
PLANNING COMMISSIONERS

JEFFREY SIMS
Chairperson

RAY L. BAKER
Vice Chairperson

PATRICIA KORZEC
Commissioner



ALVIN DEJOHNETTE
Commissioner

JOANN STEPHAN
Commissioner

ROBERT HARRIS
Commissioner

RAFAEL BRUGUERAS
Commissioner

PLANNING COMMISSION

Regular Meeting

Agenda

Thursday, February 27, 2020 at 7:00 PM
City Hall Council Chamber – 14177 Frederick Street

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PUBLIC COMMENTS PROCEDURE

Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, member of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.

PUBLIC COMMENTS

CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine and all will be enacted by one roll call vote. There will be no discussion of these items unless Members of the Planning Commission request specific items be removed from the Consent Calendar for separate action.

1. Planning Commission Minutes – Regular Meeting – January 9, 2020 12:00 AM

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

NON-PUBLIC HEARING ITEMS

- 1. Case: PEN20-0007
- Applicant: City of Moreno Valley
- Property Owner: City of Moreno Valley
- Representative: Community Development Department
- Location: Citywide
- Case Engineer: Claudia Manrique
- Council District: All
- Proposal: Annual Progress Report as Required by Government Code 65400

PUBLIC HEARING ITEMS

- 1. Case: LGL19-0053 (Street Vacation)
- Applicant: Chau Van Nguyen
- Property Owner: Chau Van Nguyen, Trang Hai Thi Ha
- Representative: Gabriel D. Ybarra, Action Surveys
- Location: Stoddard Street between Williams Avenue and Alessandro Boulevard
- Case Engineer: Guy Pegan, P.E.
- Council District: 3
- Proposal: A Standard Street Vacation of a portion of Stoddard Street located between Williams Avenue and Alessandro Boulevard.

2. Case: Conditional Use Permit (PEN19-0052)
- Applicant: RD MoVal, LLC
- Property Owner: Joanne and Suzanne Charlebois
- Representative: Rick Jackson
- Location: 21820 Alessandro Boulevard (APN: 263-220-015)
- Case Planner: Sean P. Kelleher, Senior Planner
- Council District: 1
- Proposal: Conditional Use Permit for a 2,374 square foot retail cannabis dispensary, "RD MoVal, LLC" located within an existing building at 21820 Alessandro Boulevard.

OTHER COMMISSION BUSINESS

STAFF COMMENTS

PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

Planning Commission Regular Meeting, March 12, 2020 at 7:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 12:00 AM
January 9, 2020**

CALL TO ORDER

This Regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 7:05 p.m., by Vice Chairperson Baker in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

| | | | |
|----------------------|------------------|------------------|---------|
| Planning Commission: | Jeffrey Sims | Chairperson | Present |
| | Ray L. Baker | Vice Chairperson | Present |
| | Patricia Korzec | Commissioner | Present |
| | Robert Harris | Commissioner | Present |
| | JoAnn Stephan | Commissioner | Present |
| | Rafael Brugueras | Commissioner | Present |
| | Alvin DeJohnette | Commissioner | Present |

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Harris.

APPROVAL OF AGENDA

Motion to approve the agenda was made by Commissioner Korzec and seconded by Commissioner Brugueras.

Vote: 6-0
Ayes: Commissioner Korzec, Brugueras, Harris, Stephan, Vice Chairperson Baker and Commissioner DeJohnette.
Absent: Chairperson Sims
Action: **Approved**

STAFF PRESENT

| | |
|-----------------|---------------------------------------|
| Paul Early | City Attorney |
| Patty Nevins | Acting Community Development Director |
| Sean Kelleher | Senior Planner |
| Paul Villalobos | Fire Marshall |
| Ashley Aparicio | Planning Commission Secretary |
| Vera Sanchez | Senior Administrative Assistant |

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

Minutes Acceptance: Minutes of Jan 9, 2020 12:00 AM (CONSENT CALENDAR)

No public comments.

CONSENT CALENDAR

1. Planning Commission - Regular Meeting - December 12, 2019 7:00 PM

Motion to approve the minutes of December 12, 2019 was made by Commissioner Brugueras and seconded by Commissioner DeJohnette.

Vote: 6-0
Ayes: Commissioner Brugueras, DeJohnette, Korzec, Harris, Stephan, and Vice Chairperson Baker.
Absent: Chairperson Sims
Action: **Approved**

Chairperson Sims arrived at 7:13 p.m.

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

1. Conditional Use Permit for a 3,544 square foot retail cannabis dispensary, "San Jacinto LN, LLC" located at 24200 Sunnymead Boulevard. (Report of: Planning Commission)
 - A. Staff recommends that the Planning Commission APPROVE Resolution No. 2020-01, and thereby:
 1. Certify that Conditional Use Permit PEN19-0053 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities); and
 2. Approve Conditional Use Permit PEN19-0053 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Public Hearing Opened: 7:16 pm

No public speakers.

Public Hearing Closed: 7:16 pm

Motion to approve Resolution Number 2020-01 was made by Commissioner Korzec and seconded by Commissioner Stephan.

Vote: 7-0

Ayes: Commissioner Korzec, Stephan, Harris, Brugueras, DeJohnette,
Chairperson Sims and Vice Chairperson Baker
Action: **Approved**

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

No items for discussion.

PLANNING COMMISSIONER COMMENTS

Commissioner Brugueras asked if staff could share with the public the opportunity to get involved with Planning with the Engage Moval toolbox.

Patty Nevins, Acting Community Development Director, stated it was provided to demonstrate tools and techniques for staff to engage with the public alongside the General Plan Update effort, to give us the opportunity to reach out to residents in different ways.

Commissioner Brugueras said he is glad the City is trying to engage better with our residents. He gave an example of his granddaughter and pointed out how she was in the handout they received. His explained she is in the City's Youth Program and attended the event in which she the photo taken. It is doing such things like this for our next generation to learn more and get involved and be to educated with what goes on in our City and it encourages them to stay involved.

Chairperson Sims agrees with Commissioner Brugueras that he hopes to whomever is listening that this is a good piece of work and great efforts for the General Plan that this is a great way for residents to get involved and participate. We have over 200,000 residents and they should engage more.

ADJOURNMENT

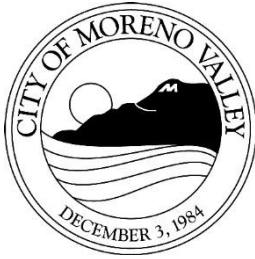
There being no further business to come before the Planning Commission, Chairperson Sims adjourned the meeting at 7:30 PM.

Submitted by:

Approved by:

Ashley Aparicio
Planning Commission Secretary

Jeffrey Sims
Chairperson



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 27, 2020

ANNUAL PROGRESS REPORT AS REQUIRED BY GOVERNMENT CODE 65400

Case: PEN20-0007

Applicant: City of Moreno Valley

Property Owner: City of Moreno Valley

Representative: Community Development Department

Location: Citywide

Case Planner: Claudia Manrique

Council District: All

Proposal: Annual Progress Report as Required by Government Code 65400

SUMMARY

Government Code Section 65400 requires that cities submit an annual report on the status of their General Plan and progress on its implementation to the Governor's Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD). Prior to submittal to the State, the annual report must be presented to the City Council for review and acceptance. As a procedural matter, staff is bringing the annual report to the Planning Commission for review and recommendation to the City Council prior to the City Council consideration given the Commission's advisory role to the City Council in planning matters, including implementation of the General Plan.

BACKGROUND

California State Law requires each city to adopt a comprehensive, long-term general plan for its physical development including consideration of any land located outside its boundaries, which bears a relationship to its planning activities. In essence, the City's General Plan serves as the blueprint for future growth and development. As a blueprint for the future, the plan contains goals, objectives, policies and programs designed to provide decision makers with information and a basis for all land use related decisions.

The City of Moreno Valley incorporated on December 3, 1984. The City's first General Plan was adopted on September 8, 1988. The last comprehensive update of the General Plan was approved by the City Council on July 11, 2006. The last update of the Housing Element of the General Plan was approved by the City Council on February 11, 2014.

The existing General Plan incorporates all required elements as follows, with dates of the last respective Element update noted:

- Circulation Element (2006)
- Community Development Element (2006)
- Conservation Element (2006)
- Housing Element (2014)
- Parks, Recreation and Open Space Element (2006)
- Safety/Noise Element (2006)

ANNUAL REPORT CONTENTS

The 2019 General Plan Annual Progress Report summarizes the City of Moreno Valley's progress toward implementing the goals, policies and programs of the City's 2006 General Plan. It covers the period of January 1, 2019 through December 31, 2019.

The General Plan Annual Report includes a report of major projects and General Plan amendments approved by the Planning Commission and City Council in 2019. In summary, eight (8) major projects and three (3) General Plan Amendments were approved during this annual reporting period.

General Plan Amendments

Three General Plan Amendments were approved during the reporting period. The first was within the Moreno Valley Ranch Specific Plan 193 and changed approximately 3 acres of from residential land use with a density range up to approximately 20 dwelling units to the acre (SP193 H) to Commercial (SP193 C).

A second General Plan Amendment changed approximately 6.78 acres designated Residential 5 (R5) land to Residential 10 (R10). Related applications were approved for an 80 unit affordable multiple family residential development.

An additional General Plan Amendment modified 35.5 acres of Commercial (C) designation of a property to Business Park (BP). Related applications were approved for a 767,886 square foot industrial logistics building.

Housing

HCD requires the reporting of Housing Element implementation on specific State reporting forms, which were updated in January 2020. The method of reporting Housing Element implementation is established by HCD with the purpose of tracking overall housing production in a community, as well as, more specifically, a City’s progress towards meeting its Regional Housing Needs Allocation (RHNA). The City’s Housing Element Implementation Progress Report is included as Appendix A to the General Plan Annual Report (Attachment 1).

In summary, 522 new residential units were finalized in 2019, including 238 apartment units and 284 single-family residences. All 238 apartments fall into the Moderate Income Level Housing (>=8 units) category, and all of the single-family residences fall into the Above Moderate Income Level Housing (1-5 units) category. The City’s progress in meeting its Year 2014-2021 RHNA goals is summarized in the table below.

| Housing Unit Construction in Relation to RHNA | | | | |
|--|---------------------------------|---|-----------------------|---------------------------------|
| <i>Income Level</i> | <i>2014-2021 RHNA (# units)</i> | <i>2018 Annual Report Remaining RHNA Need</i> | <i>New Units 2019</i> | <i>2019 Remaining RHNA Need</i> |
| Very Low | 1500 | 1500 | 0 | 1500 |
| Low | 993 | 993 | 0 | 993 |
| Moderate | 1112 | 855 | 238 | 647 |
| Above-Moderate | 2564 | 1482 | 284 | 1200 |
| Total | 6,169 | 4,860 | 522 | 4,338 |

ENVIRONMENTAL

The General Plan Annual Report qualifies for the common sense exemption in accordance with Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines.

NOTIFICATION

No public notification other than accomplished with routine posting of the meeting agenda is required for this Planning Commission item.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2020-02, and thereby:

1. **CERTIFY** that the General Plan Annual Report qualifies for the common sense exemption in accordance with Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines; and
2. **RECOMMENDS** to the City Council that the January 2019 to December 2019 General Plan Annual Report is consistent with the requirements of Government Code Section 65400 and is ready for submittal to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2020.

Prepared by:
Claudia Manrique
Associate Planner

Approved by:
Patty Nevins
Acting Community Development Director

ATTACHMENTS

1. Resolution 2020-02
2. Exhibit A to Resolution 2020-02: 2019 General Plan Annual Report
3. Appendix A: 2019 Housing Element Annual Progress Report Table
4. Appendix B: Annual Report GP Goals-Policies

RESOLUTION NO. 2020-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY RECOMMENDING APPROVAL OF THE 2019 GENERAL PLAN ANNUAL PROGRESS REPORT TO THE CITY COUNCIL

WHEREAS, the State of California requires non-charter cities and counties to adopted a General Plan to provide guidance and direction for development activities; and,

WHEREAS, the City of Moreno Valley's current General Plan was adopted on July 11, 2006; and,

WHEREAS, California Government Code section 65400 mandates that cities submit an Annual Progress Report on the status of the General Plan and its implementation to their legislative bodies, the State Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD); and,

WHEREAS, the Annual Progress Report is required to include: a) The state of the Plan and the progress of its implementation; b) the progress in meeting its share of regional housing needs; and, c) the degree to which the General Plan complies with the Guidelines established by OPR; and,

WHEREAS, the City has prepared its Annual Progress Report due April 1, 2020 to include major accomplishments, General Plan implementation, an evaluation of current General Plan goals, objectives, policies and programs, and a regional housing report, in accordance with the Guidelines adopted by OPR ;and

WHEREAS, the City is required to submit a Housing Element Annual Progress Report to the Department of Housing and Community Development (HCD) using forms prescribed by HCD; and

WHEREAS, the City's Strategic Plan (Momentum MoVal), adopted on August 16, 2016, included Initiative 1.9.1 related to the preparation of a General Plan Annual Report to explain how land use decisions related to adopted goals, objectives, policies, and implementation measures and, as appropriate, to identify necessary course adjustments consistent with the Strategic Plan. This report is updated annually, and reflects the effort due to OPR and HCD by April 1, 2020; and,

WHEREAS, the City's Strategic Plan (Momentum MoVal) also provides Initiative 1.9.2 including the formation of an ongoing working group of key City staff to research and evaluate the current General Plan adopted in 2006 as a prerequisite to completing a comprehensive update of the document; and,

WHEREAS, the City amended the General Plan in February 2014 to incorporate an updated Housing Element, and is currently moving forward with a comprehensive General Plan update which includes an update to the Housing Element; and

WHEREAS, the Annual Report includes vital General Plan and housing information from January 2019 to December 2019; and

WHEREAS, on February 27, 2020, the City Planning Commission reviewed the item as a report and provided a recommendation to City Council; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission of the City of Moreno Valley as follows:

The City of Moreno Valley has completed the General Plan Annual Report as required by California Government Code section 65400 for the 2019 calendar year. The Annual Report provided herein as an attachment to the staff report is found to be consistent with the suggested content in the State Guidelines and is hereby accepted.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2020-02 and hereby recommends that the City Council:

1. **CERTIFIES** that the General Plan Annual Report is exempt from environmental review in accordance with Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines, and
2. **FINDS** that the January 2019 to December 2019 General Plan Annual Report as presented is consistent with the requirements of Government Code Section 64000 with regard to reporting on status of the City General Plan and progress on its implementation, and is ready for submittal to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2020.

APPROVED this 27th day of February, 2020

AYES:
NOES:
ABSTAIN:

Jeffrey D. Sims
Chair, Planning Commission

2
Resolution No. 2020-02
Date Approved:

ATTEST:

APPROVED AS TO FORM:

Patty Nevins, Acting Community
Development Director
Secretary to the Planning Commission

City Attorney

Attachments:

Exhibit A: 2019 General Plan Annual Report

Attachment: Resolution 2020-02 [Revision 2] (3890 : Annual Progress Report as Required by Government Code 65400)

3
Resolution No. 2020-02
Date Approved:



CITY OF MORENO VALLEY
Community Development Department
Planning Division

GENERAL PLAN ANNUAL REPORT

JANUARY 1, 2019 – DECEMBER 31, 2019

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ATTACHMENTS

1. (APPENDIX A) HOUSING PROGRAM STATUS REPORT
2. (APPENDIX B) GENERAL PLAN GOALS, OBJECTIVES, POLICIES AND PROGRAMS

ACKNOWLEDGEMENTS

CITY COUNCIL (Elected)

Dr. Yxstian A. Gutierrez, Mayor
Victoria Baca, Mayor Pro-Tem
Dr. Carla Thornton
David Marquez
Ulises Cabrera

DISTRICT
CITYWIDE MAYOR
1
2
3
4

TERM EXPIRES
November 2022
November 2020
November 2022
November 2020
November 2022

PLANNING COMMISSION (Appointed)

Jeffrey D. Sims, Chairperson
Ray L. Baker, Vice Chairperson
Alvin DeJohnette
Patricia Korzec
Rafael Brugueras
Robert Harris
JoAnn Stephan

TERM EXPIRES
March 31, 2023
March 31, 2021
March 31, 2021
March 31, 2023
March 31, 2023
March 31, 2021
March 31, 2021

CITY MANAGER

Mike Lee, Interim

ASSISTANT CITY MANAGER

Allen D. Brock

COMMUNITY DEVELOPMENT DEPARTMENT

Patty Nevins, Acting Community Development Director

Planning Division

Albert Armijo, Interim Planning Manager
Ashley Aparicio, Administrative Assistant
Chris Ormsby, AICP Senior Planner
Claudia Manrique, Associate Planner
Gabriel Diaz, Associate Planner
Grace Espino-Salcedo, Permit Technician
Jeffrey Bradshaw, Associate Planner
Julia Descoteaux, Associate Planner
Leticia Esquivel, Senior Permit Technician
Sean P. Kelleher, Senior Planner
Summer Looy, Permit Technician
Vera Sanchez, Senior Administrative Assistant

ANNUAL REPORT SUMMARY

BACKGROUND

On December 3, 1984, the City of Moreno Valley was incorporated as a general law city led by a City Council-Manager form of government. Prior to incorporation, the City of Moreno Valley consisted of 42 square miles and a population of 49,702 people. As of December 2019, the City includes 51.56 square miles with a population of 210,639 people.

The City adopted its first General Plan in 1988. The General Plan was comprehensively amended and updated on July 11, 2006. The current General Plan recognizes the community's diverse population, distinct residential neighborhoods, neighborhood and regional commercial activities, industrial potential and recreational amenities.

This document constitutes an annual report to the Planning Commission and City Council as required by state law on the updates of programs and policies in the General Plan. The document includes major projects, General Plan amendments, a status report of goal objectives, policies and programs of the current General Plan, and a Housing Program Status Report. This Annual Report includes projects and information from January 1, 2019 through and up to December 31, 2019.

The following is a summary of the current adoption status of the different required elements of the General Plan:

- Circulation Element (2006)
- Community Development Element (2006)
- Conservation Element (2006)
- Housing Element (2014)
- Parks, Recreation and Open Space Element (2006)
- Safety and Noise Element (2006)

ANALYSIS

Government Code Section 65400

California Governments Code Section 65400 requires that prior to submittal to the Office of Planning & Research and Department of Housing and Community Development, the annual report be made to the legislative body of the submitting jurisdiction on the status of the General Plan and progress towards its implementation, including activity towards its share of regional housing needs. State law requires the following:

- A) A General Plan Annual Report shall be provided by April of each year to the City Council, the Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD); and

- B) A status of the General Plan and progress in its implementation shall be provided in the General Plan Annual Report; and
- C) Progress in meeting its share of the regional housing needs pursuant to Section 65584 of the Government Code shall be provided in the General Plan Annual Report.

Annual Review and Housing Program Summary Report

Pursuant to State Law, the Annual Report and Review of the City of Moreno Valley General Plan reports the progress in implementing the General Plan to the City Council. The City of Moreno Valley's Annual Report includes the following items:

1. A list of Major Accomplishments from January 2019 through December 2019
2. A list of General Plan Amendments from January 2019 through December 2019
3. Appendix A - Housing Element Implementation Progress Report includes the City's progress made in meeting its share of regional housing needs pursuant to State Government Code Section 65584.
4. Appendix B – Moreno Valley General Plan Complete List of Goals and Policies, which provides a status report of the 2006 General Plan goals, policies, objectives and programs towards implementing the City's blueprint for land use development.

Moreno Valley General Plan – Goals, Objectives, Policies and Programs

Appendix B evaluates the 2006 General Plan goals and policies in a comprehensive document providing the goal/policy number, a description of each goal and policy, a discussion on implementation status and the party responsible for carrying out each item.

- A goal is defined as a broad vision of what the community wants to achieve or provide to residents, landowners and business owners. It is a statement of a desired condition based on community values. Goals are general in nature and usually timeless.
- A policy is a specific statement that guides decision-making. It indicates a commitment of the City to a particular course of action. A policy is based on and assists to implement the goal.

The General Plan Annual Report also includes objectives leading up to the goal/policy as well as an update on existing programs.

General Plan Update

The State Office of Planning and Research (OPR) recommends that cities update their General Plan every ten (10) years. The City of Moreno Valley last completed an update to its General Plan on July 11, 2006, and has begun work on a comprehensive General Plan

update (MoVal 2040), scheduled to be completed by May 2021. The General Plan update is an extensive process that includes various public meetings involving City staff, commissions, and the update will involve extensive community outreach throughout the process, and several public hearings before the Planning Commission and City Council.

Momentum MoVal, the City of Moreno Valley's Strategic Plan, represents the results of active engagement by Moreno Valley residents and the City Council in charting the community's course into the future. Adopted on August 16, 2016, the document provides a course of action for the City's next comprehensive General Plan update. This includes Objective 1.9 to "Ensure the City's General Plan articulates the vision of how Moreno Valley wants to evolve over time, and provides an orderly and predictable process through which this vision is developed and implemented, including new attention to economic development, sustainability, public health, and innovation."

Four (4) initiatives have been adopted with this effort to assist in preparing for and completing the comprehensive General Plan Update. This includes two (2) initiatives related to the completion of the General Plan Annual Report. Initiative 1.9.1 required the preparation of a General Plan Annual Report to the City Council before April 1, 2017 that explains how current land use decisions relate to adopted goals, policies and other implementation measures, and as appropriate, identifies necessary course adjustments consistent with the Strategic Plan. This effort was completed in March of 2017 and serves as the continued course of action to ensure that City actions are consistent with Government Code 65400. Initiative 1.9.2 called for the formation of a working group of key City staff to research and evaluate the General Plan adopted in 2006 as a prerequisite to initiating a comprehensive update of the General Plan. The working group held periodically meetings as warranted between October 2016 and December 2017. While the group did not meet during 2018 and 2019, meetings will reconvene in 2020 as part of the comprehensive General Plan update process.

Additional initiatives included in the City's Strategic Plan articulate a plan of action for completion of the comprehensive General Plan update. These include Initiative 1.9.3, which "includes consideration of incremental set aside of funding in the annual budget development in anticipation of future General Plan update and Initiative 1.9.4, which calls for "conducting the comprehensive update of the City's General Plan and supporting environmental document, including all mandatory elements (including the Housing Element (Cycle 6), which is due to the State on October 15, 2021). The comprehensive General Plan update (MoVal 2040) would also include an Economic Development Element, and other desired optional Elements as authorized by the City Council." This initiative has been implemented with funding set aside for the update, and a qualified consultant firm was selected to prepare the General Plan update as part of a competitive RFP process. The work on the update began in November 2019.

As of January 1, 2018, California's cities, counties, and charter cities are required to either adopt an Environmental Justice Element in their General Plan or integrate Environmental Justice policies and goals into the elements of their General Plan "upon the adoption or next revision of two or more elements concurrently." Gov. Code Sec. 65302(h)(2). Moreno Valley

is moving ahead with preparation of an Environmental Justice Element as part of the comprehensive General plan update.

CONCLUSION

The City of Moreno Valley General Plan continues to serve as an effective guide for orderly growth and development, preservation and conservation of open space and natural resources. The document also provides for the efficient expenditure of public funds.

As illustrated in the attachments provided with this document, completed public projects are in conformance with the City’s General Plan goals, objectives, policies and programs for each representative element. The City of Moreno Valley’s legislative bodies have used the 2006 General Plan as a primary source of long-range planning and policy direction. Future work activity that is consistent with these efforts will continue to guide future growth and preserve the quality of life within the community.

MAJOR ACCOMPLISHMENTS

The City of Moreno Valley is committed to implementing the adopted General Plan, Development Code and Design Guidelines. The Development Code and Design Guidelines, combined with the adopted Landscape Guidelines, are major tools to implement the General Plan.

