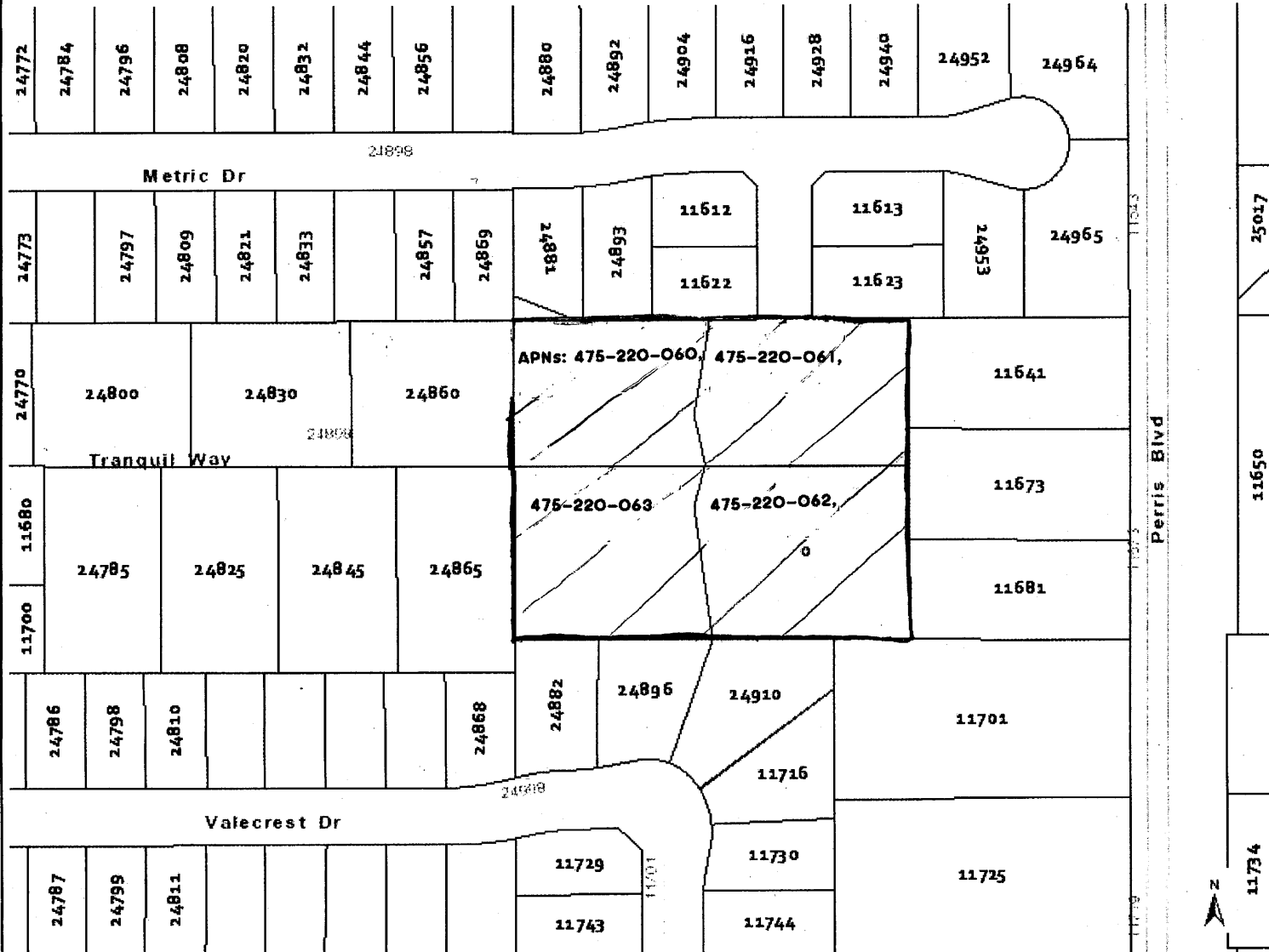
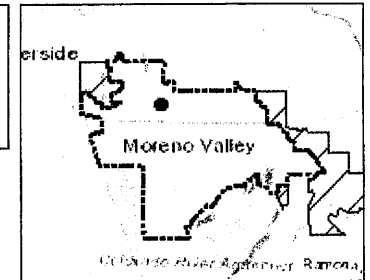
Ballot Mark Revisions (Changes): An error or desire to revise (change) a selection made on the ballot may be completed and returned any time **prior** to the conclusion of public testimony at the Public Hearing. **The revision must be initialed by the record owner(s) of property. Initials must be clearly printed and placed at the right top corner of the revised selection.**