The purpose of this Annual Report is to highlight significant accomplishments and summarize ongoing General Plan projects that the City of Moreno Valley has been working on since January of 2019. Major accomplishments include key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the General Plan. This report is prepared in accordance with Section 65040.5 of the California Government Code.

Major Accomplishments in 2019

Major development projects reviewed and approved in January 2019 through December 2019 are as follows:

- PEN18-0082 (Conditional Use Permit): Conditional Use Permit (CUP) for an 88 room (116 beds) skilled nursing facility located on the north side of Alessandro Boulevard, east of Kitching Street.
- PEN16-0066 (Plot Plan): Twenty (20) unit senior apartment complex located on the north side of Webster Avenue between Heacock Street and Indian Street.
- PEN18-0205 (Plot Plan): Approval of a 78 unit transitional residential care housing facility (Horizons at Moreno Valley), located on the south side of Box Springs Road, west of Day Street.
- PEN19-0047 (Plot Plan): Plot Plan for a new auto dealership in the Moreno Valley Auto Mall located at northeast corner of Moreno Beach Drive and Auto Mall Drive.
- PEN18-0080 (Tentative Tract Map 37462): Eight (8) single-family residential lots located along the north side of Bradshaw Circle, approximately 425 feet from the northeast corner of Moreno Beach Drive and Cactus Avenue.
- PEN18-0066 (Change of Zone), PEN18-0067 (Expanded Environmental Review), and PEN18-0065 (Tentative Parcel Map 37643): A Change of Zone from Residential Agriculture 2 (RA2) to Residential 5 (R5) and Tentative Parcel Map 37643 for 31 single-family residential lots. The project is located on the south side of Cottonwood Avenue at Lakeport Drive.

-
- PEN18-0064 (Plot Plan): Eighteen (18) unit multi-family residential development located on the west side of Edgemont Street between Eucalyptus Avenue and Dracaea Avenue.
 - PEN18-0086 (Planned Unit Development): Twenty (20) unit multi-family complex located on the south side of Fir Avenue between Indian Street and Perris Boulevard.

GENERAL PLAN IMPLEMENTATION

The General Plan and Development Code provide the City of Moreno Valley the tools necessary to guide the development of the City into the next century. Implementation of the General Plan includes key projects that demonstrate how the City of Moreno Valley is carrying out the policy and vision of the Plan.

General Plan Implementation in 2019

The following General Plan related projects reviewed and approved in January 2019 through December 2019 are as follows:

- PEN18-0119 (General Plan Amendment), PEN18-0120 (Specific Plan Amendment), PEN18-0121 (Change of Zone), PEN18-0090 (Tentative Parcel Map 37514), and PEN18-0107 (Plot Plan):

The project included five applications. The General Plan Amendment changed the land use designations for a portion of the site from Residential 20 (R20) to Commercial (C). The Specific Plan Amendment and Change of Zone changed the zoning from High Density Residential (SP 193 H) to Medium High Density Residential (SP 193 MHR) and Commercial (SP 193 C). Tentative Parcel Map (TPM) 37514 will subdivide the approximately 19 acre site into three parcels. The related Plot Plan will develop a 112 unit multiple family apartment project on approximately 8.8 acres (Parcel #3). The project is located at the northeast corner of Lasselle Street and Krameria Avenue, within the Moreno Valley Ranch Specific Plan.

- PEN18-0191 (General Plan Amendment), PEN18-0192 (Change of Zone), PEN18-0193 (Expanded Environmental Review), and PEN18-0254 (Plot Plan): A General Plan Amendment was approved from Commercial (C) to Business Park (BP), Change of Zone from Community Commercial (CC) to Light Industrial (LI), and related Plot Plan for a 767,886 square foot industrial logistics building on 35.5 acres. The project is located at the northeast corner of Redlands Boulevard and Eucalyptus Avenue.
- PEN19-0108 (General Plan Amendment), PEN19-0109 (Change of Zone), PEN19-0097 (Expanded Environmental Review), and PEN19-0110 (Plot Plan): A General Plan Amendment was approved from Residential 5 to Residential 10 and Public (P), Change of Zone from Residential 5 to Residential 10 and Public (P), and Plot Plan for an 80 unit affordable multiple family residential development on approximately 6.78 acres and a 1.59-acre site (Parcel 2) designated for public facilities, to be retained by the City. Twenty (20) of the units will be reserved for senior citizen households. The project is located at the northeast corner of Cottonwood Avenue and Indian Street.

Attachment A: 2019 Housing Element Annual Progress Report Table

| SUMMARY | | |
|----------------|------------------------------|---------------------------------|
| Jurisdiction | City of Moreno Valley | |
| Reporting Year | 2019 | (January 1- December 31) |

| Permitted Units Issued by Affordability Summary | | |
|--|---------------------|---------------------|
| Income Level | | Current Year |
| Very Low | Deed Restricted | 0 |
| | Non-Deed Restricted | 0 |
| Low | Deed Restricted | 0 |
| | Non-Deed Restricted | 0 |
| Moderate | Deed Restricted | 0 |
| | Non-Deed Restricted | 238 |
| Above Moderate | | 284 |
| Total Units 44 | | 522 |

Note: units serving extremely low-income households are included in the very low-income permitted units totals

| Entitlement Summary | |
|--|--------------|
| Total Housing Applications Submitted: | 39 |
| Number of Proposed Units in All Applications Received: | 1,406 |
| Total Housing Units Approved: | 1,073 |
| Total Housing Units Disapproved: | 0 |
| Use of SB 35 Streamlining Provisions | |
| Number of Applications for Streamlining | 0 |
| Number of Streamlining Applications Approved | 0 |
| Total Developments Approved with Streamlining | 0 |
| Total Units Constructed with Streamlining | 0 |

| Units Constructed - SB 35 Streamlining Permits | | | |
|---|---------------|------------------|--------------|
| Income | Rental | Ownership | Total |
| Very Low | 0 | 0 | 0 |
| Low | 0 | 0 | 0 |
| Moderate | 0 | 0 | 0 |
| Above Moderate | 0 | 0 | 0 |
| Total | 0 | 0 | 0 |

| | | |
|----------------|---------------|--------------------|
| Jurisdiction | Moreno Valley | |
| Reporting Year | 2019 | (Jan. 1 - Dec. 31) |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

Note: "*" indicates an optional field
 Cells in grey contain auto-calculation formulas

(CCR Title 25 §6202)

| Table A Housing Development Applications Submitted | | | | | | | | | | | | | | | | | | | |
|---|-------------|---|---------------|---------------------------------|--|-------------------------|----------------------------|---|-------------------------------------|----------------------------|--------------------------------|---------------------------------|-------------------------------------|-----------------------|---------------------------------|------------------------------------|---|---|----------------------|
| Project Identifier | | | | | Unit Types | | Date Application Submitted | Proposed Units - Affordability by Household Incomes | | | | | | | Total Approved Units by Project | Total Disapproved Units by Project | Streamlining | Notes | |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | | |
| Prior APN* | Current APN | Street Address | Project Name* | Local Jurisdiction Tracking ID* | Unit Category (SFA,SFD,2 to 4,5+,ADU,MH) | Tenure R=Renter O=Owner | Date Application Submitted | Very Low-Income Deed Restricted | Very Low-Income Non Deed Restricted | Low-Income Deed Restricted | Low-Income Non Deed Restricted | Moderate-Income Deed Restricted | Moderate-Income Non Deed Restricted | Above Moderate-Income | Total PROPOSED Units by Project | Total APPROVED Units by project | Total DISAPPROVED Units by Project (Auto-calculated Can Be Overwritten) | Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining) | Notes* |
| Summary Row: Start Data Entry Below | | | | | | | | | | | | | | | | | | | |
| | 263132022 | 21704 DRACALA AVE, MORENO VALLEY, CA 92553 | Custom Home | PEN19-0012 | SFD | O | 1/16/2019 | | | | | | | 1 | 1 | | 0 | No | |
| | 263132031 | 13141 EDGEHOMT ST, MORENO VALLEY, CA 92553 | Custom Home | PEN19-0231 | SFD | O | 11/7/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 264053004 | 11070 SADDLE RIDGE RD, MORENO VALLEY, CA 92557 | Plot Plan | PEN19-0111 | ADU | O | 5/8/2019 | | | | | | | 1 | 1 | 1 | 0 | No | In Review |
| | 264261033 | 22755 WILD GERANIUM LN, MORENO VALLEY, CA 92557 | Plot Plan | PEN19-0208 | ADU | O | 10/1/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 291321005 | 13476 OAK DELL ST, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0092 | ADU | O | 4/10/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 291325003 | 22751 BAYWOOD DR, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0022 | ADU | O | 1/22/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 291403002 | 22640 KINROSS LN, MORENO VALLEY, CA 92557 | Plot Plan | PEN19-0124 | ADU | O | 6/4/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 292291023 | MORENO VALLEY | Custom Home | PEN19-0224 | SFD | O | 10/31/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 296126013 | 23686 SUNCREST AVE, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0242 | ADU | O | 11/26/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 474120051 | MORENO VALLEY | Custom Home | PEN19-0072 | SFD | O | 3/5/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 474120054 | Perris Blvd, MORENO VALLEY, CA 92553 | Custom Home | PEN19-0070 | SFD | O | 2/27/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 474161035 | Mathews Rd, Moreno Valley, CA 92557 | Plot Plan | PEN19-0258 | ADU | O | 12/19/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 474161035 | Mathews Rd, Moreno Valley, CA 92557 | Custom Home | PEN19-0257 | SFD | O | 12/19/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 475160062 | 11608 INDIAN ST, MORENO VALLEY, CA 92557 | Plot Plan | PEN19-0121 | ADU | O | 5/30/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 478175003 | 28889 WILLIAMS AVE, MORENO VALLEY, CA 92555 | Plot Plan | PEN19-0165 | ADU | O | 7/19/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 479473015 | 25462 BAY AVE, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0158 | ADU | O | 7/9/2019 | | | | | | | 1 | 1 | | 0 | No | Approved |
| | 482020015 | 24094 ATWOOD AVE, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0085 | ADU | O | 4/2/2019 | | | | | | | 1 | 1 | | 0 | No | Resubmittal Required |
| | 482414016 | 14901 SILVERTREE RD, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0253 | ADU | O | 12/13/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 482442016 | 14212 BRANDT DR, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0113 | ADU | O | 5/14/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 484071014 | 14131 FLAMINGO BAY LN, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0186 | ADU | O | 8/16/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 484233003 | 14568 MAY LN, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0006 | ADU | O | 1/4/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 484241005 | 25197 DELPHINIUM AVE, MORENO VALLEY, CA 92553 | Plot Plan | PEN19-0091 | ADU | O | 4/9/2019 | | | | | | | 1 | 1 | 1 | 0 | No | Approved |
| | 485101042 | 15343 SWARENS CT, MORENO VALLEY, CA 92551 | Custom Home | PEN19-0256 | SFD | O | 12/18/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 486122004 | 25599 VISTA FAMOSO DR, MORENO VALLEY, CA 92551 | Plot Plan | PEN19-0241 | ADU | O | 11/23/2019 | | | | | | | 1 | 1 | | 0 | No | In Review |
| | 260500034 | 10292 PENGUIN CT, MORENO VALLEY, CA 92557 | Plot Plan | PEN19-0194 | SFD | O | 8/28/2019 | | | | | | | 7 | 7 | 7 | 0 | No | Approved |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
ICR No. 22 (2019)

Table A2: Annual Building Activity Report Summary, New Construction, Critical Permits and Completed Units. The table includes columns for Project Identifier, Unit Types, Affordability by Household Income, Affordability by Household Income - Building Permits, and Affordability by Household Income - Certificate of Occupancy. It lists various housing projects with their respective unit counts, completion dates, and funding sources.

Attachment: Appendix A: 2019 Housing Element Annual Progress Report Table (3890 : Annual Progress

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
IGR 18 21 0000

Table with 14 columns: Item #, Name, Location, Status, Date, Action, Priority, Type, Amount, Year, Status, Date, Action, Priority, Type, Amount, Year. The table lists various housing projects across multiple categories, including affordable housing, workforce housing, and family housing. Many rows are highlighted in green, indicating completed or on-track projects. The right side of the table contains a grid of empty cells, likely representing a calendar or timeline.

Attachment: Appendix A: 2019 Housing Element Annual Progress Report Table (3890 : Annual Progress

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
06/27/19 to 01/31/20

Year: 2019, 2020

City: San Jose, CA

Category: Public Housing

Element: 2019-2020

Objective: 1.0

Priority: 1.0

Metric: 1.0

Target: 1.0

Actual: 1.0

Comments: All metrics are currently in green, indicating they are on track.

| | | |
|----------------|---------------|--------------------|
| Jurisdiction | Moreno Valley | |
| Reporting Year | 2019 | (Jan. 1 - Dec. 31) |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
 Please contact HCD if your data is different than the material supplied here

| Table B | | | | | | | | | | | | | |
|--|---------------------|---------------------------------|------|------|------|------|------|------|------|------|------|---------------------------------|--------------------------------------|
| Regional Housing Needs Allocation Progress | | | | | | | | | | | | | |
| Permitted Units Issued by Affordability | | | | | | | | | | | | | |
| | | 1 | 2 | | | | | | | | 3 | 4 | |
| Income Level | | RHNA Allocation by Income Level | 2013 | 2014 | 2015 | 2016 | 2017 | 2018 | 2019 | 2020 | 2021 | Total Units to Date (all years) | Total Remaining RHNA by Income Level |
| Very Low | Deed Restricted | 1500 | | | | | | | | | | | 1500 |
| | Non-Deed Restricted | | | | | | | | | | | | |
| Low | Deed Restricted | 993 | | | | | | | | | | | 993 |
| | Non-Deed Restricted | | | | | | | | | | | | |
| Moderate | Deed Restricted | 1112 | | | | | 92 | 135 | 238 | | | 465 | 647 |
| | Non-Deed Restricted | | | | | | | | | | | | |
| Above Moderate | | 2564 | 93 | 103 | 119 | 341 | 424 | 284 | | | | 1364 | 1200 |
| Total RHNA | | 6169 | | | | | | | | | | | |
| Total Units | | | 93 | 103 | 119 | 433 | 559 | 522 | | | | 1829 | 4340 |

Note: units serving extremely low-income households are included in the very low-income permitted units totals
 Cells in grey contain auto-calculation formulas

| | |
|----------------|-------------------------|
| Jurisdiction | Moreno Valley |
| Reporting Year | 2019 (Jan. 1 - Dec. 31) |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation

(CCR Title 25 §6202)

Note: "*" indicates an optional field
 Cells in grey contain auto-calculation formulas

Table C

| Table C Sites Identified or Rezoned to Accommodate Shortfall Housing Need | | | | | | | | | | | | | | | | | |
|--|----------------|---------------|---------------------------------|----------------|---|------------|-----------------|-----------------------|-------------------|---------------------|--------------------------|--------|-------------------------|-------------------------|--------------------|------------------|------------------------------|
| Project Identifier | | | | Date of Rezone | RHNA Shortfall by Household Income Category | | | | Type of Shortfall | Sites Description | | | | | | | |
| 1 | | 2 | 3 | | | | 4 | 5 | 6 | 7 | 8 | | 9 | 10 | 11 | | |
| APN | Street Address | Project Name* | Local Jurisdiction Tracking ID* | Date of Rezone | Very Low-Income | Low-income | Moderate-Income | Above Moderate-Income | Type of Shortfall | Parcel Size (Acres) | General Plan Designation | Zoning | Minimum Density Allowed | Maximum Density Allowed | Realistic Capacity | Vacant/Nonvacant | Description of Existing Uses |
| Summary Row: Start Data Entry Below | | | | | | | | | | | | | | | | | |
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| Table D | | | |
|--|--|--|--|
| Program Implementation Status pursuant to GC Section 65583 | | | |
| Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element. | | | |

| 1 | 2 | 3 | 4 |
|-----------------|--|---------------------|---|
| Name of Program | Objective | Timeframe | Status of the Program Implementation |
| Action 1.1 | <p>Review and update the General Plan periodically (if an update is needed) to ensure that growth trends are addressed.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014 – 2021 | The City of Moreno Valley is currently working on a comprehensive General Plan Update due to be completed in May 2021. The effort is entitled "MoVal 2040". |
| Action 1.2 | <p>Encourage variety of housing development through various Overlay zone alternatives (Senior Housing, Planned Development, Mixed Use) or with the density bonus incentives.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i> <i>Objective: Target 1 mixed-use project over the planning period.</i></p> | Ongoing 2014 – 2021 | Ongoing |
| Action 1.3 | <p>The Moreno Valley Housing Authority will utilize available funding, HOME, CDBG, etc. allocations to provide the following incentives which may be applied to an affordable housing project: 1) Lease or purchase of City owned property at low rates; 2) Provision of off-site improvements.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: CDBG, HOME, General Fund</i></p> | Ongoing 2014 – 2021 | Ongoing |
| Action 1.4 | <p>Encourage a mixture of diverse housing types and densities in new developments, guided by specific plans</p> | Ongoing 2014 – 2021 | Ongoing |

| | | | |
|------------|---|---------------------|--|
| | <p>and the Mixed Use Overlay District, around Sunnymead and Alessandro Boulevards and throughout the City. Focus development activity within the Village Specific Plan (SP 204) area to suitably zoned underutilized land and the potential for mixed-use projects exists for the development of affordable housing.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund, Moreno Valley Housing Authority</i> <i>Objective: Target 1 mixed-use project over the planning period.</i></p> | | |
| Action 1.5 | <p>Support the use of innovative building techniques and construction materials for residential development, such as energy efficient buildings that utilize solar panels and sustainable building materials that are recyclable.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021 (latest grant funded through December 2014)</i> <i>Potential Funding Source: General Fund, Grants</i> <i>Objective: Using SC Edison grants to develop innovative development standards for energy conservation.</i></p> | Ongoing 2014 – 2021 | Ongoing Latest grant funded through December 2014. |
| Action 1.6 | <p>Work with Habitat for Humanity to utilize vacant Housing Authority owned infill lots for single-family development to provide housing for lower income families and individuals.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division, Business Support & Neighborhood Programs Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: CDBG& NSP 3 funds for acquisition of property to be rehabilitated and sold</i> <i>Objective: Approval of 8 unit Tract Map and building 8 units in the planning period. Tentative Tract map for project</i></p> | Ongoing 2014 – 2021 | Approval of 8 unit Tract Map (TTR 36598) and building of all 8 single-family residences by Habitat for Humanity. TTR 36598 was approved at Planning Commission on December 12, 2013. The residences were all finalized and occupied in 2016. |

| | | | |
|------------|--|---------------------|---|
| | <i>was approved at Planning Commission in on December 12, 2013. Building of units to begin in Fall 2014.</i> | | |
| Action 1.7 | <p>Continue to track affordable housing units City-wide. This includes monitoring the method by which units remain affordable to lower-income households (i.e. covenants, deed restrictions, loans, etc.).</p> <p>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division and Moreno Valley Housing Authority Timeframe: Ongoing 2014-2021 Potential Funding Source: General Fund</p> | Ongoing 2014 – 2021 | Support provided by the City of Moreno Valley Business Support & Neighborhood Programs Division and Moreno Valley Housing Authority, which is now part of the Financial & Management Services Department. |
| Action 1.8 | <p>The Planning Division will utilize design, development, processing and streamlining incentives, such as reductions in parking requirements, and other standards, to encourage residential uses and to promote more intense residential development in the Mixed Use Districts Overlay and Residential 30 (R30) areas. Information on these financial and regulatory incentives will be made available on the City's website and in public places at City Hall.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division Timeframe: Ongoing 2014-2021 Potential Funding Sources: General Fund, Tax Credits, HOME funds, CDBG, CHFA funds, HUD, Local Lenders Objective: Promote development of one mixed use project for lower and moderate-income households</i></p> | Ongoing 2014 – 2021 | Ongoing |
| Action 1.9 | <p>Establish parking standards for senior and affordable housing developments that are located in proximity to transit stops.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division Timeframe: Adopt by end of 2014 Potential Funding Source: General Fund Objective: To promote high density housing near transportation opportunities. Promote development of</i></p> | Ongoing 2014 – 2021 | <p>Ongoing</p> <p>Parking standards are reduced for senior/affordable projects.</p> |

| | | | |
|-------------|---|---------------------|---------|
| | <i>one senior and affordable housing development over the planning period.</i> | | |
| Action 1.10 | <p>To encourage the development of affordable residential and mixed-use projects, the City will offer incentives such as a reduction in development standards (i.e. lot size and parking requirements) and with assistance from the Moreno Valley Housing Authority, subsidize a portion of development costs to encourage lot consolidation and to promote more intense residential and mixed-use development on vacant and underutilized sites within the Village Specific Plan (SP 204) area. While the City is more than able to accommodate the remaining RHNA allocation for the planning period on sites larger than one acre, this program allows for the City to begin planning for the future by encouraging property owners to consolidate adjacent properties to develop larger projects.</p> <p><i>Responsible Agency: The City of Moreno Valley Planning Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014 – 2021 | Ongoing |

| | | | |
|------------|---|-------------------|---------|
| Action 2.1 | <p>Utilize resources such as HOME funds, California Housing Finance Agency single-family and multiple-family programs, HUD Section 208/811 loans, and HOPE II and III Homeownership programs to stimulate private developer and non-profit entity efforts in the development and financing of housing for lower and moderate-income households.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: HOME funds, CDBG, CHFA funds, HUD, Local Lenders</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 2.2 | <p>The Moreno Valley Housing Authority should facilitate discussions between developers and local banks to meet their</p> | Ongoing 2014-2021 | Ongoing |

| | | | |
|------------|---|-------------------|---------|
| | <p>obligations pursuant to the California Community Reinvestment Act (CCRA) providing favorable financing to developers involved in projects designed to provide lower and moderate-income housing opportunities.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i></p> | | |
| Action 2.3 | <p>Consider pursuing a program through the Moreno Valley Housing Authority, if funding is available, or through interested certified Community Housing Development Organization's (CHDO) and/or non-profit organizations, to purchase affordability covenants on existing multiple-family units, subject to restrictions that the affordability covenants would be in effect for not less than 30 years, and that at least 20 percent of the units would be affordable to extremely low- and very low-income households.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: Moreno Valley Housing Authority, CDBG, HOME, Bond Financing</i> <i>Objective: Target one project of a minimum of 40 units for extremely-low and very-low incomes.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 2.4 | <p>To comply with Senate Bill 2, the City has amended the Moreno Valley Industrial Area Plan (SP 208) to permit emergency shelters by right in the Industrial Support Area without a conditional use permit or other discretionary permit. The City will continue to monitor the inventory of sites appropriate to accommodate emergency shelters and will work with appropriate organizations to ensure the needs of the homeless population whenever possible.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i></p> | Ongoing 2014-2021 | Ongoing |

| | | | |
|------------|---|--------------------------|--|
| | <p><i>Timeframe: 2014-2021</i> <i>Potential Funding Source: General Fund, Emergency Shelter Grant Funds</i> <i>Objective: Yearly review of inventory sites in the Moreno Valley Industrial Area Plan (SP 208)</i></p> | | |
| Action 2.5 | <p>The City will maintain a list of mortgage lenders participating in the California Housing Finance Agency (CHFA) program and refer the program to builders or corporations interested in developing housing in the City.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i></p> | <i>Ongoing 2014-2021</i> | <p>Ongoing</p> <p>List available from the Moreno Valley Housing Authority.</p> |
| Action 2.6 | <p>Continue cooperation with the Riverside County Housing Authority to provide Section 8 rental assistance and work with property owners to encourage expansion of rental projects participating in the program.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority and Riverside County Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: Riverside County Housing Authority, HUD Section 8</i></p> | <i>Ongoing 2014-2021</i> | <p>Ongoing</p> <p>City continues to work with the Moreno Valley Housing Authority.</p> |
| Action 2.7 | <p>Provide incentives for development of lower income housing through the density bonus program. Actively promote its use in conjunction with mixed-use projects in the Mixed Use Districts Overlay, for senior housing, and within multiple-family zones.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund, Tax Credits</i> <i>Objective: Target 1 mixed-use project over the planning period.</i></p> | <i>Ongoing 2014-2021</i> | <p>Ongoing</p> <p>Density program is ongoing.</p> |

| | | | |
|--------------------|---|--------------------------|---|
| <p>Action 2.8</p> | <p>Continue to support the City's effort of encouraging multiple-family developments with affordability covenants on units through offering development incentives. These incentives could include reduction in development standards, and expedited permit processing.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: CDBG, HOME funds, Bond Financing</i> <i>Potential Funding Source: General Fund</i> <i>Objective: Target 1 mixed-use project over the planning period.</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> <p>Development incentives are ongoing.</p> |
| <p>Action 2.9</p> | <p>Pursuant to Government Code Section 65583, the City of Moreno Valley is obligated to remove potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels and for persons with disabilities. To address the needs of this population, the City amended the Zoning Code to adopt formal reasonable accommodation procedures. Reasonable accommodation provides a basis for residents with disabilities to request flexibility in the application of land use and zoning regulations or, in some instances, even a waiver of certain restrictions or requirements from the local government to ensure equal access to housing opportunities. The City will provide information regarding the City's reasonable accommodation ordinance and make information on the program more widely available to residents.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: General Fund, HUD Section 202/811 funds</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> |
| <p>Action 2.10</p> | <p>Prioritize resources such as HOME funds, California Housing Finance Agency single-family and multiple-family programs, HUD Section</p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> |