RESIDENTIAL NPDES RATE SCHEDULE
 Adopted by the City Council on June 10, 2003 (Level I, II, III, IV)
 Adopted by the City Council on June 10, 2008 (Level II-A)

LEVEL 1			LEVEL II			Level II-A			LEVEL III			LEVEL IV		
NPDES Administration			Water Quality Pond/Basin Maintenance			Sand Filter Maintenance			Water Quality Pond/Basin Remediation/Reconstruction			Water Quality System Retrofit		
<i>(Not covered by CSA 152)</i>														
Costs associated with personnel, administration and management of the storm water management program. Administrative tasks include development and filing of various storm water reports and data collection and management. Level I is levied on all parcels conditioned for the NPDES Rate Schedule.			Costs associated with the maintenance and monitoring of the water quality pond/basin. This includes, but is not limited to maintenance on a quarterly basis of vegetative material, civil work and utility and personnel costs.			Costs associated with the maintenance and monitoring of the sand filter within a water quality pond/basin. This includes, but is not limited to maintenance of a sand bed, bleeder lines and costs for personnel.			Costs associated with the remediation and reconstruction of water quality pond/basin. Remediation and reconstruction may include the following: replacement of soil, plants, irrigation, removal and hauling of wastes and possible civil work.			Costs associated with the retrofitting, replacement, monitoring and maintenance of the water quality pond/basin systems and appurtenances. This may include retrofitting of catch basin insert filters, vortex devices, installation of in-line filter systems, and nutrient baskets, etc.		
Level I is levied on all parcels conditioned for the NPDES Rate Schedule.			Level II, in addition to Level I is levied on all properties within tracts that have a water quality pond/basin or on properties that benefit from a neighboring water quality pond/basin.			Level II-A, in addition to Level II and Level I is levied on all properties within residential developments that have a water quality pond/basin with a sand filter or on properties that benefit from a neighboring water quality pond/basin with a sand filter.								
Parcel Rate	Per/Mon. \$3.44	Per/Yr. \$41.27	Parcel Rate	Per/Mon. \$6.53	Per/Yr. \$78.40	Parcel Rate	Per/Mon. \$2.98	Per/Yr. \$35.74	Parcel Rate	Per/Mon. \$5.83	Per/Yr. \$69.93	Parcel Rate	Per/Mon. \$13.26	Per/Yr. \$159.12
Each Service Level may be imposed on an as-needed basis and cumulative (if required)														
Fiscal Year (FY) 2003/2004 - Base Year Calculation, subject to inflation factor based on the Los Angeles-Riverside-Orange County Regional Consumer Price Index														
Inflation Factor Adjustments: 2004/2005 - 1.8% = (\$31.00, 58.00, 52.00 & 118.00) 2005/2006 - 4.4% = (\$32.00, 61.00, 54.00 & 123.00) 2006/2007 - 4.5% = (\$33.00, 64.00, 56.00, & 128.00) 2007/2008 - 3.1% = (\$34.00, 66.00, 58.00, & 132.00) 2008/2009 - 4.2% = (\$35.00, \$69.00, \$31.00, \$60.00, \$138.00) 2009/2010 - no change = (\$35.00, \$69.00, \$31.00, \$60.00, \$138.00) 2010/2011 - no change = (\$35.00, \$69.00, \$31.00, \$60.00, \$138.00) 2011/2012 - 3.8% = (\$36.00, \$72.00, \$32.00, \$62.00, \$143.00) 2012/2013 - 2.7% = (\$37.00, \$74.00, \$33.00, \$64.00, \$147.00) 2013/2014 - 2.0% = (\$38.00, \$75.00, \$34.00, \$65.00, \$150.00) rounded to the nearest whole dollar 2014/2015 - 1.14% = (\$39.38, \$74.82, \$34.10, \$66.73, \$151.84) Pursuant to City Council approval on June 10, 2014. 2015/2016 - 0.73% = (\$39.66, \$75.36, \$34.35, \$67.22, \$152.95) 2016/2017 - 2.03% = (\$40.47, \$76.89, \$35.05, \$68.58, \$156.05) 2017/2018 - 1.97% = (\$41.27, \$78.40, \$35.74, \$69.93, \$159.12)														