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|-------------|--|-------------------|---|
| | <p>208/811 loans for the development of rental projects that provide units with two or three bedrooms.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: CHFA funds, HUD loans, HOPE funds, HOME funds</i> <i>Objective: Promote the development of 20 rental units with two or three bedrooms</i></p> | | |
| Action 2.11 | <p>The City will adopt a density bonus ordinance in compliance with Government Code Section 65915.</p> <p><i>Responsible Agency: Planning Division</i> <i>Timing: Adopt by end of 2014</i> <i>Funding: General Fund</i> <i>Objective: To promote the financial feasibility of development affordable to lower-income households utilizing density bonuses and incentives and concessions.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 3.1 | <p>The City shall expedite and prioritize development processing time of applications for new construction or rehabilitation of housing for lower and moderate-income households and seniors (Previously referred to as Program 8.16). Expedited permit processing would allow complete development applications to be reviewed at an accelerated rate by City Staff in order to ensure that permit processing times do not create a potential constraint on the development of affordable units by adding to the overall cost of the project.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing Expedited permit processing is available for new construction or rehabilitation. |
| Action 3.2 | <p>To accommodate the needs of extremely low-income households and households with special needs</p> | Ongoing 2014-2021 | Ongoing |

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| | <p>and comply with Senate Bill 2, the City amended Zoning Code Section 9.09.190 to include Single room occupancy (SRO) facilities. Residential 30 (R30), the Mixed Use District Overlay and Community Commercial (CC) allow Single Room Occupancy (SRO) housing as a permitted use without a conditional use permit or other discretionary permit. The City will continue to monitor the inventory of sites appropriate to accommodate single-room occupancy units and will work with the appropriate organizations to ensure the needs of extremely low-income residents are met.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: General Fund</i> <i>Objective: Yearly review of site inventory.</i></p> | | |
| <p>Action 3.3</p> | <p>Continue to permit manufactured housing on permanent foundations in residential zones subject to compatibility criteria (manufactured housing is subject to the same design review criteria as custom or tract homes).</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing 2014-2021</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> <p>Continues to be allowed.</p> |
| <p>Action 3.4</p> | <p>In accordance with Government Code Section 65589.7 as revised in 2005, immediately following City Council adoption, the City must deliver a copy of the 2014-2021 Housing Element to all public agencies or private entities that provide water or sewer services to properties within the City of Moreno Valley.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: By March 1, 2014</i> <i>Potential Funding Source: General Fund</i></p> | <p>Ongoing 2014-2021</p> | <p>Completed by March 1, 2014.</p> |

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| <p>Action 3.5</p> | <p>Administer contract with fair housing agency (Previously referred to as Program 8.7). These services provide educating households on their rights and responsibilities and assist residents with fair housing issues.</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: General Fund</i> <i>Objective: To assist 2,500 households during the planning cycle of 2014-2021.</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> <p>Services are ongoing.</p> |
| <p>Action 3.6</p> | <p>Maintain Development Impact Fees (DIF) at a lower level for affordable units (Previously referred to as Program 8.15). The City offers 25% reduction in the Development Impact Fees (DIF) for affordable housing developments.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing</i> <i>Potential Funding Source: General Fund</i> <i>Objective: 600 affordable units over the planning cycle.</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> |
| <p>Action 3.7</p> | <p>Defer Development Impact Fee for affordable units, until issuance of Certificate of Occupancy (Previously referred to as Program 8.14).</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing</i> <i>Potential Funding Source: General Fund</i> <i>Objective: 600 affordable units over the planning cycle.</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> |
| <p>Action 3.8</p> | <p>Waive Traffic Uniform Mitigation Fee (TUMF) for affordable units (Previously referred to as Program 8.17).</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i></p> | <p>Ongoing 2014-2021</p> | <p>Ongoing</p> |

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| | <p><i>Timeframe: Ongoing</i> <i>Potential Funding Source: General Fund</i> <i>Objective: 600 affordable units over the planning cycle.</i></p> | | |
| Action 3.9 | <p>Apply for grant funds to upgrade water infrastructure in the Box Springs Municipal Water Company (BSMWC) service area (Previously referred to as Program 8.22).</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Business Support & Neighborhood Programs Division</i></p> <p><i>Timeframe: Ongoing</i> <i>Potential Funding Source: Grants</i> <i>Objective: The City will continue to research grant opportunities.</i></p> | Ongoing 2014-2021 | N/A |

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| Action 4.1 | <p>Continue to provide favorable home purchasing options to lower and moderate-income households, when funds are available, through the County of Riverside's First Time Homebuyers Down Payment Assistance Program and homeownership assistance with the County Mortgage Credit Certificate (MCC) program.</p> <p><i>Responsible Agency: County of Riverside Housing Authority and Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: County of Riverside Economic Development Department</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 4.2 | <p>Continue to work with Habitat for Humanity in the development of single-family homes for lower income families.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: HOME Funds</i> <i>Objective: Approval of 8 unit Tract Map and building 8 units in the</i></p> | Ongoing 2014-2021 | <p>Ongoing</p> <p>SF homes built in 2014. Program remains in place, but no recent activity.</p> |

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| | <p><i>planning period. Tentative Tract map was approved at Planning Commission on December 12, 2013. Building of units to begin in Fall 2014.</i></p> | | |
| Action 4.3 | <p>The Moreno Valley Housing Authority shall provide support to the California Housing Finance Agency (CHFA) program, which supports construction of new owner-occupied units in conjunction with non-profit organizations and/or private developers through advertisement and referral to the program.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority Timeframe: Ongoing 2014-2021 Potential Funding Source: HOME Funds, CHFA Funds</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 4.4 | <p>The City shall establish relationships with local lenders, developers and other constituencies such as realtors, and non-profit organizations through community outreach workshops that emphasize specific ideas, issues, and expectations for future development in Moreno Valley.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority Timeframe: Ongoing 2014-2021 Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 4.5 | <p>Provide funds for Homebuyer Assistance Program (HAP) silent seconds. Work with approved lenders that have HAP experience. The goal of the program is to provide homeownership for low and moderate income families (Previously referred to as Program 8.10).</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division Timeframe: 2014-2021 Potential Funding Source: CDBG funds Objective: Target of 15 units during the planning cycle of 2014-2021.</i></p> | Ongoing 2014-2021 | Ongoing |

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| Action 5.1 | <p>Maintain code compliance to ensure building safety and integrity of residential neighborhoods. Enforce the building code through issuance of a permit prior to construction, repair, addition to, or relocation of any residential structure.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Building Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 5.2 | <p>Monitor the substandard dwellings which cannot be economically repaired and remove when necessary and feasible.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i> <i>Objective: Target of 3 units during the planning period.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 5.3 | <p>Administer a program to provide grant funds for neighborhood beautification in targeted neighborhoods (Previously referred to as Program 8.3).</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: CDBG funds</i> <i>Objective: Target of 3 units per year during the planning cycle of 2014-2021.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 5.4 | <p>Receive and approve applications for Mobile Home Grant Program (the goal of the program is to correct substandard living conditions for very low-income owner-occupants). Market program via City Links newsletter. Continue to distribute program material to mobile home parks (Previously referred to as Program 8.4).</p> | Ongoing 2014-2021 | Ongoing |

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| | <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division and Habitat for Humanity</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: CDBG funds</i> <i>Objective: Target of 3 mobile homes per year during the planning cycle of 2014-2021.</i></p> | | |
| Action 5.5 | <p>Provide enhanced code compliance services in the CDBG target areas. Fund 5,000 hours of code enforcement in the CDBG target areas (Previously referred to as Program 8.5).</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division and Code and Neighborhood Services Division.</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: CDBG funds</i> <i>Objective: Target is to fund 5,000 hours of code enforcement over the next planning cycle of 2014-2021.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 5.6 | <p>Conduct five (5) annual neighborhood clean-ups, improving the living environment of residents. Provide bins for trash disposal.</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division and Code and Neighborhood Services Division.</i> <i>Timeframe: 2014-2021</i> <i>Potential Funding Source: CDBG funds</i> <i>Objective: Target of 5 clean ups per year during the planning cycle of 2014-2021.</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 6.1 | <p>Encourage maximum utilization of Federal, State, and local government programs, such as the County of Riverside Home Weatherization Program and Western Riverside Council of Governments HERO</p> | Ongoing 2014-2021 | |

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| | <p>program, and assist homeowners in providing energy conservation measures.</p> <p><i>Responsible Agency: Moreno Valley Housing Authority</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: County of Riverside</i></p> | | |
| Action 6.2 | <p>Maintain and distribute literature on energy conservation, including solar power, additional insulation, and subsidies available from utility companies, and encourage homeowners and landlords to incorporate these features into construction and remodeling projects.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing Moreno Valley Utilities (MVU) |
| Action 6.3 | <p>Facilitate sustainable development in the City by enforcing the goals, policies, and implementation measures established in the proposed Sustainable Community section in the Conservation Element.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Building Division</i> <i>Timeframe: Ongoing 2014-2021</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 6.4 | <p>The City shall implement its local action plan for reduction of greenhouse gas emissions.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 6.5 | <p>Implement residential Solar Initiative Program to MV Utility customers (Previously referred to as Program 8.31). Literature for the public on energy saving programs offered by local utility companies are available in</p> | Ongoing 2014-2021 | Ongoing |

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| | <p>City Hall offices and on the City's website.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Utilities</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i> <i>Objective: The City will continue to encourage homeowners and landlords to incorporate energy conservation within construction and remodeling projects.</i></p> | | |
| Action 6.6 | <p>Market energy efficiency program for residents of MV Utility area (Previously referred to as Program 8.34). The City has energy efficiency information posted on its website and information regarding various programs is mailed out to MV Utility customers in their bills.</p> <p><i>Responsible Agency: City of Moreno Valley Planning Division and Moreno Valley Utilities</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing |
| Action 7.1 | <p>The City, in conjunction with the Riverside County Fair Housing Council, shall support efforts dedicated to working towards the elimination of the discrimination of housing by actively pursuing any complaints of housing discrimination within the City. Information detailing fair housing practices will be made available at City Hall and on the City's website. Additionally, the City will participate with the Riverside County Fair Housing Council to conduct workshops and seminars about landlord and tenant responsibilities and rights (Previously referred to as Program 8.7).</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division</i></p> | Ongoing 2014-2021 | Ongoing |

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| | <p><i>and Riverside County Fair Housing Council</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: CDBG</i> <i>Objective: To assist 2,500 households during the planning cycle of 2014-2021.</i></p> | | |
| Action 7.2 | <p>The housing needs of persons with developmental disabilities are typically not addressed by Title 24 Regulations, and requires in addition to basic affordability, slight modifications to existing units, and in some instances, a varying range of supportive housing facilities. To accommodate residents with developmental disabilities, the City will seek State and Federal monies, as funding becomes available, in support of housing construction and rehabilitation targeted for persons with developmental disabilities. Moreno Valley will also provide regulatory incentives, such as expedited permit processing, and fee waivers and deferrals, to projects targeted for persons with developmental disabilities. To further facilitate the development of units to accommodate persons with developmental disabilities, the City shall reach out to developers of supportive housing to encourage development of projects targeted for special needs groups. Finally, as housing is developed or identified, Moreno Valley will work with the Inland Regional Center to implement an outreach program informing families within the City of housing and services available for persons with developmental disabilities. Information will be made available on the City's website.</p> <p><i>Responsible Agency: City of Moreno Valley Business Support & Neighborhood Programs Division</i> <i>Timeframe: Ongoing 2014-2021</i> <i>Potential Funding Source: General Fund</i></p> | Ongoing 2014-2021 | Ongoing |

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| Jurisdiction | Moreno Valley | |
| Reporting Period | 2019 | (Jan. 1 - Dec. 31) |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

Note: "+" indicates an optional field
 Cells in grey contain auto-calculation formulas

Table E
Commercial Development Bonus Approved pursuant to GC Section 65915.7

| Project Identifier | | | | Units Constructed as Part of Agreement | | | | Description of Commercial Development Bonus | Commercial Development Bonus Date Approved |
|-------------------------------------|----------------|---------------------------|---|--|------------|-----------------|-----------------------|---|--|
| 1 | | | | 2 | | | | 3 | 4 |
| APN | Street Address | Project Name ⁺ | Local Jurisdiction Tracking ID ⁺ | Very Low Income | Low Income | Moderate Income | Above Moderate Income | Description of Commercial Development Bonus | Commercial Development Bonus Date Approved |
| Summary Row: Start Data Entry Below | | | | | | | | | |
| NA | | | | | | | | | |
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| Jurisdiction | Moreno Valley | |
| Reporting Period | 2019 | (Jan. 1 - Dec. 31) |

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

Note: "+" indicates an optional field
 Cells in grey contain auto-calculation formulas

Table F
Units Rehabilitated, Preserved and Acquired for Alternative Adequate Sites pursuant to Government Code section 65583.1(c)(2)

This table is optional. Jurisdictions may list (for informational purposes only) units that do not count toward RHNA, but were substantially rehabilitated, acquired or preserved. To enter units in this table as progress toward RHNA, please contact HCD at APR@hcd.ca.gov. HCD will provide a password to unlock the grey fields. Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in Government Code section 65583.1(c)(2).

| Activity Type | Units that Do Not Count Towards RHNA ⁺ Listed for Informational Purposes Only | | | | Units that Count Towards RHNA ⁺ Note - Because the statutory requirements severely limit what can be counted, please contact HCD to receive the password that will enable you to populate these fields. | | | | The description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1 ⁺ |
|-------------------------------|---|------------------------------|-------------------------|--------------------------|---|------------------------------|-------------------------|--------------------------|--|
| | Extremely Low-Income ⁺ | Very Low-Income ⁺ | Low-Income ⁺ | TOTAL UNITS ⁺ | Extremely Low-Income ⁺ | Very Low-Income ⁺ | Low-Income ⁺ | TOTAL UNITS ⁺ | |
| Rehabilitation Activity | | | | | | | | | |
| Preservation of Units At-Risk | | | | | | | | | |
| Acquisition of Units | | | | | | | | | |
| Total Units by Income | | | | | | | | | NA |

| | | |
|------------------|---------------|--------------------|
| Jurisdiction | Moreno Valley | |
| Reporting Period | 2019 | (Jan. 1 - Dec. 31) |

NOTE: This table must only be filled out if the housing element sites inventory contains a site which is or was owned by the reporting jurisdiction, and has been sold, leased, or otherwise disposed of during the reporting year.

Note: "+" indicates an optional field
Cells in grey contain auto-calculation formulas

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
(CCR Title 25 §6202)**

| Table G | | | | | | |
|---|----------------|---------------------------|---|--|-------------------------------------|-----------------------|
| Locally Owned Lands Included in the Housing Element Sites Inventory that have been sold, leased, or otherwise disposed of | | | | | | |
| Project Identifier | | | | | | |
| 1 | | | | | | 4 |
| APN | Street Address | Project Name ⁺ | Local Jurisdiction Tracking ID ⁺ | Realistic Capacity Identified in the Housing Element | Entity to whom the site transferred | Intended Use for Site |
| Summary Row: Start Data Entry Below | | | | | | |
| NA | | | | | | |
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Moreno Valley General Plan

Complete list of Goals and Policies

| KEY | |
|-----------------------------|----------------------|
| Planning | Police |
| Land Development | Waste Coordinator |
| Special Districts | Transportation |
| Economic Development | Building |
| Parks / Community Services | Multiple Departments |
| Emergency Operations / Fire | |

| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
|---|--|---|-------------------|
| The City Structure Land Use Element Goals and Policies | | | |
| 9.2 Community Development Element Goals, Objectives, Policies and Programs | | | |
| 9.2.1 Community Development Element Goals | | | |
| Goal 2.1 | A pattern of land uses, which organizes future growth, minimizes conflicts between land uses, and which promotes the rational utilization of presently underdeveloped and undeveloped parcels. | Land use designations provided in the General Plan minimizes conflicts between land uses and allows for buffers between industrial, commercial and more sensitive residential land uses. In higher intensity Specific Plans such as the Industrial Area Plan (SP 208), buffers have been established between industrial land uses and existing more sensitive residential development. This is an ongoing goal of the City. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890) : Annual Progress Report as Required

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|--------------------|---|---|--------------------------|
| Goal 2.2 | An organized, well-designed, high quality, and functional balance of urban and rural land uses that will meet the needs of a diverse population, and promote the optimum degree of health, safety, well- being, and beauty for all areas of the community, while maintaining a sound economic base. | The City of Moreno Valley strives to approve well-designed, high quality projects. There is a functional balance between urban and rural land uses that will meet the needs of the residents. For example, more rural land use designations are provided in the northern and eastern portions of the city, while urban land uses are provided in the western and southern portions. This practice allows for good sensible land use planning, while maintaining a sound economic base. This is an ongoing goal of the City. | Planning d |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Goal 2.3 | Achieves an overall design statement that will establish a visually unique image throughout the City. | The City of Moreno Valley's General Plan provides for an overall design statement which establishes unique visual images throughout the City. The Municipal Code, which is consistent with the General Plan, establishes overall design guidelines and standards for residential, commercial and industrial development proposals, and reviews items such as, color, unity/diversity massing, and building proportion. This is an ongoing City goal. | Planning |
| Goal 2.4 | A supply of housing in sufficient numbers suitable to meet the diverse needs of future residents and to support healthy economic development without creating an oversupply of any particular type of housing. | The downturn of the economy in 2007 limited new housing development in the City until recently. In the last year, new residential housing projects have been submitted and housing product has been very diverse. This includes such project types as smaller lot Planned Unit Developments for the senior or first time homeowner and multiple family housing such as apartments. This is an ongoing City goal. | Planning |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
|--|---|--|--|
| Goal 2.5 | Maintenance of systems for water supply and distribution; wastewater collection, treatment, and disposal; solid waste collection and disposal; and energy distribution which are capable of meeting the present and future needs of all residential, commercial, and industrial customers within the City of Moreno Valley. | A specific goal for the City is to maintain water supply, wastewater collection/treatment/disposal and solid waste collection capable of meeting the present and future needs of City residents. MVU prepares an annual Distribution System Plan, which forecasts the future electrical needs of MVU's service area. Capital improvement projects are then developed and prioritized to ensure that the system will meet the present and future needs of MVU customers. This is an ongoing goal. | Water Purveyors/Waste Coordinator /MVU |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 9.2.2 Community Development Element Objectives and Policies | | | |
| Objective 2.1 | Balance the provision of urban and rural lands within Moreno Valley by providing adequate land for present and future urban and economic development needs, while retaining the significant natural features and the rural character and lifestyle of the northeastern portion of the community. | The City of Moreno Valley continues to provide a balance of urban and rural land. The majority of the City is urbanized, with a continued emphasis of retaining natural features as well as the urban lifestyle with larger lots and larger animal keeping opportunities north of State Route 60 in the northeaster portion of the community. This is an ongoing City objective. | Planning |

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| Objective 2.2 | Provide a wide range of residential opportunities and dwelling types to meet the demands of present and future residents of all socioeconomic groups. | The City has a very diverse residential mix, including a wide range of residential opportunities to meet the demand of all socioeconomic groups. As included in Moreno Valley's approved 2014 Housing Element, the City strives for affordable housing opportunities. The City allows opportunities for Planned Unit Developments (PUD's) that provide smaller lot housing for the senior and first time home buyer. Although the market has been slow for condominium development, apartment projects have recently picked up momentum . There are also continued opportunities for market rate single family home development, from tract maps that have been carried over from before the economic downturn. This is an ongoing City objective. | Planning d |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 2.2.1 | In determining allowable density for residential parcels an "adjusted net acreage" shall be used. Adjusted net acres shall mean the land area that would remain after dedication of ultimate rights-of- ways for arterial streets, freeways and park dedications. | All allowable density of residential projects in the City are determined by calculating an adjusted net average of buildable area after infrastructure dedication for streets, utilities, parks etc. This is a continuing City policy. | Planning |
| 2.2.2 | The primary purpose of areas designated Hillside Residential is to balance the preservation of hillside areas with the development of view-oriented residential uses. a. Within the Hillside Residential category, appropriate | Section 9.03.040 B "Residential Site Development Standards" of the Municipal Code establishes standards for hillside residential development consistent with the goals, objectives and policies of the General Plan. Hillside residential development | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

| | <p>residential uses include large lot residential uses. Lots smaller than one acre may only be permitted as clustered units to minimize grading, and other impacts on the environment, inclusive of the Multi-Species Habitat Conservation Plan.</p> <p>b. The maximum residential density within Hillside Residential areas shall be determined by the steepness of slopes within the project. The maximum allowable density shall not exceed one dwelling unit per acre on sloping hillside property and shall decrease with increasing slope gradient.</p> <p>c. Future development within Hillside Residential areas shall occur in such a manner as to maximize preservation of natural hillside contours, vegetation and other characteristics. Hillside area developments should minimize grading by following the natural contours as much as possible.</p> <p>d. Development within Hillside Residential areas shall</p> | <p>includes large lot residential uses, with the maximum allowable density not to exceed one dwelling unit per acre on sloping hillside property, including a decreasing density with an increasing slope gradient. Allowable development would preserve the preservation of natural hillsides. A slope analysis is the likely vehicle for development in hillside residential areas to determine the percentage of slope. Goals, objectives and policies of hillside residential development will be further evaluated with the next comprehensive General Plan update.</p> | <p style="text-align: right;">d</p> |
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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| | <p>be evaluated to determine the precise boundaries of the area. If the Community Development Director determines that adequate slope information is not available, applicants requesting to develop within these areas shall complete a slope analysis for the proposed development site. Portions of the development that exceed an average slope of 10% shall adhere to the policies within the Hillside Residential category. Portions of the development where the slopes are less than 10% on average shall adhere</p> | | |

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| 2.2.3 | <p>The primary purpose of areas designated Rural Residential is to provide for and protect rural lifestyles, as well as to protect natural resources and hillsides in the rural portions of the City.</p> <p>a. The maximum residential density within Rural Residential and areas shall be determined by the steepness of slopes within the individual project area. The maximum allowable density shall be 0.4 dwelling units per acre (an average lot size of 2.5 acres) on flat terrain and shall decrease with increasing slope gradient.</p> <p>b. Within the Rural Residential category, appropriate residential uses include large lot residential uses. Lots smaller than 2.5 acres may only be permitted as clustered units to minimize grading and other impacts on the environment, inclusive of the Multi-Species Habitat Conservation Plan.</p> | <p>Section 9.03.040 A "Residential Site Development Standards" of the Municipal Code establishes standards for rural residential development consistent with the goals, objectives and policies of the General Plan. This includes large lot residential development allowing a maximum density of 0.4 dwelling units per acre on flat terrain, with a decrease in density as the slope gradient increases. This is an ongoing policy.</p> | <p>Planning d</p> |
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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.2.4 | <p>The primary purpose of areas designated Residential 1 is to provide for and protect rural lifestyles. The maximum allowable density for projects within the Residential 1 areas shall be 1.0 dwelling unit per acre.</p> | <p>Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes requirements for Residential 1 development consistent with the goals, objectives and policies of the General Plan.</p> <p>Development shall not exceed 1 dwelling unit per acre. This is an ongoing policy.</p> | <p>Planning</p> |

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| 2.2.5 | The primary purpose of areas designated Residential 2 is to provide for suburban lifestyles on residential lots larger than commonly available in suburban subdivisions and to provide a rural atmosphere. The maximum allowable density shall be 2.0 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 2 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 2 dwelling units per acre. This is an ongoing policy. | Planning |
| 2.2.6 | The primary purpose of areas designated Residential 3 is to provide a transition between rural and urban density development areas, and to provide for a suburban lifestyle on residential lots larger than those commonly found in suburban subdivisions. The maximum allowable density shall be 3.0 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 3 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 3 dwelling units per acre. This is an ongoing policy. | Planning |
| 2.2.7 | The primary purpose of areas designated Residential 5 is to provide for single-family detached housing on standard sized suburban lots. The maximum allowable density shall be 5.0 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 5 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 5 dwelling unit per acre. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.2.8 | The primary purpose of areas designated Residential 10 is to provide for a variety of residential products and to encourage innovation in housing types. Developments within Residential 10 areas are typically expected to provide amenities not generally found in suburban subdivisions, such as common open space and recreational areas. The maximum allowable density shall be 10.0 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for Residential 10 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 10 dwelling units per acre. This is an ongoing policy. | Planning |

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| 2.2.9 | The primary purpose of areas designated Residential 15 is to provide a range of multi-family housing types for those not desiring dwellings on individual lots that include amenities such as common open space and recreational facilities. The maximum allowable density shall be 15.0 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for multiple- family Residential 15 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 15 dwelling unit per acre. This is an ongoing policy. | Planning d |
| 2.2.10 | The primary purpose of areas designated Residential 20 is to provide a range of high density multi-family housing types. Developments within Residential 20 areas shall also provide amenities, such as common open spaces and recreational facilities. The maximum density shall be 20 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for high density residential 20 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 20 dwelling units per acre. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.2.11 | The primary purpose of areas designated Residential 30 is to provide a range of high density multi-family housing types in an urban setting. Developments within Residential 30 areas shall also provide amenities, such as common open spaces and recreational facilities. The maximum density shall be 30 dwelling units per acre. | Section 9.03.040 "Residential Site Development Standards" of the Municipal Code establishes standards for high density Residential 30 development consistent with the goals, objectives and policies of the General Plan. Development shall not exceed 30 dwelling unit per acre. This is an ongoing policy. | Planning |
| 2.2.12 | Densities in excess of the maximum allowable density for residential projects may be permitted pursuant to California density bonus law. | The City encourages the use of density bonus for affordable housing and senior housing opportunities. Development Code Section 9.03.050 "Density Bonus Program for Affordable Housing" provides provisions for density bonus and greater on-site project densities. This is an ongoing policy. | Planning |

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| 2.2.13 | Planned Unit Developments (PUD) shall be encouraged for residential construction in order to provide housing that is varied by type, design, form of ownership, and size. PUD's shall also provide opportunities to cluster units to protect significant environmental features and/or provide unique recreational facilities. | PUD's are encouraged to allow for more diverse designs, recreational opportunities and walkable residential communities. Section 9.03.060 "Planned Unit Developments of the Development Code provides for PUD's and clustering opportunities to avoid existing environmental constraints. This is an ongoing policy | Planning | d |
| 2.2.14 | Discourage costly "leap-frog" development patterns by encouraging in-fill development wherever feasible, thereby reducing overall housing costs. Development within an area designated as SP 212-1 (Moreno Highlands) is not considered to be leapfrog development | Developing on infill properties is always encouraged by the City. This is an ongoing policy. | Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 2.2.15 | Encourage a diversity of housing types, including conventional, factory built, mobile home, and multiple family dwelling units. | The City encourages a diverse housing mix for all residentially zoned property. This is an ongoing policy. | Planning | |
| 2.2.16 | Encourage the use of innovative and cost effective building materials, site design practices and energy and water conservation measures to conserve resources and reduce the cost of residential development. | The use of cost effective building materials, site design practices and energy/water conservation measures is encouraged through the Development and Building Codes. For example. The Landscape ordinance requires drought tolerant plant materials and waterwise irrigation practices . The Green Building Code requires conservations measures such as building material design and other energy requirements. This is an ongoing policy. | Planning | |
| 2.2.17 | Affordable housing developments should be compatible in visual design with surrounding development. | All newly constructed affordable housing developments are compatible with both exterior design and surrounding development. This is an ongoing policy. | Planning | |

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| 2.2.18 | Discourage nonresidential uses on local residential streets that generate traffic, noise or other characteristics that would adversely affect nearby residents. | Current zoning practices discourages and in many cases does not allow for impactful non- residential development to occur. The Municipal Code (Section 9.02.020 "Permitted Uses"), restricts non residential uses in residential zones that are contained to local residential streets. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.3 | Promote a sense of community and pride within residential areas through increased neighborhood interaction and enhanced project design. | A sense of community and pride is instilled in newly approved projects through good design and walkable communities. Increased neighborhood interaction is also encourage through such things as neighborhood watch and Pop teams established for multiple family residential development. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 2.3.1 | Within individual residential projects, a variety of floor plans and elevations should be offered. | Pursuant to Section 9.16.130 (Table 9.16.130B) of the Code, all residential projects shall provide a variety of floor plans and elevations. This is an ongoing policy. | Planning |
| 2.3.2 | Encourage building placement variations, roofline variations, architectural projections, and other embellishments to enhance the visual interest along residential streets. | Chapter 16 of the Municipal Code requires roofline variations, architectural projections and other embellishments such as four sided architecture. This is an ongoing policy. | Planning |

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| 2.3.3 | Discourage the development of single-family residences with a bulk (building mass) that is out of scale with the size of the parcels on which they are located. | The City understands that building massing is a very important issue to consider in residential elevations and when developing single-family residential communities. The design guidelines contained in Section 9.16.010 of the Municipal Code discourages building massing that is out of context with the existing neighborhood. This is an ongoing policy. | Planning d |
| 2.3.4 | Design large-scale small lot single family and multiple family residential projects to group dwellings around individual open space and/or recreational features. | Section 9.03.060 "Planned Unit Developments" of the Municipal Code encourages PUD's for greater innovation in housing development and conservation of natural resources and open space. Recreational facilities such as picnic areas, pocket parks, walking paths and gyms are commonplace among PUD developments. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.3.5 | Ensure that all multiple family housing is well- designed, attractive and livable by: a. Ensuring all structures are architecturally compatible and include decorative architectural features and articulation in walls and roofs; b. Providing adequate parking, walkways, lighting, landscaping, amenities and open space areas; c. Providing private open space areas such as patios and balconies. | Pursuant to Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code, multiple-family residential projects shall be architecturally compatible with the existing neighborhood, provide parking, walkways and common open space areas such as picnic areas, pools, tot lots etc. This is an ongoing policy. | Planning |

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| Objective 2.4 | Provide commercial areas within the City that are conveniently located, efficient, attractive, and have safe and easy pedestrian and vehicular circulation in order to serve the retail and service commercial needs of Moreno Valley residents and businesses. | The City strives for commercial areas that provide functional vehicular circulation and safe pedestrian areas that are walkable internally between uses and externally to surrounding neighborhoods. This is an ongoing objective. | Planning d |
| Policies: | | | |
| 2.4.1 | The primary purpose of areas designated Commercial is to provide property for business purposes, including, but not limited to, retail stores, restaurants, banks, hotels, professional offices, personal services and repair services. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include compatible noncommercial uses. Commercial development intensity should not exceed a Floor Area Ratio of 1.00 and the average floor area ratio should be significantly less. | Zoning regulations for commercial uses are consistent with established General Plan land use. For example, the City's zoning map establishes Commercial zoning designations and the Municipal Code Permitted Uses Table (Section 9.02.020-1) provides for permitted uses allowed for each commercial zoning category. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.4.2 | The commercial area located at the intersection of Alessandro Boulevard and Redlands Boulevard shall provide for commercial land uses that are compatible with the historical, small town nature of the original Moreno town site. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include compatible noncommercial uses. | The General Plan Land Use Map shows the site zoned as VC or Village Commercial, which is a unique zoning classification allowing for unique uses. Any development at this intersection has been and would need to be compatible with the historical, small town nature of the original site. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 2.4.3 | The commercial area located on the north side of State Route 60 at the intersection of Moreno Beach Drive shall provide for the establishment of commercial land uses that serve the daily needs of the surrounding residential neighborhood and the traveling public. It is not intended to serve the needs of the region for goods, services, entertainment or recreation. The zoning regulations shall identify the particular uses and type of development permitted on each parcel, which could include office uses and compatible noncommercial uses. | Properties located north of State Route 60 at the intersection of Moreno Beach Drive are zoned CC or Community Commercial. The zoning established in the City's Land Use Map and Municipal Code identifies permitted uses allows for commercial/retail uses that both serve the needs of the surrounding residential neighborhood and the traveling public. The preferred alternative in the Highway 60 Corridor study suggested a town center concept which includes potential entertainment retail uses such as hotels and sit down restaurant. This item shall be reviewed further during the next General Plan update. | Planning d |
| 2.4.4 | An overlay district limiting land uses to those that are supportive and compatible with medical uses shall be established around the Riverside County Regional Medical Center and the Moreno Valley Community Hospital . The zoning regulations shall identify the particular uses and type of development permitted on each parcel. | Municipal Code standards under Section 9.07- 040 "Medical Use Overlay District (MUO)", provides the foundation to create and maintain diverse and supportive medical uses in the vicinity of the Riverside County Regional Medical Center (Riverside University Health Systems) and the Moreno Valley Community Hospital. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

| 2.4.5 | The primary purpose of locations designated Mixed- Use on the Moreno Valley General Plan Land Use map is to provide for the establishment of commercial and office uses and/or residential developments of up to 20 dwelling units per acre. The zoning regulations shall identify the particular uses and type of development permitted on each parcel. Overall development intensity should not exceed a floor area ratio of 1.00. | The Mixed Use land use zone established in the General Plan provides for both commercial/office and higher density residential development opportunities. The permitted uses table (Municipal Code(Section 9.02.020-1) identifies types of uses and Residential Site Development Standards (Municipal Code Section 9.03.040-6) establishes floor area ratios. The revised Mixed Use Overlay has established standards for denser residential development and allows density to rise from a maximum of 20 dwelling units per acre to a maximum of 40 dwelling units per acre. This item shall be further reviewed and adjusted accordingly with the next General Plan update. | Planning d |
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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.4.6 | The primary purpose of areas designated Residential/Office on the Moreno Valley General Plan Land Use map is to provide areas for the establishment of office-based working environments or residential developments of up to 15 dwelling units per acre. The zoning regulations shall identify the particular uses and type of residential development permitted on each parcel of land. Overall development intensity should not exceed a Floor Area Ratio of 1.00. | As established in Chapter 9,02, Section 9.02.020 of the Municipal Code, areas zoned Residential/Office provide office based working environments and allow for higher density multiple-family residential development. Zoning regulations identify particular uses, types of residential development and floor area ratio requirements. This is an ongoing policy. | Planning |

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| 2.4.7 | The primary purpose of areas designated Office is to provide for office uses, including, administrative, professional, legal, medical and financial offices. The zoning regulations shall identify the particular uses permitted on each parcel of land, which could include limited non-office uses that support and are compatible with office uses. Development intensity should not exceed a Floor Area Ratio of 2.00 and the average intensity should be significantly less. | The Municipal Code (Sections 9.02.020 and 9.04.010) establishes permitted uses and defines areas designated for office type uses. Current zoning regulations identifies development intensity. This is an ongoing policy. | Planning d |
| 2.4.8 | Orient commercial development toward pedestrian use. Buildings should be designed and sited so as to present a human-scale environment, including convenient and comfortable pedestrian access, seating areas, courtyards, landscaping and convenient pedestrian access to the public sidewalk. | Section 9.04.010 encourages concentration of commercial use for the convenience of the public and to secure a mutually beneficial relationship between commercial uses and the and public. Section 9.16.150 "Commercial Design Guidelines requires pedestrian pathways in parking areas and further incorporates pedestrian ways and plazas to provide visual interest and functionality. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.4.9 | Require reciprocal parking and access agreements between individual parcels where practical. | Section 9.16.150 "Commercial Design Guidelines requires interspace access be provided between commercial centers reducing the number of drive approaches from the street and to encourage commercial/retail crossover. This is an ongoing policy. | Planning |

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| 2.4.10 | Design internal roadways so that direct access is available to all structures visible from a particular parking area entrance in order to eliminate unnecessary vehicle travel, and to improve emergency response. | Internal roadways provide direct access to all structures visible from a parking area entrance. This would also be the norm for Specific Plans under Chapter 9.13. This is an ongoing policy. | Planning d |
| 2.4.11 | The commercial area located in the vicinity of the intersection of Gilman Springs Road and Jack Rabbit Trail shall provide those commercial support activities necessary and/or incidental to adjacent recreational uses and emphasize tourist-oriented activities and retail services. Recreation-oriented residential land use types may be appropriate to the extent that they are incidental to and complement the recreational character of the area. At such time as the area is annexed to the City, the zoning regulations shall identify the particular uses permitted on each parcel of land. | The General Plan Land Use Map provides a commercial land use designation for this area located in the City's Sphere of Influence. Based on the policy, land uses should be limited away from general commercial use, with an emphasis on more recreation or tourist oriented land uses. This item shall be further reviewed and evaluated in the next comprehensive General Plan update. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.5 | Promote a mix of industrial uses which provide a sound and diversified economic base and ample employment opportunities for the citizens of Moreno Valley with the establishment of industrial activities that have good access to the regional transportation system, accommodate the personal needs of workers and business visitors; and which meets the service needs of local businesses. | The Municipal Code provides for a mixture of industrial uses that provide a diverse economic base and opportunities for employment with access to regional transportation systems. For example, the recently approved World Logistics Center, situated in the southern and eastern portion of the City, takes advantage of easy access to the State Route 60 freeway. | Planning |
| Policies: | | | |

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| 2.5.1 | The primary purpose of areas designated Business Park/Industrial is to provide for manufacturing, research and development, warehousing and distribution, as well as office and support commercial activities. The zoning regulations shall identify the particular uses permitted on each parcel of land. Development intensity should not exceed a Floor Area Ratio of 1.00 and the average floor area ratio should be significantly less. | The Business park/Industrial land use category provides for a wide variety of industrial uses from warehousing, manufacturing and office/support uses. The Municipal Code Permitted Uses Table (Section 9.02.020-1) establishes permitted uses allowed for this land use category. This is an ongoing policy. | Planning d |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.5.2 | Locate manufacturing and industrial uses to avoid adverse impacts on surrounding land uses. | Industrial design guidelines provided in the Municipal Code Chapter 9.16 requires truck traffic to be channeled directly to truck routes and prohibits access to neighborhood streets. Manufacturing/industrial uses shall be screened and buffered from surrounding land uses. This is an ongoing policy. | Planning |
| 2.5.3 | Screen manufacturing and industrial uses where necessary to reduce glare, noise, dust, vibrations and unsightly views. | Municipal Code Sections 9.16.160 "Business Park/Industrial" and 9.05.050 'Good Neighbor Guidelines for Warehouse Distribution Facilities" require screening for manufacturing and industrial uses in view of rights of way. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 2.5.4 | Design industrial developments to discourage access through residential areas. | Industrial development is designed to discourage access through residential zones. Industrial design guidelines provided in the Municipal Code Chapter 9.16 requires truck traffic to be channeled directly to truck routes and prohibits access to neighborhood streets. In addition, Section 9.05.050 "Good Neighbor Guidelines for Warehouse Distribution Facilities" eliminates diesel trucks from unnecessarily traversing through residential neighborhoods based on establish truck routes, parking restrictions and proper signage. An example includes the World Logistics Center project, a 41 million square foot industrial logistics hub in the southeastern portion of the City which has prevented access to Redlands Boulevard and the adjacent residential neighborhoods to the west by redesigning streets and preventing through access. This is an ongoing policy. | Planning d |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.6 | Maintain an adequate inventory of lands for the conduct of public, quasi-public, and institutional activities, including protection of areas needed for future public, quasi-public, and institutional facilities. | This is an on-going policy. Seniors and other users are encouraged to use para transit services provided by the Riverside Transit Agency. This is consistent with Chapter 9.11.080 of the Municipal Code. | Land Dev./Administrative Services/Police/Fire/Planni |
| Policies: | | | |

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| 2.6.1 | The primary purpose of areas designated Public/Quasi- Public is to provide property for civic, cultural and public utility uses, including, but not limited to schools, libraries, fire stations, museums, and government offices. The zoning regulations shall identify the particular uses permitted on each parcel of land. Development intensity should not exceed a Floor Area Ratio of 1.00 and the average Floor Area Ratio should be significantly less. | The Municipal Code (Sections 9.02.020 and 9.04.010) establishes permitted uses and defines areas designated for "Public" uses. The description in this policy is consistent with zoning requirements in the above sections. This is an ongoing policy | Land Dev./Admin Services/Police/Fire/Planning |
| Objective 2.7 | Encourage open space preservation through appropriate land use policies that recognize the valuable natural resources and areas required for protection of public safety that exist in the City. | Municipal Code Chapter 9.06, Section 9.06.010 establishes standards for open space districts. The intent is to require specific regulations to preserve certain life styles, significant geological or other unique features, and protect the public health safety and welfare. Municipal Code Section 9.02.020 establishes permitted uses for properties located in the district. This is an ongoing objective. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 2.7.1 | The primary purpose of areas designated Open Space , is to provide areas that are substantially unimproved, including, but not limited to areas for outdoor recreation, the preservation of natural resources, the grazing of livestock and the production of crops. Development intensity should not exceed a Floor Area Ratio of 0.10 and the average Floor Area Ratio should be significantly less. | The purpose of Open Space Districts is to provide primarily unimproved areas, while preserving natural and environmentally sensitive areas. Municipal Code Chapter 9.06, Section 9.06.010 establishes standards for open space districts. Municipal Code Section 9.02.020 establishes permitted uses for properties located in the district. This is an ongoing policy. | Planning |

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| 2.7.2 | The primary purpose of areas designated Floodplain is to designate floodplain areas where permanent structures for human occupancy are prohibited to protect of the public health and safety. Development intensity should not exceed a Floor Area Ratio of 0.05. | Accomplished through site design consistent with Municipal Code Chapter 8.12. | Land Development d |
| Objective 2.8 | The major purpose of specific plans is to encourage and promote the development of larger-scaled mixed- use developments for the purpose of providing adequate flexibility and innovation in residential building types, land use mixes, site design, and development concepts. | Some of the objectives of a specific plan are s to encourage and promote the development of larger scaled mixed use developments for purposes of providing flexibility and innovation in residential building types, land use mixes, site design and development concepts for areas at or exceeding 15 acres. Municipal Code Chapter 9.13, Sections 9.13.010 through 9.13.050 provide purpose and intent, applicability and specific plan requirements. This is an ongoing objective. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

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| 2.8.1 | <p>In order to provide superior design solutions, reduce adverse environmental impacts, preserve scenic values, and enhance the provision of open space and other amenities, transfers of residential densities permitted under the General Plan may be accomplished in accordance with the following:</p> <p>a. The transfer of residential densities may be accomplished only pursuant to approval of a planned unit development or hillside development.</p> <p>b. Up to one hundred percent (100%) of the density indicated on the General Plan Land Use map may be transferred within a single hillside development or planned unit development project. Densities may not be transferred from one project to another.</p> <p>c. The proposed transfer of densities shall be accomplished such that the project results in a superior use of land, increased sensitivity to the environment, and/or enhanced project amenities without an increased burden on public facilities and services.</p> | <p>Municipal Code chapter 9.03, Section 9.03.050 provides standards for density bonus and affordable housing opportunities. In addition, Chapter 9.03.060 "Planned Unit Developments", provide transfer of densities to preserve scenic areas, rock outcroppings and conservation of cultural or biological resources. Project amenities are enhanced by providing walkable communities that provide ample open space areas such as trails and parks. This is an ongoing policy.</p> | <p>Planning d</p> |
| <p>Goal/Policy</p> | <p>Description</p> | <p>Discussion on Implementation Status</p> | <p>Responsible Party</p> |
| 2.8.2 | <p>To the extent that development policies, land use standards, design guidelines, and other provisions of the adopted specific plans are, by their content, intended to address issues contained in the objectives, policies, and implementation programs of the Moreno Valley General Plan, and are inconsistent with the provisions of the General Plan, then the provisions of those specific plans shall be controlling; otherwise, all other provisions of the Moreno Valley General Plan shall remain in effect.</p> | <p>Specific Plans have been developed to be consistent with and to address issues contained in the Moreno Valley General Plan. All items not addressed in specific plans are directed to provisions in the Municipal Code (which is consistent with General Plan provisions). This is an ongoing policy.</p> | <p>Planning</p> |

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| Objective 2.9 | Maintain City boundaries that are logical in terms of City service capabilities, economic development needs, social and economic interdependencies, citizen desires, and City costs and revenues. | Logical City boundaries have been maintained throughout the years with areas designated as spheres of influence for future expansion opportunities of the City. This is an ongoing objective. | Planning d |
| Policies: | | | |
| 2.9.1 | Support and encourage the annexation of unincorporated areas within the General Plan study area for which: a. Long-term benefits will be derived by the City; b. Adequate infrastructure and services have been or can be economically provided in accordance with current City standards; c. The proposed annexation will generate sufficient revenues to adequately pay for the provision of City services within a reasonable period of time. | Logical City areas of future annexation of unincorporated areas (northern and eastern portions) have been encouraged to produce long term benefits only if the necessary infrastructure is in place or is attainable, and if the annexation can generate sufficient revenues to pay for City services. These areas have been designated as spheres of influence. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.10 | Ensure that all development within the City of Moreno Valley is of high quality, yields a pleasant living and working environment for existing and future residents, and attracts business as the result of consistent exemplary design. | It is an objective of the City of Moreno Valley to make sure that development is of the highest quality, provides a pleasant living and working environment for residents and from an economic development standpoint, attracts business based on high quality design. This is an ongoing objective. | Planning |
| Policies: | | | |

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| 2.10.1 | Encourage a design theme for each new development that is compatible with surrounding existing and planned developments. | Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for different types of development. Consistent with this Chapter, design themes are encouraged for new development. The theme shall be compatible with surrounding development. This is an ongoing policy. | Planning d |
| 2.10.2 | Screen trash storage and loading areas, ground and roof mounted mechanical equipment and outdoor storage areas from public view as appropriate. | Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for screening of trash/ storage areas, loading areas, roof mounted mechanical equipment and outdoor storage areas from public view. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.10.3 | Require exterior elevations of buildings to have architectural treatments that enhance their appearance. a. A design theme, with compatible materials and styles should be evident within a development project; b. Secondary accent materials, colors and lighting should be used to highlight building features; c. Variations in roofline and setbacks (projections and recesses) should be used to break up the building mass. d. Industrial buildings shall include architectural treatments on visible facades that are aesthetically pleasing. | Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code establishes design for exterior building facades and architectural treatments for all development types to include such items as overall design materials, accent materials, rooflines and architectural treatments for industrial buildings. This is an ongoing policy. | Planning |