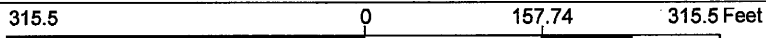
Extension of Time, Tentative Tract Map 31621 PEN17-0014



Legend

- Parcels
- City Boundary

Notes



WGS_1984_Web_Mercator_Auxiliary_Sphere

Print Date: 3/8/2018

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**OFFICIAL MAIL BALLOT for
Assessor's Parcel Numbers (APNs)
475-220-060, 475-220-061, 475-220-062, and 475-220-063**

**National Pollutant Discharge Elimination System (NPDES)
Maximum Residential Regulatory Rate**

YES* — as property owner of APNs 475-220-060, 475-220-061, 475-220-062, and 475-220-063, **I approve** the NPDES Maximum Residential Regulatory Rate and services. For fiscal year (FY) 2017/18, the NPDES Maximum Residential Regulatory Rate is \$314.53 per parcel. Upon approval of the maximum regulatory rate, the annual levy amount shall be placed on the Riverside County property tax bill or included as a monthly charge on a utility bill. Beginning FY 2018/19, the maximum regulatory rate will be subject to an annual adjustment based on the percentage change calculated for the previous year in the Los Angeles-Riverside-Orange County Regional Consumer Price Index for All Urban Consumers (or another similar index), as published by the Department of Labor's Bureau of Labor Statistics. The City will provide storm water maintenance to residential neighborhoods for the continuous operation, systems evaluation/enhancement of the affected areas and the implementation of federally mandated NPDES requirements. Additionally, the rate schedule provides funds for monitoring, maintaining, and if necessary, for improving the storm water discharge system.

NO** — as property owner of APNs 475-220-060, 475-220-061, 475-220-062, and 475-220-063, **I do not approve** the NPDES Maximum Residential Regulatory Rate and services. I understand that not approving the NPDES Maximum Residential Regulatory Rate to fund federally mandated NPDES Permit requirements may result in noncompliance with the project's Conditions of Approval. If the NPDES Maximum Residential Regulatory Rate is not approved the rate will not be levied on the Riverside County property tax bill.

YES*	NO**	Weighted Ballot Count*	NPDES Maximum Residential Regulatory Rate
<input type="checkbox"/>	<input type="checkbox"/>	4	\$314.53

- Each Assessor's Parcel Number equals 1 Weighted Ballot.

This ballot must be received by the City Clerk of the City of Moreno Valley prior to the close of the Public Hearing to be held on May 1, 2018 at the Moreno Valley City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, California. The Public Hearing will be held at 6:00 p.m. or as soon thereafter as the matter may be called.

PROPERTY OWNER SIGNATURE DATE

Please remember to mark the appropriate box, sign and date the ballot and return to the City Clerk's office in the enclosed envelope prior to the close of the public testimony portion of the April 2, 2018 Public Hearing.

Ballot(s) deemed invalid or incomplete will be discarded and a new process must be initiated in order to place the charge on the annual Riverside County property tax bill, which includes payment of the mail ballot fee.

For administrative convenience all parcels for your project have been combined on one ballot. If you would prefer to have a separate ballot for each APN please call 951.413.3480 to request separate ballots.