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| 2.10.4 | Landscaping and open spaces should be provided as an integral part of project design to enhance building design, public views, and interior spaces; provide buffers and transitions as needed; and facilitate energy and resource conservation. | Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code requires landscape buffers and open spaces to enhance public design, public views and interior spaces. Landscape in buffers and opens space also facilitates energy conservation. This is an ongoing policy. | Planning d |
| 2.10.5 | Development projects adjacent to freeways shall provide landscaped buffer strips along the ultimate freeway right-of-way. | Chapter 16, Section 9.16.130 "Design Guidelines" of the Municipal Code requires freeway adjacent developments to provide landscape buffers along freeway rights of ways. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.10.6 | Buildings should be designed with a plan for adequate signage. Signs should be highly compatible with the building and site design relative to size, color, material, and placement. | Chapter 9.12 "Sign Regulations" of the Municipal Code establishes requirements for sign placement and design. For visibility and economic viability of the business, adequate signage is required for building and site design. This is an ongoing policy. | Planning |
| 2.10.7 | On-site lighting should not cause nuisance levels of light or glare on adjacent properties. | Chapter 9.08 "General Development Standards" Section 9.08.100 "Lighting" of the Municipal Code provides standards for lighting and limitations for light and glare. Recent modifications to the Code have provided for dark sky provisions with further limitations of light spillage onto adjacent properties. This is an ongoing policy. | Planning |

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| 2.10.8 | Lighting should improve the visual identification of structures. Within commercial areas, lighting should also help create a festive atmosphere by outlining buildings and encouraging nighttime use of areas by pedestrians. | Chapter 9.08, Section 9.08.100 "Lighting" of the Municipal Code provides lighting standards for visual identification. Lighting accents to the building through up lighting opportunities outline buildings and encourage use by pedestrians at night. This is an ongoing policy. | Planning d |
| 2.10.9 | Fences and walls should incorporate landscape elements and changes in materials or texture to deter graffiti and add visual interest. | Both Chapters 9.08 Section 9.08.070 "Fences and Walls" and Chapter 9.16 "Design Guidelines" both require landscape elements, material changes and texture to deter graffiti to fences and walls This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.10.10 | Minimize the use and visibility of reverse frontage walls along streets and freeways by such treatments as landscaping, berming, and "side-on" cul-de-sacs. | Due to the cost of establishing "Special Districts" to maintain reverse frontage landscape and irrigation, reverse frontage development has been discouraged. Therefore, the use of reverse frontage walls is minimal. Any necessary reverse frontage wall shall be decorative in nature and would include landscape and possible berming to break up the elevations. This is an ongoing policy. | Planning |

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| 2.10.11 | Screen and buffer nonresidential projects from adjacent residential property and other sensitive land uses when necessary to mitigate noise, glare and other adverse effects on adjacent uses. | Chapter 9.16 "Design Guidelines", Sections 9.16.150 and 9.16.160 and Chapter 9.08, Section 9.08.150 of the Municipal Code provides general screening and buffer requirements for non-residential properties to other sensitive properties. This would include such items as trash areas, loading areas, ground-mounted equipment, roof mounted equipment etc. This is an ongoing policy. | Planning | d |
| 2.10.12 | Screen parking areas from streets to the extent consistent with surveillance needs (e.g. mounding, landscaping, low profile walls, and/or grade separations). | Both Landscape Guidelines (Parking Lots) approved by resolution in 2009 and Chapter 9.16 "Design Guidelines" for residential, commercial, industrial and office land uses include guidelines for screening of materials and equipment from streetscapes. This is an ongoing policy. | Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 2.10.13 | Provide landscaping in automobile parking areas to reduce solar heat and glare. | Landscape Guidelines (Parking Lots) approved by resolution in 2009 specifically requires landscaping in automobile parking areas. This is an ongoing policy. | Planning | |
| 2.10.14 | Preserve or relocate existing mature trees and vegetation where practical. Mature trees shall be replaced when they cannot be preserved or relocated. | Landscape Guidelines approved by resolution in 2009 specifically requires preservation of landscape and specifically trees. Mature trees not able to be preserved shall be replaced at a 3 to 1 ratio. This is an ongoing policy. | Planning | |

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| 2.10.15 | Emphasize the "gateway status" of lands in the vicinity of the intersection of I-215 and State Route 60, at the intersection of Alessandro Boulevard and I-215, at the intersection of Perris Boulevard and State Route 60, and at State Route 60 and Gilman Springs Road. In the vicinity of those areas designated as having "gateway status", the City shall encourage community identification signing. | Although gateway status has been emphasized with a recent upgrade of community identification status, the City has not designated any specific areas along the I- 215 or State Route 60 gateway status As there are no specific policies or Code requirements on this subject, it is recommended that the item be further reviewed during the comprehensive update of the General Plan. | Planning d |
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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.11 | Maintain a water system that is capable of meeting the daily and peak demands of Moreno Valley residents and businesses, including the provision of adequate fire flows. | This item is accomplished through will serve letters, environmental documentation, and fire flow letters. | Land Development/Planning/Fin |
| Policies: | | | |
| 2.11.1 | Permit new development only where and when adequate water services can be provided. | This item is accomplished through will serve letters and environmental documentation. | Land Development/Plannin |
| Objective 2.12 | Maintain a wastewater collection, treatment, and disposal system that is capable of meeting the daily and peak demands of Moreno Valley residents and businesses. | Wastewater collection and treatment is provided by Eastern Municipal Water District (EMWD) Western Municipal Water District (WMWD), and Edgemont Community Services District (ECSD) | Land Development |
| Policies: | | | |
| 2.12.1 | Prior to the approval of any new development application ensure that adequate septic or sewer service capacity exists or will be available in a timely manner. | Requirement for sewer unless septic allowed by Riverside County Department of Environmental Health. This is consistent with Municipal Code Chapter 9.14. | Land Development |
| Objective 2.13 | Coordinate development activity with the provision of public infrastructure and services to eliminate possible gaps in service provision. | Accomplished through design/construction consistent with Municipal Code Chapter 9.14. | Land Development |
| Policies: | | | |
| 2.13.1 | Limit the amount of development to that which can be adequately served by public services and facilities, based upon current information concerning the capability of public services and facilities. | Adequate public services are reviewed for each development proposal through California Environmental Quality Act guidelines. | Land Development/ Planni |

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| 2.13.2 | Unless otherwise approved by the City, public water, sewer, drainage and other backbone facilities needed for a project phase shall be constructed prior to or concurrent with initial development within that phase. | Accomplished through design/construction consistent with Municipal Code Chapter 9.14. | Land Development |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.13.3 | It shall be the ultimate responsibility of the sponsor of a development project to assure that all necessary infrastructure improvements (including system wide improvements) needed to support project development are available at the time that they are needed. | Accomplished through design/construction consistent with Municipal Code Chapters 9.8 and 9.14. | Land Development |
| 2.13.4 | Encourage installation of advanced technology infrastructure, including, but not limited to, infrastructure for high speed internet access and solar energy. | Land Development is not providing guidance on high speed internet access or involved with solar energy. Any involvement would be through the plan check process completed for utilities. | Land Development |
| Objective 2.14 | Establish and implement comprehensive solutions to the financing of public facilities that adequately distribute costs based on the level of benefit received and the timing of development. | This item is accomplished through implementation of DIF and TUMF programs consistent with Municipal Code Title 3. | Finance / Facilities / Land Development/SD/Capital Projects |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 2.14.1 | Conduct periodic review of public facilities impact mitigation fees in accordance with state statutes to ensure that the charges are consistent with the costs of improvements. Utilize the service and mitigation standards contained in the Moreno Valley General Plan as the basis for determining improvement costs. | DIF program is periodically updated and the program is implemented consistent with Municipal Code Title 3. | Finance / Facilities / Land Development/Capital Projects |

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| 2.14.2 | Promote the establishment of benefit assessment districts, Mello-Roos Community Facilities Districts, tax increment financing, and other financing mechanisms in combination with programmed capital improvements to eliminate existing public service and facility gaps, and to provide necessary facilities in advance of the impacts created by development. | CFD No. 2014-01 (Maintenance Services) was established on March 25, 2014. The District was formed to provide an alternative financing tool for the development community. It provides a mechanism to fund the operation and maintenance of street lighting services and maintenance of public landscaping. With next comprehensive General Plan update, it is recommend to change, "Promote the establishment of benefit assessment district, Mello-Roos Community Facilities Districts, tax increment financing, and other financing mechanisms in combination. . ." with "Promote the establishment of various special financing districts based on qualifications of project in combination. . ." | Special District |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.14.3 | Review development projects for their impacts on public services and facilities including, but not necessarily limited to, roadways, water, sewer, fire, police, parks, and libraries and require public services or facilities to be provided at the standards outlined in the Moreno Valley General Plan and the standards of applicable service agencies. | Water and sewer impacts/service is determined during entitlement and will serve letters from purveyor. | Public Works / Public Safety/Facilities/Parks |
| Objective 2.15 | Ensure that all Moreno Valley residents have access to high-quality educational facilities, regardless of their socioeconomic status or location within the City. | This objective is being met with continual cooperation and dialog with the Moreno Valley Unified School District and the Van Verde Unified School District. | Administrative Services/Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

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| 2.15.1 | Encourage an ongoing open liaison with all school districts regarding proposed school design and siting to maximize access and minimize impacts to adjacent uses. | This will ensure that City Standards are conveyed, joint-use facilities are considered, safe routes to school are established, opportunity for parks are incorporated on adjacent property, and amenities are designed to minimize impacts to adjacent uses. | Parks/Planning |
| Objective 2.16 | Maintain local library facilities and reserves in accordance with the following minimum standards: 0.5 square feet of library space and 1.2 volumes per capita. | Libraries fall under Admin Services. While the space and volume goals are well within national standards (and even below) they are well beyond what we can hope to achieve with the funds that we have to dedicate to library services. the .5 sq. ft. standard would required over 100,000 sq. ft. of space for library services. We are currently at 14,000 sq. ft. of space, .06 sq. ft. of space per resident, and even with adding a satellite of 4,000 sq. ft. we would be at 18.000 sq. ft. total or .08 sq. ft. per resident. Additionally, our current collections is just over 82,000 volumes, the 1.2 standard would require 246,000 volumes. | Administrative Services/Parks |
| Policies: | | | |
| 2.16.1 | Encourage inter-library loan agreements with the County library system and those of surrounding cities to provide the widest possible variety of materials to library patrons. | Inter-library loan agreements are encouraged with the County library system to provide the widest range and variety of materials possible to residents. | Administrative Services/Parks |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 2.16.2 | Provide for the expansion of library facilities as needed to keep pace with the growing population of Moreno Valley. | Due to budgetary issues, the expansion of library facilities has not kept up with the pace of the growing population of Moreno Valley. This item can be revisited with the comprehensive update of the General Plan. | Administrative Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 2.17 | Provide cultural facilities, including history (natural, cultural and children's) and art museums and performing arts facilities. | The City collaborates with a number of cultural facilities including the Vanguard Galley (Moreno Valley Cultural Arts Foundation) to provide residents with art expos; clothing, toy, and food drives; charity art auctions; poetry readings; live music and theater events. The Conference & Recreation Center is home to the Moreno Valley Master Chorale and the Moreno Valley Community Band. Both offer performances quarterly at no cost to the community. The March Field Park Community Center is home to day camp and pre-school programs year round and is soon to be re-painted. The City's Arts commission is planning a Community Mural that will utilize volunteers to design and paint a mural on the exterior of the building depicting youth and recreation activities. On- going | Parks/Administrative Services |
| Policies: | | | |
| 2.17.1 | Promote the development and construction of a civic/cultural center and museums. | Moreno Valley has constructed the Conference and Recreation Center, Cottonwood Banquet Room, and Towngate Community Center for use as civic/cultural centers. A museum is planned at March Field Park in the future. Events at these facilities are ongoing. | Parks / Administrative Services |

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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
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| Objective 2.18 | Promote social services programs that meet the special needs for childcare, the elderly, and the disabled. | The City offers child care, elderly, and disabled programs to the community through Community Service District funding and grants. Many of these programs are held at City buildings and schools. On-going | Parks / Administrative Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 2.18.1 | Ensure that a full range of human service programs are available to meet the lifetime development needs of residents of all ages, including the special needs of seniors, families, children, disabled persons, and youth groups. | <p>The City provides a range of activities to service residents of all ages.</p> <p>Youth: Sports – Flag Football, Pee-Wee and Jr Soccer and Baseball, Multi-Sport Clinics, Skateboarding, Golf and Foot golf, hiking Adult: Sports – Softball, Kickball, Arena Soccer, Soccer, Basketball, Skateboarding, Golf and Foot Golf, hiking, volleyball</p> <p>Life Enrichment Classes and Activities – acting, modeling, photography, writing, drawing, painting, dance, cheer, hula, martial arts, dog obedience, piano, guitar, CPR, Job Readiness Workshops, second languages, and aerobics</p> <p>Special Needs: Sunshine Social Club (physically challenged adults, professional development seminars, special transit (MoVan)</p> <p>Seniors: special transit (MoVan) , driving courses, free lunch, arts and crafts courses, fitness, bunco, billiards, guitar, special events, nutrition. All are ongoing programs.</p> | Parks/Administrative Services |

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| 2.18.2 | Encourage day care through zoning regulations by permitting such facilities in all compatible zoning classifications. | The City's Parks and Community Services Department locates their facilities within it's own facilities, which are properly zoned for such use. | Parks/Administrative Services / Community Development |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 2.18.3 | Work closely with local schools, private companies, churches, non-profit agencies, government social service agencies, and community groups to facilitate the provision of community services. | The City works with various groups to jointly provide a multitude of services to the community. Examples of these groups include: Moreno Valley and Val Verde Unified School Districts, Salvation Army, Family Services Association, Master Chorale, Cultural Arts Foundation, Riverside University Health Systems, UC Riverside, Cal Baptist College, Friends of the Senior Center. Ongoing | Parks/Administrative Services |
| 2.18.4 | Encourage the development of senior citizens independent living and congregate care facilities in locations with convenient access to social, commercial, and medical services. | Development of senior citizen independent living and congregate care facilities are encouraged in locations convenient to social, commercial and medical services. | Administrative Services / Community Development |
| 2.18.5 | Promote volunteer involvement in all public programs and within the community as a whole. | The City promotes volunteer involvement through several departments and programs within the City. | Parks/Administrative Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 9.2 Community Development Element Goals, Objectives Policies and Programs | | | |
| 9.2.3 Community Development Element Programs | | | |

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| 2-1 | Develop a community signing scheme for street corridors, public buildings and selected entrances to the community and its sub-communities. | This is completed in concert with the bi- annual City Capital Improvement Plan effort. It is implemented in conformance with existing policies and procedures for signing throughout the City, and when needed, new policies may be developed. Wayfinding signs have been installed at selected locations. Future Wayfinding signs will be installed as need arises. "Welcome to Moreno Valley" signs have been installed at selected entrance points to the City, with remaining signs to be installed as priorities and funds allow. | Planning/Public Works Projects |
| 2-2 | Review and revise the Municipal Code to implement the goals, objectives and policies stated in the General Plan. | Periodically, the Municipal Code is revised and updated to reflect General Plan goals, objectives and policies. A General Plan annual report to review current General Plan standards is also completed and submitted to the Office of Planning and Research (OPR) each year. This is a policy that is reviewed annually with periodic updates throughout the year. This is an ongoing policy. | Planning |
| 2-3 | Conduct a detailed capital improvement program using the revised population projections and proposed land use characteristics of the General Plan. | A detailed capital improvement program is conducted annually by the Capital Projects Division of Public Works. This is an ongoing policy. | Public Works/Planning/Capital Projects |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 2-4 | Periodically study the feasibility of extending the sphere of influence north of the city limits and annexing unincorporated areas along the city boundary. | Designated spheres of influence have been established east and north of the city limits. The City periodically studies the extension of the existing spheres of influence to the north, with the latest attempt at expansion studied with the City Council in 2016. This is an ongoing policy. | Planning |
| 2-5 | Disseminate local childcare resource information and provide referral service to residents and businesses. | Childcare resource information is provided to residents and businesses in the City. Ongoing | Planning/Administrative Services |
| 2-6 | Encourage demand-response public transportation facilities, such as the mini-bus or dial-a-ride systems in order facilitate the transportation needs of the elderly and the disabled. | This is an on-going policy. Seniors and other users are encouraged to use para transit services provided by the Riverside Transit Agency. This is consistent with Chapter 9.11.080 of the Municipal Code. | Transportation/Planning |
| 2-7 | Provide City information identifying available social services and facilities in a broad range of formats. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Any projects funded with HOME or Housing Authority funding is provided on the City's website. | Housing/Administrative Services/Planning |
| 2-8 | Evaluate existing social programs under the City's purview, and determine if they adequately address the needs of the aged, the disabled, low-income families and persons in crisis situations. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Any projects funded with HOME or Housing Authority funding is provided at City's website. | Housing/Administrative Services/Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 2-9 | Work with other jurisdictions to seek changes in state law to allow reasonable controls on the location of community care facilities, foster homes and sober living facilities. | The City strives to work with surrounding jurisdictions and jurisdictions in California regarding state law and controls on location of community care facilities, foster homes and sober living. | Planning/Admin Services d |
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The City Structure Economic Development Goals and Policies

9.3 9.3 Economic Development Element Goals, Objectives, Policies and Programs

9.3.1 Economic Development Element Goals

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| | To be inserted after development of Economic Development Strategy. | This item will be completed with the next comprehensive update to the General Plan. | Economic Development |
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9.3.2 Economic Development Element Policies

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| | To be inserted after development of Economic Development Strategy. | This item will be completed with the next comprehensive update to the General Plan. | Economic Development |
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9.3.3 Economic Development Element Programs

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| | To be inserted after development of Economic Development Strategy. | This item will be completed with the next comprehensive update to the General Plan. | Economic Development |
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The City Structure Parks, Recreation and Open Space Element Goals and Policies

9.4 Parks, Recreation and Open Space Element Goals, Objectives, Policies and Programs

9.4.1 Parks, Recreation and Open Space Element Goals

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| Goal 4.1 | To enhance Moreno Valley as a desirable place in which to live, work, shop, and do business. | The City provides numerous amenities for residents including parks, sports facilities, cultural/community centers, restaurants, stores, entertainment, and medical facilities, to promote the desirability of the City. Ongoing. | Parks / Community Service <i>Economic Development</i> |
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Goal/Policy

Description

Discussion on Implementation Status

Responsible Party

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| Goal 4.2 | To retain an open space system that will conserve natural resources, preserve scenic beauty, promote a healthful atmosphere, provide space for outdoor recreation, and protect the public safety. | The City promotes the preservation of it's natural resources and scenic beauty of open space, creating a healthy atmosphere for outdoor recreation and public safety, per MVMC Title 7. On-going. | Parks / Community Service <i>Planning</i> |
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9.4.2 Parks, Recreation and Open Space Element Objectives and Policies

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| Objective 4.1 | Retain agricultural open space as long as agricultural activities can be economically conducted, and are desired by agricultural interests, and provide for an orderly transition of agricultural lands to other urban and rural uses. | The City encourages agricultural open space land as long as the activities can be economically conducted and it is an objective to provide for orderly transition of agricultural uses to other urban/rural lands. Permitted uses Table 9.02.020 in the Municipal Code allows for agricultural and crop production in all land use zones Ongoing. | Planning d |
| Policies: | | | |
| 4.1.1 | Encourage grazing and crop production as a compatible part of a rural residential atmosphere. | Permitted uses Table 9.02.020 allows for agricultural and crop production in all land use zones. Ongoing. | Planning |
| Objective 4.2 | Provide safe, affordable and accessible recreation facilities and programs to meet the current and future needs of Moreno Valley's various age and interest groups and promote the provision of private recreational facilities. | The City provides numerous safe, affordable, and accessible recreation facilities to meet the various needs or multiple age and interest groups. There are currently 4 community centers and 28 public parks that have recreation amenities. Ongoing. | Parks / Community Service |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.2.1 | Neighborhood parks shall serve as the day-to-day recreational areas of the City, Neighborhood parks should be within a reasonable walking distance of the population served. Community parks may also serve day-to-day recreation needs. That portion of the community and/or regional facilities that provide similar amenities to those found in neighborhood parks shall also be considered as meeting this objective. | Neighborhood parks are designed and constructed to be located within a reasonable distance of the population they are intended to serve. Community parks are designed and constructed to include similar amenities as neighborhood parks to meet the objective of a neighborhood park. On-going. | Parks / Community Service |

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| 4.2.2 | Community parks shall provide opportunities for participation in sports and related athletic activities, water-oriented recreation and other special interest activities (e.g. golf, tennis, equestrian, etc.). | Community parks provide opportunities for a variety of athletic activities. Examples of these include: Cottonwood Golf Center, Moreno Valley Equestrian Center, March Field Skate Park, tennis courts at three sites, basketball courts at several sites, and splash pads in two parks. Ongoing. | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.2.3 | Employ a multifaceted approach in the financing and acquisition, development and maintenance of parkland, including the financing of parklands through development fees, state and federal grant-in-aid programs, gifts and donations, and other sources. | Moreno Valley utilizes development impact fees, Quimby in lieu fees, Community Facilities and Services Districts, and various grants, to finance acquisition, development, and maintenance of parks and parkland. "Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District. Willdan Financial has been engaged to evaluate possible amendment to CFD No. 1 or creation of a new CFD to provide for a tax rate layer for non-residential development " | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 4.2.4 | Encourage special events (tournaments, festivals, celebrations) that reflect the uniqueness of Moreno Valley and contribute to community identity, cohesiveness and stability. | Moreno Valley encourages and hosts several special events. Some are unique to the City, in order to bring together it's residents. Examples are: 4th of July Independence Parade and Family Fun Fest, Youth Fest, Springtastic Festival and Egg Hunt, Recreation Expo, Concerts/Movies in the Parks, Snow Day and Holiday Tree Lighting. Ongoing | Parks / Community Service d |
| 4.2.5 | Work in conjunction with private and public school districts and other public agencies to facilitate the public use of school grounds and facilities for recreational activities. The City shall also encourage the development of park sites adjacent to school facilities to maximize recreational opportunities in Moreno Valley. | The City has joint-use agreements with the school districts for use of recreation facilities. The City encourages new developments to construct parks next to schools to maximize recreational opportunities in the City. Ongoing. | Parks / Community Service |
| 4.2.6 | The City shall use cost effectiveness, demand and need for service and potential return on investment as criteria for the development and operation of future recreational facilities and programs. | The City Council sets activities/program fees. Typically, senior programs are no-cost and youth and adult fees are cost recovery. Sponsorships are utilized to off-set costs. Ongoing. | Parks / Community Service |
| 4.2.7 | The City level of service standard is 3 acres of developed parkland for every 1,000 new residents. Exceptions from this ratio may be made in exchange for extraordinary amenities of comparable economic value. Land not suitable for active recreation purposes may not be counted toward fulfilling parkland dedication requirements. P | | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 4.2.8 | Encourage the development of recreational facilities within private developments, with appropriate mechanisms to ensure that such facilities are properly maintained and that they remain available to residents in perpetuity. | The Planning Division encourages development of recreational facilities within private developments, with facility maintenance provided through required Covenants, Conditions and Restrictions (CC&R's) and through a Homeowners Association. | Planning |
| 4.2.9 | In conjunction with the school districts, civic organizations, and other private, civic-minded entities, encourage and participate in the provision of organized recreational activities for Moreno Valley residents of all ages. | The City has many programs that incorporate organized recreation activities for schools, civic organizations, and private civic-minded entities. These are designed to encourage participation in organized recreational activities for resident of all ages. | Parks / Community Service |
| 4.2.10 | Involve individuals and citizen groups reflecting a cross section of Moreno Valley citizens (including youth and adults) in the planning, design and maintenance of parks, recreation facilities and recreation programs. | The City has established a Park and Trail adoption system for individuals and groups to assist with the maintenance of parks and trails. City has several boards and commissions that assist with the planning and design of recreation facilities, parks, and trails. Ongoing | Parks / Community Service |
| 4.2.11 | Emphasize joint planning and cooperation with all public agencies as the preferred approach to meeting the parks and program needs of Moreno Valley citizens. | Moreno Valley jointly plans and cooperates with the local fire department, police department, and water district, in its approach to meet the needs of citizens. On-going | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.2.12 | Include multi-functional spaces and facilities in parks to facilitate cultural events. | Moreno Valley utilizes parks and the Conference and Recreation Center to facilitate cultural events such as: movies and concerts in the park; Artoberfest (art displays and performances); and various heritage related events. | Parks / Community Service |

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| 4.2.13 | Provide recreation programs and access to facilities at reasonable costs. | The City provides many recreation programs and access to facility access at a reasonable cost. A few examples are: the Cottonwood Golf Center, Conference and Recreation Center gym, and Tee-ball. Ongoing | Parks / Community Service District |
| 4.2.14 | Establish linear parks in agreement with public and private utilities, including the State of California along the California Aqueduct, for the use and maintenance of utility corridors and rights-of-way for recreational purposes. | The City currently has agreements with the State Department of Water Resources for use of land over the California Aqueduct pipeline and Edison for the Sunnymead Ranch Linear Park. Ongoing | Parks / Community Service District |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.2.15 | Work closely with Riverside County Parks Department in its open space program to ensure that trail systems within Moreno Valley effectively link open space components. | The City requires developers that are located on Riverside County boundaries to coordinate their trail plans with the County Parks. (On- going) "Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District. | Parks / Community Service District |

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| 4.2.16 | Acquire land jointly with the local school districts for future school/park sites. | The City makes every effort to coordinate placing parks next to schools. An example of an undeveloped park next to a school is adjacent to March Middle School. Through a joint-use agreement the City had two lighted ball fields constructed on the school and will have a developer dedicated and construct a park adjacent to the school. On-going | Parks / Community Service |
| 4.2.17 | Require new development to contribute to the park needs of the City. | New development is required to provide fully functioning parks or a in-lieu fee for future construction of parks. | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.2.18 | Provide lighted sports fields to increase availability and utilization of courts and playing field facilities. | Where funding allows, the City has added or revamped lighting of sport facilities. Added/revamped facilities include Lassalle Sports Park and Morrison Park. Ongoing | Parks / Community Service |
| Objective 4.3 | Develop a hierarchical system of trails which contribute to environmental quality and energy conservation by providing alternatives to motorized vehicular travel and opportunities for recreational equestrian riding, bicycle riding, and hiking, and that connects with major regional trail systems. | The City has a master plan of multi-use trails and non-motorized bike trails throughout the City. They are designed to connect to trails and adjacent agencies. The trail plan is reviewed with each development annexing the City, each development building in the City, and on a yearly basis. Ongoing | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 4.3.1 | The City's network of multiuse trails, including regional trails, community trails, and local feeder trails, shall (1) be integrated with recreational, residential and commercial areas, schools and equestrian centers; (2) provide access to community resources and facilities, and (3) connect urban populations with passage to hillsides, ridgelines, and other scenic areas. | Per the Master Plan of Trails and the General Plan, trails are incorporated into parks, residential, commercial, and industrial developments. In many instances, trails provide access to facilities and other community resources. Trails are designed to connect to scenic areas. Ongoing | Parks / Community Service |

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| 4.3.2 | The City shall establish an agreement with public and private utilities for the use and maintenance of utility corridors and rights-of-way for trail purposes. | The City has several agreements with both public and private utilities for the design, construction, and maintenance of trails. Examples of these include the California Department of Water Resources, The Gas Company, and Southern California Edison. Ongoing | Parks / Community Services |
| 4.3.3 | All new development approvals shall be contingent on trail right-of-way dedication and improvement in accordance with the Master Plan of Trails (Figure 4-5). | In adherence to the Master Plan of Trails, the City may require fee or easement dedication for trails. New developments that annex to the City may be required to provide similar amenities. On-going | Parks / Community Services |
| 4.3.4 | In conjunction with all development review, the City shall consider multiuse trail access and traditional travel routes through the property. | Per the Master Plan of Trails and the General Plan, trails are incorporated into many developments adjacent to traditional travel routes (streets and sidewalks). On-going | Parks / Community Services |
| 4.3.5 | In conjunction with the review and approval of nonresidential developments, the City should consider the use of multiuse trail amenities such as hitching posts, benches, rest areas, and drinking facilities. | In adherence to the Master Plan of Trails, the City may require trails and related amenities within nonresidential development. | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.3.6 | Wherever possible, development of residential areas conditioned for animal keeping on lots of ½ acre or larger, shall include a decomposed granite trail on one side of the street and traditional concrete sidewalk on the other. | Where applicable, feeder trails are conditioned for residential developments that allow animal keeping. The standard is to have a trail on one side of the street and a traditional sidewalk on the other. On-going | Parks / Community Services |
| 4.3.7 | Trail design and construction should take into consideration the safety and convenience of all trail users as the primary concern. | User safety and convenience are the upmost concern in the planning and construction of multi-use trails. On-going | Parks / Community Services |

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| 4.3.8 | The City should facilitate the development of a multiuse regional trail system. | The City has been working with the County of Riverside and Lake Perris State Park to coordinate trail systems. On-going | Parks / Community Services |
| 4.3.9 | Unless otherwise specified due to fire department requirements, access or as established by a specific plan, city trails along roadways shall be ten (10) feet wide and shall be constructed with decomposed granite or equal material and shall provide appropriate fencing or other devices where needed to delineate trails from vehicular rights-of-way. | Multi-use trails where located adjacent or near roadways are designed to have a minimum flat surface of ten (10) foot in width, with a 2% cross-slope. Trails are delineated from vehicular traffic by means of fencing and or shrubbery. Trail surfaces are stabilized granite with a minimum thickness of four (4) inches. | Parks / Community Services |
| 4.3.10 | Where firefighting access is required, trails shall be 20' wide to meet the needs of the Fire Department and its equipment. Fire Department requirements shall be met in all conditions where access is required. | Where fire access and a trail is required, the minimum width of the trail shall be 20', to accommodate fire equipment and staging. On-going | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4.3.11 | In unusual situations where legal or topographical barriers exist (e.g., excessive slope, the configuration of right-of-way, existing vegetation, etc.), the City shall have the discretion to amend the trail requirement as needed to accomplish the goals of this General Plan. | The City makes amendments to specific trail locations, based on various topographical barriers. This is done to create a trail system that can be utilized by the majority of citizens, without inconvenience to residents. On-going | Parks / Community Services |
| 4.3.12 | Local feeder trails shall connect residential lots in property zoned for horse keeping to the community trail system. | Where appropriate zoning exists, the City requires developers to install Feeder Trails that connect residential lots to the City's Trail System. On-going | Parks / Community Services |
| 4.3.13 | The City will encourage volunteer programs for the improvement of existing trails for the purpose of providing an integrated trail network that is safe, functional and readily accessible. | The City encourages volunteers for it's Adopt a Trail Program, to maintain safe, functional, and accessible trails. To date, individuals to civic organizations have become volunteers. This is an on-going program. | Parks / Community Services |

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| 4.3.14 | Where feasible, use drainage courses, utility rights-of-way and other such opportunities to incorporate trail and open space elements in the design of major development projects. | The City evaluates developer projects to maximize the undeveloped space for use with trails, passive parks, and open space. Ongoing | Parks / Community Service |
| 4.3.15 | Utilize the Citizen's Advisory Board on Recreational Trails in making recommendations to City Council for the distribution of funds for the construction of new trails. | When funds are available, the Recreation Trails Board would be recommending body to City Council for distribution of funds to construct new trails. Ongoing | Parks / Community Service |
| 9.4.3 Parks, Recreation and Open Space Element Programs | | | |
| Programs: | | | |
| 4-1 | Develop a parks and recreation facilities master plan to implement the Parks and Recreation Element. | In 2012 the City developed a Parks Master Plan, to outline the current recreational facilities, as well to identify the deficiencies. The master plan is a living document, to be updated periodically. Page 56 of 127 | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4-2 | Develop policies and criteria for the establishment of trails and rest/picnic areas in natural open space areas. | The City has developed policies and criteria for the establishment of trails and rest stops in open space areas. Ongoing | Parks / Community Service |
| 4-3 | Set policies and criteria for the establishment of greenbelt standards and design guidelines to allow flexibility in design of greenbelt/parks/open spaces areas within new development as long as non-auto circulation corridors (for equestrians, bicycles, pedestrians, etc.) are provided and the overall dedication requirement for greenbelt and park facilities is met. | The City has set policies and criteria for the design and construction of greenbelts, parks, and open space. Several provide for the use of equestrians, bicycles, and pedestrians. These uses have become dedication requirements. Reviews of standards and design are under review every one to two years. | Parks / Community Service |
| 4-4 | Explore the feasibility of requiring new development to provide a percentage of the development in greenbelt area. | New developments are examined for possible greenbelts. Many of these developments are required to construct these greenbelts for the resident's use. | Parks / Community Service |

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| 4-5 | Provide on-going opportunities for public involvement and input into the park planning process. | The public is involved in assessing the current and future needs of park amenities. Some of this is done through committees/boards/commissions and some through community meetings. On-going | Parks / Community Services |
| 4-6 | Maintain advisory committees, such as the Parks and Recreation Advisory Committee, created by City Council in 1988, to serve in an advisory capacity on parks and recreation issues. | The City Parks and Community Services Departments maintains commissions/boards such as the Parks and Recreation Commission, Senior Advisory Board, Recreational Trails Board, various sports groups, and the Arts Commission. | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4-7 | Work with coalitions of sports organizations to define mutually compatible facility needs and mechanisms for the development, construction, operation and maintenance of these facilities. | The City consistently meets with various sports groups to discuss facilities and their needs. The City utilizes this information to design and construct new facilities as well as modify existing facilities. Ongoing. | Parks / Community Services |
| 4-8 | Investigate the feasibility of establishing a non-profit foundation to seek and receive donations from private sources for the support of Parks and Recreation programs and facilities. | The City's Library currently has a foundation for capital improvements. This foundation can be expanded upon to include various parks commissions/boards for specific programs. However, this must be approved by the IRS, so it does not jeopardize the City's tax exempt status. This program needs more investigation for additional uses. Ongoing. | Parks / Community Services |
| 4-9 | Acquire land and develop neighborhood and community parks in the "Recommended Future Parkland Acquisition Areas" shown in Figure 4-4. | Figure 4-4 was not provided in the 2006 General Plan. This item will need to be removed or updated with the next comprehensive General Plan update. | Parks / Community Services |

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| 4-10 | Prepare a comprehensive plan of trails that clearly defines the routing of city trails and is part of the General Plan. | During the last General Plan update a comprehensive master plan of trails was adopted, which defines locations for city trails. | Parks / Community Service |
| 4-11 | Develop policies and criteria for the establishment of multiuse trails and rest/picnic areas in natural open space areas. | The City has developed policies and criteria for the establishment of trails and rest stops in open space areas. On-going. This is a duplicate of Policy 4.2, and shall be removed during the next comprehensive General Plan Update. | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 4-12 | Periodically review the Master Plan of Trails to show existing and planned trails. | The Master Plan of Trails is periodically reviewed, adding newly constructed trails to the plan. Ongoing with yearly reviews. | Parks / Community Service |
| 4-13 | Enact ordinances requiring developers to incorporate trail corridors into their development plans in accordance with the <u>Master Plan of Trails</u> . | Ordinance 359 (1992) provides for recreational facilities for trails per the Master Plan of Trails. | Parks / Community Service |
| 4-14 | Develop standards for residential feeder trails to guide developers in locating and constructing trails and for the arrangement of on-going maintenance requirements of the trails. | The City has developed construction standards for residential feeder trails to guide developers in locating feeder trails, as well as requirement for the development to establish a funding mechanism to maintain these trails. <i>On-going program</i> | Parks / Community Service |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 4-15 | Establish a fee system for the equitable distribution of the cost of developing and maintaining trails citywide. | <p>The City has established a Community Facilities District to pay for the cost of developing and maintaining trails. (On-going program.) Zone A was formed at City incorporation to provide a funding mechanism for parks and community services. Every parcel in the City contributes to Zone A. CFD No. 1 (Park Maintenance) was established on July 8, 2003. The District was formed to provide financing tool for the residential development community. It provides a mechanism to fund the operation and maintenance of parks constructed after district formation. All new residential development is conditioned to contribute to the District.</p> <p>Willdan Financial has been engaged to evaluate possible amendment to CFD No. 1 or creation of a new CFD to provide for a tax rate layer for non-residential development</p> | Parks / Community Services |
| 4-16 | Investigate the feasibility of creating a special district(s) for the purpose of acquiring and managing open space and trails. | Currently, the City has a special district to manage trails. However, it has been the responsibility of developer associations to acquire and maintain open space. | Parks / Community Services |
| 4-17 | Seek out and apply for grants sponsored by state and federal agencies, such as the Recreational Trails Program administered by the Federal Highways Administration and the State Department of Parks and Recreation | The City applies for several grants for trails, if the qualifications are met. On-going program page 60 of 127 | Parks / Community Services |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| The City Structure Circulation Element Goals, Objectives, Policies, and Programs | | | |
| 9.5 Circulation Element Goals, Objectives, Policies, and Programs | | | |

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| 9.5.1 Circulation Element Goals | | | | d |
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| Goal 5.1 | Develop a safe, efficient, environmentally and financially sound, integrated vehicular circulation system consistent with the City General Plan Circulation Element Map, Figure 9-1, which provides access to development and supports mobility requirements of the system's users. | This is an on-going goal. It is accomplished through provisions of Titles 9 and 12 of the Municipal Code. | Transportation | |
| Goal 5.2 | Maintain safe and adequate pedestrian, bicycle, and public transportation systems to provide alternatives to single occupant vehicular travel and to support planned land uses. | This is an on-going goal. It is accomplished through provisions of Titles 9 and 12 of the Municipal Code. | Transportation | |
| 9.5.2 Circulation Element Objectives and Goals | | | | |
| Objective 5.1 | Create a safe, efficient and neighborhood- friendly street system. | This is an on-going objective. It is accomplished in accordance with Titles 9 and 12 of the Municipal Code. | Transportation | |
| Policies: | | | | |
| 5.1.1 | Plan access and circulation of each development project to accommodate vehicles (including emergency vehicles and trash trucks), pedestrians, and bicycles. | This is an on-going policy. It is implemented in accordance with Title 9 of the Municipal Code. | Transportation | |
| 5.1.2 | Plan the circulation system to reduce conflicts between vehicular, pedestrian and bicycle traffic. | This is an on-going policy. It is implemented in accordance with Titles 9 and 12 of the Municipal Code. | Transportation | |
| 5.1.3 | Require adequate off-street parking for all developments. | This is an on-going policy. It is implemented in accordance with Chapter 9.11 of the Municipal Code. | Transportation | |
| 5.1.4 | Driveway placement shall be designed for safety and to enhance circulation wherever possible. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation | |
| 5.1.5 | Incorporate American Disability Act (ADA) and Title 24 requirements in roadway improvements as appropriate. | This is an on-going policy. It is implemented in accordance with Chapter 9 of the Municipal Code. | Transportation | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 5.1.6 | Design new developments to provide opportunity for access and circulation to future adjacent developments. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation | |

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| Objective 5.2 | Implement access management policies. | This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |
| 5.2.1 | Locate residential units with access from local streets. Minimize direct residential access from collectors. Prohibit direct single-family driveway access on arterials and higher classification roadways. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.2.2 | Feed short local streets into collectors. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.2.3 | Encourage the incorporation of traffic calming design into local and collector streets to promote safe vehicle speeds. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 and Title 12 of the Municipal Code. | Transportation |
| 5.2.4 | Design new subdivisions to minimize the disruptive impact of motor vehicles on local streets. Long, broad and linear streets should be avoided. Residential streets should be no wider than 40 feet, and should have an uninterrupted length of less than one half mile. Curvilinear streets and cul-de-sacs are preferred. Streets within the subdivision should be designed to facilitate access to residences and to discourage through traffic. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 5.3 | Maintain Level of Service (LOS) "C" on roadway links, wherever possible, and LOS "D" in the vicinity of SR 60 and high employment centers. Figure 9-2 depicts the LOS standards that are applicable to all segments of the General Plan Circulation Element Map. | This is an on-going objective. It is implemented in accordance with Title 9 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| Policies: | | | |

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| 5.3.1 | Obtain right-of-way and construct roadways in accordance with the designations shown on the General Plan Circulation Element Map and the City street improvement standards. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.3.2 | Wherever feasible, promote the development of roadways in accordance with the City standard roadway cross-sections, as shown in Figure 9-3. Cross-sections range from two-lane undivided roadways to 8-lane divided facilities. | This is an on-going policy. It is implemented in accordance with Chapters 9.14.100 of the Municipal Code. | Transportation |
| 5.3.3 | Create new roadway classifications to accommodate future traffic demand, including; Divided Major Arterial - Reduced Cross-Section, and Divided Arterial - 6-lane. These cross-sections are shown on Figure 9-3. | This is an on-going policy. It is implemented in accordance with Chapter 9.14.100 of the Municipal Code. | Transportation |
| 5.3.4 | For planning purposes, utilize LOS standards shown on Table 5 - 1 to determine recommended roadway widths. | This is an on-going policy. It is implemented in accordance with Title 9 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.3.5 | Ensure that new development pays a fair share of costs to provide local and regional transportation improvements and to mitigate cumulative traffic impacts. For this purpose, require new developments to participate in Transportation Uniform Mitigation Fee Program (TUMF), the Development Impact Fee Program (DIF) and any other applicable transportation fee programs and benefit assessment districts. | This is an on-going policy. It is implemented in accordance with Title 3 of the Municipal Code. | Transportation |

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| 5.3.6 | Where new developments would increase traffic flows beyond the LOS C (or LOS D, where applicable), require appropriate and feasible mitigation measures as a condition of approval. Such measures may include extra right-of-way and improvements to accommodate left-turn and right-turn lanes at intersections, or other improvements. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.3.7 | Provide consideration to projects that have overriding regional or local benefits that would be desirable even though the LOS standards cannot be met. These projects would be required to analyze traffic impacts and mitigate such impacts to the extent that it is deemed feasible. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.3.8 | Pursue arterial improvements that link and/or cross the State route 60 (SR-60) Freeway, including an additional over-crossing at Graham Street. | This is an on-going policy. An additional over-crossing at Graham Street is shown as Initiative 4.6.4 of the City's Strategic Plan. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.3.9 | Address additional widenings at arterials providing access to SR-60 at Day Street, Frederick Street/Pigeon Pass road and Perris Boulevard. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| Objective 5.4 | Maximize efficiency of the regional circulation system through close coordination with state and regional agencies and implementation of regional transportation policies. | This is an on-going objective. The City works closely with all state and regional agencies to enhance the efficiency of the regional circulation system. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

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| 5.4.1 | Coordinate with Caltrans and the Riverside County Transportation Commission (RCTC) to identify and protect ultimate rights-of-way, including those for freeways, regional arterial projects, transit, bikeways and interchange expansion. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| 5.4.2 | Coordinate with Caltrans and RCTC regarding the integration of Intelligent Transportation Systems (ITS) consistent with the principles and recommendations of the Inland Empire Regional ITS Architecture Project. | This is an on-going policy. It is implemented in accordance with the City's ITS Master Plan. | Transportation |
| 5.4.3 | Work with property owners, in cooperation with RCTC, to reserve rights-of-way for potential Community and Environmental Transportation Acceptability Process (CETAP) corridors through site design, dedication, and land acquisition, as appropriate. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| 5.4.4 | The City Council will commit to establishing ongoing relationships with all agencies that play a role in the development of the City's transportation system. Council members who are appointed to these agencies as City representatives shall seek out leadership roles to maximize their effectiveness on behalf of the City. Council will strive to maintain continuity in their appointments of representatives to promote effective representation. | This is an on-going policy. The Administrative Codes for various regional agencies define the requirements for elected officials to be represented on their Executive Boards. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.4.5 | Work with RCTC, WRCOG, and the TUMF Central Zone Committee to facilitate the expeditious construction of TUMF Network projects, especially projects that directly benefit Moreno Valley. | This is an on-going policy. The City has designated certain Public Works staff to represent Moreno Valley interests at various Technical Advisory meetings. | Transportation |

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| 5.4.6 | Cooperatively participate with SCAG, RCTC, and WRCOG in the planning for a transportation system that anticipates regional needs for the safe and efficient movement of goods and people. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| 5.4.7 | Utilizing a combination of regional, state and federal funds, development impact fees, and other locally generated funds, provide needed improvements along SR 60 and the associated interchanges, including interchange and grade separation improvements. | This is an on-going policy. It is implemented in accordance with Chapters 3.44 and 9.11.080 of the Municipal Code. | Transportation |
| 5.4.8 | Reserve rights-of-way to accomplish future improvements as specified in the Caltrans District 8 Route Concept Fact Sheet for SR-60. Specifically, SR- 60 shall be built to six general purpose lanes and two High Occupancy Vehicle (HOV) lanes through Moreno Valley. Additional auxiliary lanes may be required between interchanges. The need for auxiliary lanes will be determined from future studies. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. A complete review of the Circulation Element will be accomplished with the next General Plan update. | Transportation |
| 5.4.9 | Lobby the State Legislature to keep triple trailer trucks off highways in developed areas of California. | This policy is out of date. Staff does not actively lobby against triple trailer trucks off highways. | Transportation |
| Objective 5.5 | Maximize efficiency of the local circulation system by using appropriate policies and standards to design, locate and size roadways. | This is an on-going objective primarily accomplished through provisions in Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.5.1 | Space Collectors between higher classification roadways within development areas at appropriate one-quarter mile intervals. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.2 | Provide dedicated left-turn lanes at all major intersections on minor arterials and higher classification roadways. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |

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| 5.5.3 | Prohibit points of access from conflicting with other existing or planned access points. Require points of access to roadways to be separated sufficiently to maintain capacity, efficiency, and safety of the traffic flow. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.4 | Wherever possible, minimize the frequency of access points along streets by the consolidation of access points between adjacent properties on all circulation element streets, excluding collectors. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.5 | Design streets and intersections in accordance with the Moreno Valley Municipal Code. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.6 | Consider the overall safety, efficiency and capacity of street designs as more important than the location of on-street parking. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.7 | For developments fronting both sides of a street, require that streets be constructed to full width. Where new developments front only one side of a street, require that streets be constructed to half width plus an additional 12-foot lane for opposing traffic, whenever possible. Additional width may be needed for medians or left and/or right turn lanes. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.5.8 | Whenever possible, require private and public land developments to provide on-site and off-site improvements necessary to mitigate any development- generated circulation impacts. A review of each proposed land development project shall be undertaken to identify project impacts to the circulation system. The City may require developers to provide traffic impact studies prepared by qualified professionals to identify the impacts of a development. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |

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| 5.5.9 | Design curves and grades to permit safe movement of vehicular traffic per applicable Caltrans and Moreno Valley standards. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.10 | Provide adequate sight distances for safe vehicular movement at all intersections and driveways. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.5.11 | Implement National Pollutant Discharge Elimination System Best Management Practices relating to construction of roadways to control runoff contamination from affecting water resources. | The National Pollutant Discharge Elimination System Best Management Practices are required for projects relating to the construction of roadways, to control runoff contamination from impacting water resources (ongoing). | Transportation |
| Objective 5.6 | Support development of a ground access system to March Inland Port in accordance with its development plan as a major cargo airport. | This is an on-going objective. The City works closely with the March Joint Powers Authority in implementing strategies / development in support of a major cargo airport. | Transportation |
| Policies: | | | |
| 5.6.1 | Ensure that City arterials that provide access to and from March Inland Port are properly designed to accommodate projected traffic volumes, including truck traffic. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.6.2 | Ensure that traffic routes to March Inland Port are planned to minimize impacts to City residential communities. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Objective 5.7 | Design roads to meet the needs of the residents of the community without detracting from the "rural" atmosphere in designated portions of Moreno Valley. (Designated "rural" areas include those encompassed by the Residential Agriculture 2, Residential 1, Rural Residential and Hillside Residential zoning districts. "Urban" areas encompass all other zoning districts.) | This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |

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| 5.7.1 | Pursue development of modified sidewalk standards for local and collector roads within low density areas to reflect the rural character of those areas. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5.7.2 | Provide sidewalks on arterials in designated low density areas that provide access to schools and bus stops. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Objective 5.8 | Encourage development of an efficient public transportation system for the entire community. | This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |
| 5.8.1 | Support the development of high-speed transit linkages, or express routes, that would benefit the citizens and employers of Moreno Valley. | This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of Bus Rapid Transit routes as developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.8.2 | Support the efforts of the March Joint Powers Authority in its pursuit of a Transit Center. | This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| 5.8.3 | Encourage public transportation opportunities that address the particular needs of transit dependent individuals in the City such as senior citizens, the disabled and low -income residents. | This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| 5.8.4 | Ensure that all new developments make adequate provision for bus stops and turnout areas for both public transit and school bus service. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |

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| 5.8.5 | Continue on-going coordination with transit authorities toward the expansion of transit facilities into newly developed areas. | This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| Objective 5.9 | Support and encourage development of safe, efficient and aesthetic pedestrian facilities. | This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.9.1 | Encourage walking as an alternative to single occupancy vehicle travel, and help ensure the safety of the pedestrian as follows: (a) All new developments shall provide sidewalks in conformance with the City's streets cross-section standards, and applicable policies for designated urban and rural areas. (b) The City shall actively pursue funding for the infill of sidewalks in developed areas. The highest priority shall be to provide sidewalks on designated school routes. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code. | Transportation |
| 5.9.2 | Walkways shall be designed to minimize conflicts between vehicles and pedestrians. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code. | Transportation |
| 5.9.3 | Where appropriate, provide amenities such as, but not limited to, enhanced paving, seating, and landscaping to enhance the pedestrian experience. | This is an on-going policy. New development is reviewed and conditioned to provide pedestrian friendly infrastructure in accordance with 9.11.100 of the Municipal Code. | Transportation |
| 5.9.4 | Require the provision of convenient and safe pedestrian access to buildings from the public sidewalk. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.100 of the Municipal Code. | Transportation |

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| Objective 5.10 | Encourage bicycling as an alternative to single occupant vehicle travel for the purpose of reducing fuel consumption, traffic congestion, and air pollution. The Moreno Bikeway Plan is shown in Figure 9-4. | This is an on-going objective. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| Policies: | | | |
| 5.10.1 | Bikeways shall link residential neighborhood areas with parks, employment centers, civic and commercial areas, and schools. | This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. age 72 of 127 | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5.10.2 | Integrate bikeways, consistent with the Bikeway Plan, with the circulation system and maintain Class II and III bikeways as part of the City's street system. | This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| 5.10.3 | Support bicycle safety programs, and active enforcement of laws relating to the safe operation of bicycles on City streets. | This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| 5.10.4 | Link local bikeways with existing and planned regional bikeways. | This is an on-going policy. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| Objective 5.11 | Eliminate obstructions that impede safe movement of vehicles, bicyclists, and pedestrians. | This is an on-going objective. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

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| 5.11.1 | Landscaping adjacent to City streets, sidewalks and bikeways shall be designed, installed and maintained so as not to physically or visually impede public use of these facilities. (a) The removal or relocation of mature trees, street trees and landscaping may be necessary to construct safe pedestrian, bicycle and street facilities. (b) New landscaping, especially street trees shall be planted in such a manner to avoid overhang into streets, obstruction of traffic control devices or sight distances, or creation of other safety hazards. | This is an on-going program. Transportation Engineering works closely with Special Districts to ensure existing and proposed landscaping does not interfere with traffic control devices or pose any problems for pedestrians and cyclists. | Transportation |
| 5.11.2 | Driveways shall be designed to avoid conflicts with pedestrian and bicycle travel. | This is an on-going policy. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Objective 5.12 | Promote efficient circulation planning for all school sites that will maximize pedestrian safety, and minimize traffic congestion and neighborhood impacts. | This is an on-going objective. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| Policies: | | | |
| 5.12.1 | Coordinate with school districts to identify suggested pedestrian routes within existing and new subdivisions for school children to walk to and from schools and/or bus stops. | This is an on-going policy. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts. | Transportation |
| 9.5.3 Circulation Element Programs | | | |
| Programs: | | | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5-1 | Periodically review current traffic volumes, traffic collision data, and the pattern of urban development to coordinate, program, and as necessary revise the planning and prioritization of road improvements. | This is an on-going program. It is implemented in accordance with Title 12 of the Municipal Code. | Transportation |

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| 5-2 | Periodically, reassess the goals, objectives and policies statements of the Circulation Element and propose amendments, as necessary. | This is an on-going program. A comprehensive review of the Circulation Element will be performed with the next update of the General Plan. | Transportation d |
| 5-3 | Develop a comprehensive strategy to ensure full funding of the circulation system. The strategy will include the DIF, TUMF, and other funding sources that may be available to the City. In addition, the creation of benefit assessment districts, and road and bridge fee districts may be considered where appropriate. | This is an on-going policy. It is implemented in accordance with Title 3 of the Municipal Code. | Transportation |
| 5-4 | Develop a multi-year transportation infrastructure improvement program that, to the extent feasible, phases the construction of new projects in advance of new development. | This is a bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process. | Transportation |
| 5-5 | The above referenced program will prioritize circulation improvement projects to be funded from DIF, TUMF and other sources. Prioritization to consider the following factors: (a) Traffic safety; (b) Congestion relief; (c) Access to new development; (d) Equitable benefit. | This is a bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process. | Transportation |
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| 5-6 | <p>Conduct studies of specified arterial segments to determine if any additional improvements will be needed to maintain an acceptable LOS at General Plan build-out. Generally, these segments will be studied as new developments are proposed in their vicinity.</p> <p>Measures will be identified that are consistent with the Circulation Element designation of these roadway segments, such as additional turn lanes at intersections, signal optimization by coordination and enhanced phasing, and travel demand management measures.</p> <p>The study of specified arterial segments will be required to identify measures to maintain an acceptable LOS at General Plan build-out for at least one of the reasons discussed below:</p> <p>(a) Segments will need improvement, but their ultimate volumes slightly exceed design capabilities.</p> <p>(b) Segments will need improvements but require inter-jurisdictional coordination.</p> <p>(c) Segments would require significant encroachment on existing adjacent development if built-out to their Circulation Element designations.</p> | <p>This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. The Circulation Element will undergo an extensive analysis with the next update of the General Plan.</p> | <p>Transportation d</p> |
| 5-7 | <p>Establish traffic study guidelines to deal with development projects in a consistent manner. The traffic study guidelines shall include criteria for projects that propose changes in the approved General Plan land uses.</p> | <p>This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. Traffic study guidelines will be modified with the next update of the General Plan to ensure compliance with SB 743.</p> | <p>Transportation</p> |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 5-8 | Develop access guidelines for arterials with commercial frontage to facilitate access to development and preservation of safe flow of traffic. A component of guidelines shall address shared access. | This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5-9 | Collaborate with all adjacent jurisdictions to implement and integrate right-of-way requirements and improvement standards for General Plan roads that cross-jurisdictional boundary. | This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5-10 | Support regional projects that improve access to Moreno Valley. Examples of specific ongoing projects that should be supported include: (a) CETAP Cajalco alignment and extension to State Route 241 in Orange County; (b) CETAP Moreno Valley to San Bernardino alternative alignments including Reche Canyon Road / Reche Vista Road alignment and the Pigeon Pass Road to Pepper Avenue alignment; (c) TUMF Backbone Network projects to widen Alessandro Boulevard and Van Buren Boulevard; (d) Measure A projects to widen SR-60 through the Badlands, widen Interstate 215 (I-215) from Riverside interchange to Interstate 10, and extension of San Jacinto commuter rail line; (e) Construction of commuter rail stations in Highgrove, and at the intersection of Alessandro at I- 215; (f) Construction of HOV ramp connector from westbound SR-60 to south bound I-215; (g) Widen SR-60/I-215 from Moreno Valley interchange to Riverside interchange. | This is an on-going program. The City has designated certain Public Works staff to represent Moreno Valley interests at various Technical Advisory meetings. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5-11 | Work with RCTC, Caltrans, County of Riverside, adjacent jurisdictions and other affected agencies to plan and develop a multi-modal transportation system. | This is an on-going program. The City works closely with regional partners in the development of a circulation system that supports all modes of transportation. | Transportation |

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| 5-12 | Coordinate with Caltrans to redesign and reconstruct the SR-60 interchanges with Day Street, Perris Boulevard, Nason Street, Moreno Beach Drive, Redlands Boulevard, Theodore Street and Gilman Springs Road. | This is completed in concert with the bi-annual City Capital Improvement Plan effort. It is implemented in accordance with the City's bi-annual budget process and Riverside County's bi-annual Federal Transportation Improvement Plan (FTIP) process. Nason Street interchange is complete | Transportation |
| 5-13 | Implement Transportation demand management (TDM) strategies that reduce congestion in the peak travel hours. Examples include carpooling, telecommuting, and flexible work hours. | This is an on-going program. It is implemented in accordance with Chapter 9.11.080 of the Municipal Code. | Transportation |
| 5-14 | Implement programs in support of the efforts of Riverside Transit Agency toward the expansion of the existing bus system within the City and the provision of future public transportation consistent with the Riverside County Transit Plan. | This is an on-going program. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| 5-15 | Work with Riverside County Transportation Commission and Riverside Transit Agency to implement the Transit Oasis system. | This program is out of date. The City worked with RTA when they developed their Comprehensive Operational Analysis which is their long range planning document. | Transportation |
| 5-16 | Implement programs that mitigate on-street hazards for bicyclists. | This is an on-going program. Bicycle Infrastructure is developed in accordance with the adopted Bicycle Master Plan. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 5-17 | Pursue regional, state and federal grant opportunities to fund design and construction of the City bikeway system. | This is an on-going program. Bicycle Infrastructure funding opportunities are identified in the adopted Bicycle Master Plan. | Transportation |
| 5-18 | Pursue grant funding that supports traffic safety at and in the vicinity of school facilities. | This is an on-going program. The City aggressively pursues all traffic safety related grant funding. | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 5-19 | Work with school districts and private schools to identify school site locations and designs that will minimize traffic impacts and promote traffic safety. | This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts. | Transportation |
| 5-20 | Work with school districts and private schools to identify suggested school routes and drop-off/pick-up plans for cars and buses. | This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts. | Transportation |
| 5-21 | Work with school districts and private schools to develop and promote traffic safety education programs. | This is an on-going program. The city has a robust Safe Routes to School Program which provides for designated walking routes, and school age pedestrian education / encouragement outreach efforts. | Transportation |

The City Structure Safety Element Goals, Objectives, Policies, and Programs

9.6 Safety Element Goals, Objectives, Policies, and Programs

9.6.1 Safety Element Goals

| | | | |
|--------------------|--|--|-------------------------------------|
| Goal 6.1 | To achieve acceptable levels of protection from natural and man-made hazards to life, health, and property | <p>1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS.</p> <p>2. The City contracts with Cal-Fire for fire protection and emergency services. 3. the City's fire prevention and building safety divisions adopt and enforce the latest codes pertaining to structural, building construction and fire safety in the built environment.</p> | Fire / Police / Building / Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| Goal 6.2 | To have emergency services which are adequate to meet minor emergency and major catastrophic situations. | 1.The City contracts with Cal-Fire for fire protection and emergency services. The city has seven fire stations and access to a full complement of emergency services to respond to fires, medical emergencies, extrications, urban search and rescue, wild land fires, and swift water rescues. 2.Building and Safety Inspectors are trained through Cal OES and certified for the State of California in the Safety Assessment Program, for emergency assessment of all buildings and properties. 3. PD: The police department is almost fully staffed, and fully prepared to provide adequate services to meet emergency and catastrophic incident needs. | Fire / Police / Building d |
|-----------------|--|--|-------------------------------|

9.6.2 Safety Element Objectives and Goals

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| Objective 6.1 | Minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage due to seismic ground shaking and secondary effects. | All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events. | Fire / Police / Building / Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6.1.1 | Reduce fault rupture and liquefaction hazards through the identification and recognition of potentially hazardous conditions and areas as they relate to the San Jacinto fault zone and the high and very high liquefaction hazard zones. During the review of future development projects, the City shall require geologic studies and mitigation for fault rupture hazards in accordance with the Alquist-Priolo Special Study Zones Act. Additionally, future geotechnical studies shall contain calculations for seismic settlement on all alluvial sites identified as having high or very high liquefaction potential. Should the calculations show a potential for liquefaction, appropriate mitigation shall be identified and implemented. | 1. All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events . Fire: This is really a Building and Land Development thing. Fire should be removed. | Fire / Police / Building Planning |
| 6.1.2 | Require all new developments, existing critical and essential facilities and structures to comply with the most recent Uniform Building Code seismic design standards. | All residential and commercial buildings and structures are built to the current 2016 California Building Codes part 1 &2, volume 1&2 for all seismic events . Fire: The City's building safety division adopts and enforces the latest California Building Code pertaining to structural and seismic safety in the built environment. This is an ongoing goal. See MVMC 8.20. | Fire / Police / Building |
| Objective 6.2 | Minimize the potential for loss of life and protect residents, workers, and visitors to the City from physical injury and property damage, and to minimize nuisances due to flooding. | Currently being done consistent with Municipal Code capture 8.12 as well as Federal Emergency Management Agency (FEMA) requirements. | Land Development |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

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| 6.2.1 | Permit only that development in 100-year floodplain that represents an acceptable use of the land in relation to the hazards involved and the costs of providing flood control facilities. Locate critical facilities, such as hospitals, fire stations, police stations, public administration buildings, and schools outside of flood hazard areas. | This item is currently applied consistently with Municipal Code Chapter 8.12 as well as Federal Emergency Management Agency (FEMA) requirements. | Land Development d |
| 6.2.2 | Storm drains and catch basins owned and operated by the City shall be inspected, cleaned and maintained pursuant to an approved clean out schedule. | M&O maintains storm drains compliant with NPDES requirements consistent with Muni Code Chapter 8.10. | Land Development/M&O |
| 6.2.3 | Maximize pervious areas in order to reduce increases in downstream runoff resulting from new development. | This is accomplished through the review/implementation of WQMPs and site design features consistent with Municipal Code Chapters 9.16, 9.17, et al. | Land Development /Planni |
| 6.2.4 | Design, construct and maintain street and storm drain flood control systems to accommodate 10 year and 100 year storm flows respectively. | Design of Street and storm drain flood control systems are accomplished through design review of improvement plans and studies consistent with Municipal Code Section 9.14.110. Capital Projects: This is completed in conjunction with Riverside County Flood Control and Water Conservation District's (RCFC&WCD) cooperation and funding. It is implemented in accordance with RCFC&WCD's annual Zone budget effort. | Land Development/M&O Capital Projects |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6.2.5 | The storm drain system shall conform to Riverside County Flood Control and Water Conservation District master drainage plans and the requirements of the Federal Emergency Management Agency. | This item is accomplished through design review of improvement plans and studies consistent with Muni Code Chapter 8.12. Capital Projects: This is completed in conjunction with Riverside County Flood Control and Water Conservation District's (RCFC&WCD) cooperation and funding. It is implemented in accordance with RCFC&WCD's annual Zone budget effort. | Land Development Projects d |
| Objective 6.3 | Provide noise compatible land use relationships by establishing noise standards utilized for design and siting purposes. | Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides requirements for construction noise and times construction and grading can occur. This is an ongoing objective for all development. | Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6.3.1 | <p>The following uses shall require mitigation to reduce noise exposure where current or future exterior noise levels exceed 20 CNEL above the desired interior noise level:</p> <p>a. Single and multiple family residential buildings shall achieve an interior noise level of 45 CNEL or less. Such buildings shall include sound-insulating windows, walls, roofs and ventilation systems. Sound barriers shall also be installed (e.g. masonry walls or walls with berms) between single-family residences and major roadways.</p> <p>b. New libraries, hospitals and extended medical care facilities, places of worship and office uses shall be insulated to achieve interior noise levels of 50 CNEL or less.</p> <p>c. New schools shall be insulated to achieve interior noise levels of 45 CNEL or less.</p> | <p>Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides regulations for construction noise and times construction and grading can occur. If CNEL levels are not met with the uses listed in this policy, mitigation measures for items such as installation shall be provided through the Noise Study and/or environmental document. This is an ongoing</p> | <p>Planning d</p> |
| 6.3.2 | <p>Discourage residential uses where current or projected exterior noise due to aircraft over flights will exceed 65 CNEL.</p> | <p>Title 11, Chapter 11.80 "Noise Regulation" provides requirements for residential uses noise and Section 9.07.060 of the Municipal Code provides standards consistent with the Air Installation Compatibility Zone (ACUZ) Use Overlay District. Land use and building restrictions are provided when exceeding noise levels or if development/use is not in compliance with ACUZ standards. This is an ongoing policy.</p> | <p>Planning</p> |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6.3.3 | Where the future noise environment is likely to exceed 70 CNEL due to overflights from the joint-use airport at March, new buildings containing uses that are not addressed under Policy 6.3.1 shall require insulation to achieve interior noise levels recommended in the March Air Reserve Base Air Installation Compatible Use Zone Report. | Section 9.07.060, referring to the Air Installation Compatibility Zone (ACUZ) Use Overlay District, provides land use and building restrictions when exceeding noise levels or not in compliance with ACUZ standards. This is an ongoing policy. | Planning | d |
| 6.3.4 | Encourage residential development heavily impacted by aircraft over flight noise, to transition to uses that are more noise compatible. | Section 9.07.060 as well as ACUZ and/or standards required by the Airport Land Use Commission encourage non-compatible land uses to transition to more compatible uses. | Planning | |
| 6.3.5 | Enforce the California Administrative Code, Title 24 noise insulation standards for new multi-family housing developments, motels and hotels. | Title 24 noise insulation standards for both new multi-family housing developments and hotels/motels are continually enforced through the California Administrative Code. This is an ongoing policy. | Planning | |
| 6.3.6 | Building shall be limited in areas of sensitive receptors. | Section 9.07.060 as well as ACUZ and/or Airport Land Use Commission regulations restricts or limits building within areas of sensitive receptors. | Planning | |
| Objective 6.4 | Review noise issues during the planning process and require noise attenuation measures to minimize acoustic impacts to existing and future surrounding land uses. | Potential Noise issues to surrounding land uses are reviewed through the project design review stage at the Project Review Staff Committee and through the California Environmental Quality Act (CEQA) standards. Mitigation measures for noise shall be provided in environmental documents to limit noise impacts. This is an ongoing City objective. | Planning | |
| Policies: | | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |

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| 6.4.1 | Site, landscape and architectural design features shall be encouraged to mitigate noise impacts for new developments, with a preference for noise barriers that avoid freeway sound barrier walls. | Specific design features are incorporated into projects during design review to minimize noise impacts. This could include site design features such as the placement of loading areas away from residential sensitive receptors, dense landscape and decorative walls. This is an ongoing policy. | Planning d |
| Objective 6.5 | Minimize noise impacts from significant noise generators such as, but not limited to, motor vehicles, trains, aircraft, commercial, industrial, construction, and other activities. | Chapter 9.10, Section 9.10.120 "Performance Standards" of the Municipal Code requires all mechanical and electrical equipment associated with such items as vehicles, land use or construction etc. to screen and minimize potential noise in a manner that it does not disturb adjacent uses and activities. (Ongoing) | Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6.5.1 | New commercial and industrial activities (including the placement of mechanical equipment) shall be evaluated and designed to mitigate noise impacts on adjacent uses | Chapter 9.16 "Design Guidelines", Sections 9.16.150 and 9.16.160 and Chapter 9.08, Section 9.08.150 of the Municipal Code provides general screening and buffer requirements for non-residential properties to other sensitive properties. This would include such items as trash areas, loading areas, ground-mounted equipment, roof mounted equipment etc. Chapter 9.10, Section 9.10.120 "performance Standards" of the Municipal Code requires all mechanical and electrical equipment associated with such items as vehicles, land use or construction etc. to screen and minimize potential noise in a manner that it does not disturb adjacent uses and activities. This is an ongoing policy. | Planning d |
| 6.5.2 | Construction activities shall be operated in a manner that limits noise impacts on surrounding uses. | Chapter 9.10, Section 9.10.140 "Noise and Sound" of the Municipal Code provides standards for commercial and industrial uses. Additionally, Title 11, Chapter 11.80 "Noise Regulation" provides regulations for construction noise and times construction and grading can occur. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 6.6 | Promote land use patterns that reduce daily automotive trips and reduce trip distance for work, shopping, school, and recreation. | The General Plan Land Use Map and the City's zoning map have provided land uses and patterns that reduce vehicle trips and distances for essential services. The City's Climate Action Plan also has provided strategies to reduce vehicle miles traveled. This is an ongoing objective. | Planning |
| Policies: | | | |

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| 6.6.1 | Provide sites for new neighborhood commercial facilities within close proximity to the residential areas they serve. | The General Plan Land Use Map and the City's zoning map have provided land use designations and patterns that provide opportunities for residential areas to easily access neighborhood commercial areas (Ongoing) | Planning | d |
| 6.6.2 | Provide multi-family residential development sites in close proximity to neighborhood commercial centers in order to encourage pedestrian instead of vehicular travel. | Zoning Maps provided in the Municipal Code are consistent with the General Plan land use maps and have provided multiple-family zoning near or adjacent to where neighborhood commercial zoned property is located. This is an ongoing policy. | Planning | |
| 6.6.3 | Locate neighborhood parks in close proximity to the appropriate concentration of residents in order to encourage pedestrian and bicycle travel to local recreation areas. | Moreno Valley strives to locate neighborhood parks in close proximity to the development the park will serve. Examples of these are: Victoriano Park/School, El Potrero Park/School, Morrison Park, Westbluff Park, and Ridgecrest Park. Pedestrian and bicycle travel to the parks are encourage, as well as shopping areas around parks. On-going | Parks | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| Objective 6.7 | Reduce mobile and stationary source air pollutant emissions. | Mobile and stationary source air pollution emissions are reviewed for most projects. For larger industrial projects, it is a primary objective to reduce air pollution sources. Air Quality is reviewed through the California Environmental Quality Act Guidelines and mitigation measures to reduce source are pollution emissions are a frequent occurrence. This is an ongoing City objective | Planning | |
| Policies: | | | | |

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| 6.7.1 | Cooperate with regional efforts to establish and implement regional air quality strategies and tactics. | The City complies with standards within the California Air Resources Board (CARB) South Coast Air Quality Management District (SCAQMD) requirements and rules (i.e. Rule 403) regarding emissions and air quality strategies. Checks and balances are reviewed thoroughly in the appropriate project environmental document. This is an ongoing policy. | Planning |
| 6.7.2 | Encourage the financing and construction of park-and-ride facilities. | This is an on-going policy. The City works closely with Caltrans and RCTC in the development of Park and Ride Facilities. | Transportation |
| 6.7.3 | Encourage express transit service from Moreno Valley to the greater metropolitan areas of Riverside, San Bernardino, Orange and Los Angeles Counties. | This is an on-going policy. The City works closely with Riverside Transit Agency (RTA) in the implementation of recommended improvements developed in the RTA Comprehensive Operational Analysis (COA). | Transportation |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 6.7.4 | Locate heavy industrial and extraction facilities away from residential areas and sensitive receptors. | Chapter 9.05 provides Good Neighbor standards for the location of heavy industrial uses away from residential uses. Examples of established buffer areas in large industrial projects are within the World Logistics Specific Plan and the Industrial Area Plan (SP 208), each separating industrial uses from residential uses. | Planning |

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| 6.7.5 | Require grading activities to comply with South Coast Air Quality Management District's Rule 403 regarding the control of fugitive dust. | All grading activities comply with the South Coast Air Quality Management Districts Rule 403. Conditions of approval on projects confirm control of fugitive dust by such measures as continual watering of the site and restriction of grading during higher wind events. This is an ongoing policy. | Planning | d |
| 6.7.6 | Require building construction to comply with the energy conservation requirements of Title 24 of the California Administrative Code. | All residential and commercial buildings and structures are built to the current 2016 California Energy and Green Codes for all new and remodeled and tenant improvement project. | Building | |
| Objective 6.8 | As feasible given budget constraints, strive to maintain a police force with a ratio of one sworn officer for each 1,000 residents. | Fire should be removed from this item PD: The county continues to fill open positions and the new contract allows for two additional sworn officers. | Police / Fire | |
| Policies: | | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 6.8.1 | Explore the most effective and economical means of providing responsive and adequate law enforcement protection in the future. | Fire should be removed from this item PD: Senior leadership continues to work toward improving community policing programs, reducing crime, improving service and reducing costs. | Police / Fire | |

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| Objective 6.9 | Reduce the risk and fear of crime through physical planning strategies that maximize surveillance opportunities and minimize opportunities for crime found in the present and future built environment, and by creating and maintaining a high level of community awareness and support of crime prevention. | Fire should be removed from this item PD: Senior leadership continues to work toward improving community policing programs, reducing crime, improving service delivery, and improving the perception of safety in the city. New patrol tactics, team deployments, social media platforms, and crime analysis strategies are being used to maximize our efforts. | Police / Fire |
| Policies: | | | |
| 6.9.1 | Promote the establishment of neighborhood and business watch programs to encourage community participation in the patrol of neighborhood areas, and increased awareness of any suspicious activity. | Fire should be removed from this item PD: Our Community Services Unit and Problem Oriented Policing Teams continues to work with neighborhood watch programs, businesses, and apartment managers to encourage community participation in the patrol of neighborhood areas, and increased awareness of any suspicious activity. A social media component is in the works to assist with these programs as well. | Police / Fire |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 6.9.2 | Require well-lighted entrances, walkways and parking lots, street lighting in all commercial, industrial areas and multiple-family residential areas to facilitate nighttime surveillance and discourage crime. | Fire should be removed from this item PD: Crime Prevention through Environmental Design (CPTED) Concepts are provided to businesses and homeowners via an inspection process handled by the Department's Community Services Unit. | Police / Fire |

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| 6.9.3 | Incorporate "defensible space" concepts into the design of dwellings and nonresidential structures, including, but not limited to configuration of lots, buildings, fences, walls and other features that facilitate surveillance and reinforce a sense of territorial control. | Fire should be removed from this item PD: Crime Prevention through Environmental Design (CPTED) Concepts are provided to businesses and homeowners via an inspection process handled by the Department's Community Services Unit. | Police / Fire / PD | d |
| Objective 6.10 | Protect life and property from the potential short- term and long-term deleterious effects of the necessary transportation, use, storage treatment and disposal and hazardous materials and waste within the City of Moreno Valley. | The Fire Prevention Division strives to inspect business occupancies who store, handle, use hazardous materials on an annual basis. The latest California Fire Code regulations pertaining to hazardous materials processes are enforced. | Fire | |
| Policies: | | | | |
| 6.10.1 | Require all land use applications and approvals to be consistent with the siting criteria and other applicable provisions of the adopted Hazardous Waste Management Plan, which is also incorporated into and as part of the General Plan. | The Hazardous Waste Management Plan. | Waste Coordinator | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 6.10.2 | Manage the generation, collection, storage, processing, treatment, transport and disposal of hazardous waste in accordance with provisions of the City of Moreno Valley's adopted Hazardous Waste Management Plan, which is also incorporated into and as part of the General Plan. | The Hazardous Waste Management Plan. Host hazardous waste collection events; educate residents how to properly handle and dispose of hazardous waste; support Riverside County's efforts to provide residents and businesses with opportunities to dispose of hazardous waste properly. Work with Federal, State and County agencies to identify and regulate the use and disposal of toxic waste. | Waste Coordinator | |

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| Objective 6.11 | Maintain an integrated emergency management program that is properly staffed, trained, and equipped for receiving emergency calls, providing initial response, providing for key support to major incidents. | 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. | Fire | d |
| Policies: | | | | |
| 6.11.1 | Respond to any disaster situation in the City to provide necessary initial response and providing for key support to major incidents. | 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. | Emergency Operations / Fi | |
| 6.11.2 | Provide emergency first aid treatment when necessary. | 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. age 94 of 127 | Emergency Operations / Fi | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 6.11.3 | Support the maintenance of a trauma center within the City. | The City contracts with Cal-Fire for fire protection and emergency services. | Emergency Operations / Fi | |
| 6.11.4 | Aggressively attack uncontrolled fires and hold losses to a minimum. | The City contracts with Cal-Fire for fire protection and emergency services. | Fire | |
| 6.11.5 | Minimize uncontrolled fires through support of weed abatement programs. | The Fire Prevention Division has a pro-active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. | Fire | |
| Objective 6.12 | | | | |

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| | Coordinate with Federal, State and County agencies and neighboring communities in developing a regional system to respond to emergencies and major catastrophes. | <ol style="list-style-type: none"> 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. | Emergency Operat | d |
| Policies: | | | | |
| 6.12.1 | Support mutual aid agreements and communication links with the County of Riverside and other local participating jurisdictions. | <ol style="list-style-type: none"> 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. 2. The City contracts with Cal-Fire for fire protection and emergency services. | Emergency Operations / Fi | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| Objective 6.13 | Maintain fire prevention, fire-related law enforcement, and public education and information programs to prevent fires. | The Fire Prevention division conducts inspections on multi-family dwellings, schools, hospitals, and business occupancies and provides education to residents and business owners regarding fire code violations and other potential safety problems. | Emergency Operations / Fi | |
| Policies: | | | | |
| 6.13.1 | Provide fire safety education to residents of appropriate age. | The Fire Prevention division conducts inspections on multi-family dwellings, schools, hospitals, and business occupancies and provides education to residents and business owners regarding fire code violations and other potential safety problems. The fire department participates in a number of public events throughout the year providing public education to our residents. | Fire | |

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| Objective 6.14 | Maintain the capacity to respond rapidly to emergency situations. | <ol style="list-style-type: none"> The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. The City contracts with Cal-Fire for fire protection and emergency services. | Fire | d |
| Policies: | | | | |
| 6.14.1 | Locate fire stations in accordance with the Fire Station Master Plan as shown in Figure 6-1. The exact location of each fire station may be modified based on availability of land and other factors. | Since the general plan was written, Station 58 was added off Moreno Beach and Auto Mall Dr. and Station 99 was added at Morrison and Cottonwood. | Fire | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 6.14.2 | Relate the timing of fire station construction to the rise of service demand in surrounding areas. | <ol style="list-style-type: none"> Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city. | Fire | |
| Objective 6.15 | Ensure that property in or adjacent to wildland areas is reasonably protected from wildland fire hazard, consistent with the maintenance of a viable natural ecology. | <ol style="list-style-type: none"> The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes. | Fire | |
| Policies: | | | | |

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| 6.15.1 | Encourage programs to minimize the fire hazard, including but not limited to the prevention of fuel build-up where wildland areas are adjacent to urban development. | <ol style="list-style-type: none"> 1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes. | Fire d |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 6.15.2 | Tailor fire prevention measures implemented in wildland areas to both the aesthetic and functional needs of the natural environment. | <ol style="list-style-type: none"> 1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes. | Fire |
| Objective 6.16 | Ensure that uses within urbanized areas are planned and designed consistent with accepted safety. | <ol style="list-style-type: none"> 1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. 2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes. | Fire |
| Policies: | | | |

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| 6.16.1 | Ensure that ordinances, resolutions and policies relating to urban development are consistent with the requirements of acceptable fire safety, including requirements for smoke detectors, emergency water supply and automatic fire sprinkler systems. | 1. The Fire Prevention division enforces the latest state adopted California Fire Code to ensure appropriate fire protection systems are installed. 2. Annual inspections are conducted as resources permit to ensure fire protection systems are properly maintained. | Fire d |
|-------------|---|--|--|
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 6.16.2 | Encourage the systematic mitigation of existing fire hazards related to land urban development or patterns of urban development as they are identified and as resources permit. | The Fire Prevention division conducts annual inspections as resources permit to ensure fire protection systems are properly maintained, egress and ingress are provided for, and that other hazards are mitigated as required. | Fire |
| 6.16.3 | Ensure that adequate emergency ingress and egress is provided for each development. | 1. The Fire Prevention division reviews all new developments for sufficient ingress, egress, and water supply. 2. The Fire Prevention division conducts annual inspections as resources permit to ensure fire protection systems are properly maintained, egress and ingress are provided for, and that other hazards are mitigated as required. | Fire |
| 6.16.4 | Within the safety zones (e.g. Air Crash Hazard Zones and Clear Zones) shown in Figure 6-5, residential uses shall not be permitted, and business uses shall be restricted to low intensity uses as defined in the March Air Reserve Base Air Installation Compatible Use Zone Report, as amended from time to time. | Residential uses are generally not permitted and businesses shall be restricted to low intensity uses within air crash hazard and clear zones. This use is monitored and regulated by March Air Reserve Base Air Installation Compatible Use Zones and the Airport Land Use Commission (ALUC), This is an ongoing policy. | Planning |

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| Objective 6.17 | Provide non-emergency public services provided that such demands do not interfere with fire protection and other emergency services. | 1. The City of Moreno Valley has a robust, pro- active emergency management program that incorporates all elements of NIMS. | Fire d |
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9.6.3 Safety Element Programs

| Programs: | | | |
|--------------------|--|--|--------------------------|
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 6-1 | Request that public utility companies inspect their facilities and distribution networks to determine the potential impact of earthquake damage. | <p>MVU routinely inspects all facilities and performs any necessary repairs.</p> <p>Fire: 1. The City of Moreno Valley has a robust, pro- active emergency management program that works closely with local hospitals, utilities and other critical infrastructure.</p> | Fire/MVU |
| 6-2 | Evaluate historic buildings relative to the need for mitigation of geologic hazards, while weighing their historical value against the potential hazard of their collapse. | All residential and commercial buildings and structures are built to the current 2016 California Building Codes for all renovations to historic buildings | Building |
| 6-3 | Reevaluate designated truck routes in terms of noise impact on existing land uses to determine if those established routes and the hours of their use should be adjusted to minimize exposure to truck noise. | This is an on-going program. It is accomplished through provisions of Title 12 of the Municipal Code. A comprehensive review of the designated truck routes will be performed with the General Plan update. | Transportation |
| 6-4 | Review existing ordinances to ensure that building and site design standards specifically address crime prevention utilizing defensible space criteria. Incorporate security standards into the Municipal Code. | No action has been taken in this area; however, the Department's Community Services Unit can begin working on this immediately. | Police/Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6-5 | Seek state and federal grants to offset any required additions in law enforcement staffing and/or equipment. | Senior police leadership is constantly on the lookout for grant opportunities. Similarly, the Riverside County Sheriff's Department assists in this effort by applying for grants on the police department's behalf. All grant awards are sent to the city for approval before acceptance. The police department is currently utilizing several grants to fund equipment purchases and staff positions. | Police d |
| 6-6 | Update the Fire Protection Master Plan as conditions warrant. | 1. Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city. | Fire |
| 6-7 | Establish regulations for development along the urban- wildland interface. | <p>1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners.</p> <p>2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.</p> | Fire |
| 6-8 | Establish criteria for the design, maintenance, modification and replacement of fire facilities. | 1. Demand for service is continually monitored by Cal-Fire and recommendations are brought to the city. | Fire |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 6-9 | Establish criteria for weed abatement programs. | <p>1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners.</p> <p>2. During development, the Fire Prevention division ensures that all Wildland Urban Interface developments meet the construction requirements of the California Fire and Building Codes.</p> | <div style="background-color: #d9534f; color: white; padding: 5px; display: inline-block;">Fire</div> <div style="background-color: #a6a6a6; color: white; padding: 2px 5px; display: inline-block; margin-left: 10px;">d</div> |
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The City Structure Conservation Element Goals, Objectives, Policies, and Programs

9.7 Conservation Element Goals, Objectives, Policies, and Programs

9.7.1 Conservation Element Goals

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| Goal 7.1 | To achieve the wise use of natural resources within the City of Moreno Valley, its sphere of influence and planning area. | The City continues to adhere to Goal 7.1, which includes conservation of natural resources within the city limits and is sphere of influence. | Planning |
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9.7.2 Conservation Element Objectives and Goals

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| Objective 7.1 | Minimize erosion problems resulting from development activities. | Accomplished through grading and erosion control plans consistent with Municipal Code Chapter 8.21. | Land Development |
| Policies: | | | |
| 7.1.1 | Require that grading plans include appropriate and feasible measures to minimize erosion, sedimentation, wind erosion and fugitive dust. | Grading plans are reviewed for these aspects consistent with Municipal Code Chapter 8.21. | Land Development |
| 7.1.2 | Circulation patterns within newly developing portions of Moreno Valley, particularly in hillside areas, should follow natural contours to minimize grading. | Circulation patterns are accomplished through review of site plans and tract maps consistent with Municipal Code Chapters 8.21 and 9.16 | Land Development |

| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
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| Objective 7.2 | Maintain surface water quality and the supply and quality of groundwater. | Surface water quality is achieved through the review and implementation of WQMPs consistent with Municipal Code Chapter 8.10. | Land Development |
| Policies: | | | |
| 7.2.1 | New development may use individual wells only where an adequate supply of good quality groundwater is available. | Well installation is governed by Riverside County Department of Environmental Health. | Land Development |
| 7.2.2 | The City shall comply with the provisions of its permit(s) issued by the Regional Water Quality Control Board for the protection of water quality pursuant to the National Pollutant Discharge Elimination System. | This is an on-going policy, consistent with Municipal Code Chapter 8.10. | Land Development |
| 7.2.3 | In concert with the water purveyor identify aquifer recharge areas and establish regulations to protect recharge areas and regulate new individual wells. | To date, this item is not required. Wells governed by Riverside County Department of Environmental Health. This policy may need to be reviewed further with the next comprehensive General Plan update. | Land Development |
| Objective 7.3 | Minimize the consumption of water through a combination of water conservation and reuse. | To date, this item is not required. Wells are governed by Riverside County Department of Environmental Health. This policy may need to be reviewed further with the next comprehensive General Plan update. | Land Development/Planning/Special Districts |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 7.3.1 | Require water conserving landscape and irrigation systems through development review. Minimize the use of lawn within private developments, and within parkway areas. The use of mulch and native and drought tolerant landscaping shall be encouraged. | The City's Water Conservation Landscape Ordinance as approved in 2009 requires water conservation landscape and irrigation systems in all development review. City uses Public Works Department Landscape Design Guidelines, Planning Division Landscape Standards and Municipal Code Chapter 17, Title 9 when reviewing and approving landscape plans for public landscape. In 2016, non-functional turf (irrigated with potable water) was removed in all publically maintained medians and parkway and replaced with drought tolerant landscaping and water efficient irrigation. This is an ongoing policy. | Planning d |
| 7.3.2 | Encourage the use of reclaimed wastewater, stored rainwater, or other legally acceptable non-potable water supply for irrigation. | Land Development contributes to reuse through review/implementation of WQMPs consistent with Municipal Code Chapter 8.10. | Land Development/Plannin |
| Objective 7.4 | Maintain, protect, and preserve biologically significant habitats where practical, including the San Jacinto Wildlife Area, riparian areas, habitats of rare and endangered species, and other areas of natural significance. | The Planning Division, through the provisions of the Western Riverside County Multi- species Habitat Conservation Plan. assures that biologically significant habitats are protected and preserved during site design review at the Project Review Staff Committee. This is an ongoing objective. | Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 7.4.1 | Require all development, including roads, proposed adjacent to riparian and other biologically sensitive habitats to provide adequate buffers to mitigate impacts to such areas. | Development or public rights of way proposed adjacent to significant habitats are protected and preserved during site design review and review at the Project Review Staff Committee. This is an ongoing policy. | Planning d |
| 7.4.2 | Limit the removal of natural vegetation in hillside areas when retaining natural habitat does not pose threats to public safety. | 1. The Fire Prevention Division has a pro- active hazard abatement program in which all vacant parcels are inspected on an annual basis to ensure proper maintenance is being conducted by property owners. | Fire |
| 7.4.3 | Preserve natural drainage courses in their natural state and the natural hydrology, unless the protection of life and property necessitate improvement as concrete channels. | Accomplished through site design consistent with Municipal Code Chapters 8.12, 8.21, and 9.16. | Planning / Land Development |
| 7.4.4 | Incorporate significant rock formations into the design of hillside developments. | Natural rock formations are incorporated into design of hillside residential developments through Municipal Code standards included in Section 9.03.040 "Residential Site Development Standards" and Section 9.16.190 "Natural Open Space Standards". Section 9.03.060 "Planned Unit Developments" also incorporates the conservation of Cultural and Natural Resources. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

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| 7.4.5 | The City shall fulfill its obligations set forth within any agreement(s) and permit(s) that the City may enter into for the purpose of implementing the Western Riverside County Multi-species Habitat Conservation Plan. | This goal is satisfied through the Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) approved on June 17, 2003, The MSHCP Plan was incorporated by the City of Moreno Valley and the City fulfills its obligations for implementing the Plan regarding agreements, permits, review of cell groups etc. This is an ongoing policy. | Planning d |
| Objective 7.5 | Encourage efficient use of energy resources. | The City's adopted Climate Action Strategy provides strategies for efficient use of energy resources citywide. MVU regularly forecasts demand for energy and procures enough energy to meet demand. A portion of the energy is from renewable resources, such as wind and solar. This is an ongoing objective. | Planning/MVU |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |
| 7.5.1 | Encourage building, site design, and landscaping techniques that provide passive heating and cooling to reduce energy demand. | Building, site design and landscaping techniques that provide passive heating and cooling as well as energy reduction are achieved by following the current 2016 California Energy and Green Code for reference. MVU has established Energy Efficiency Programs for residential and commercial customers that provide rebates and incentives for the installation of energy saving projects, including window film and cool roof applications. | Building/Planning /MVU |

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| 7.5.2 | Encourage energy efficient modes of transportation and fixed facilities, including transit, bicycle, equestrian, and pedestrian transportation. Emphasize fuel efficiency in the acquisition and use of City-owned vehicles. | <p>MVU: In March 2016, MVU completed the installation of electric vehicle charging stations that are available to the public.</p> <p>Installation of additional electric vehicle charging stations at City Hall will begin in February 2017.</p> <p>Transportation: This is an on-going policy. It is accomplished through implementation of the Bicycle Master Plan, continued development of the Safe Routes to School program, and support of the recommendations within RTA's Comprehensive Operational Analysis. Also Public Works uses fuel efficiency as a major factor in the acquisition of City vehicles.</p> | Transportation d |
|-------------|--|---|-------------------------|
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 7.5.3 | Locate areas planned for commercial, industrial and multiple family density residential development within areas of high transit potential and access. | The General Plan Land Use Map and the City's zoning map have provided land use designations and patterns that provide opportunities for commercial, industrial and multiple-family residential development to locate within areas of high transit potential and access. New plans such as the Nason Corridor and Alessandro Corridor have provided additional opportunities for development near transit corridors. This is an ongoing policy. | Planning |

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| 7.5.4 | Encourage efficient energy usage in all city public buildings. | Efficient energy usage in all city public buildings is achieved by following the current 2016 California Energy and Green Code for reference. MVU works with Facilities to implement energy efficient measures in MVU- served city facilities. Examples include lighting retrofits at the Conference and Rec Center and the Animal Shelter. This is an ongoing policy. | Building/M | d |
| 7.5.5 | Encourage the use of solar power and other renewable energy systems. | The use of solar power and other renewable energy systems is achieved by following the current 2016 California Energy and Green Code and by goals included in the City's Climate Action Plan. MVU has a solar program for residential and commercial customers. To date, MVU customers have installed over 6 MW of solar. | Planning / Building | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| Objective 7.6 | Identify and preserve Moreno Valley's unique historical and archaeological resources for future generations. | The City has identified historical and archeological resources for preservation purposes. This includes review of historic resources through project review under the California Environmental Quality Act (CEQA) and archeological resources through Native American Tribal entity review and general Archeological Studies through CEQA review. This is an ongoing objective of the City. | Planning / Building | |
| Policies: | | | | |
| 7.6.1 | Historical, cultural and archaeological resources shall be located and preserved, or mitigated consistent with their intrinsic value. | Through environmental review and required technical studies, project conditions of approval and coordination with Native American Tribes,, mitigation measures are provided to conserve cultural resources that are uncovered during excavation and construction activities This is an ongoing policy. | Planning | |

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| 7.6.2 | Implement appropriate mitigation measures to conserve cultural resources that are uncovered during excavation and construction activities. | Through environmental review and required technical studies, project conditions of approval and coordination with Native American Tribes, mitigation measures are provided to conserve cultural resources that are uncovered during excavation and construction activities. This is an ongoing policy. | Planning | d |
| 7.6.3 | Minimize damage to the integrity of historic structures when they are altered. | Altered structures are reviewed internally with Building and Planning staff and on an individual basis with the Environmental and Historical Preservation Board. This is an ongoing policy. | Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 7.6.4 | Encourage restoration and adaptive reuse of historical buildings worthy of preservation. | Restoration and adaptive reuse to preserve historical buildings are reviewed internally with Building and Planning staff and on an individual basis with the Environmental and Historical Preservation Board. This is an ongoing policy. | Planning | |
| 7.6.5 | Encourage documentation of historic buildings when such buildings must be demolished. | When historic buildings must be demolished, they are first reviewed by the Environmental and Historical Preservation Board. Any documentation would occur through the Building and Safety Division. | Planning | |

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| Objective 7.7 | Where practical, preserve significant visual features significant views and vistas. | Review of development projects through Project Staff Review strive to preserve visual features, significant views and vistas. The item is further reviewed through Appendix G, "Aesthetics" and "Cultural Resources" of the California Environmental Quality Act (CEQA Guidelines. This is an ongoing objective. | Planning d |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 7.7.1 | Discourage development directly upon a prominent ridgeline. | Section 9.03.040 B "Residential Site Development Standards" of the Municipal Code establishes standards for hillside residential development consistent with the goals, objectives and policies of the General Plan. Allowable development would preserve natural hillsides and ridgelines. Goals, objectives and policies of hillside residential development will be further evaluated with the next comprehensive General Plan update. | Planning |
| 7.7.2 | Require new electrical and communication lines to be placed underground. | This item is accomplished through site design consistent with Municipal Code Section 9.14.130. | Land Development |
| 7.7.3 | Implement reasonable controls on the size, number and design of signs to minimize degradation of visual quality. | Sign regulations included in Chapter 9.12 "Sign Regulations" provides controls on size, number and design of signs. Sign programs for larger commercial and industrial sites also provide regulations that are consistent with the Municipal Code and General Plan policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 7.7.4 | Gilman Springs Road, Moreno Beach Drive, and State Route 60 shall be designated as local scenic roads. | Caltrans manages the Scenic Highway Program in accordance with State Scenic Highway Guidelines and Sections 260 through 263 of the Streets and Highways Code. A county highway component was added to the Program in Section 154 of the Streets and Highways Code. Key criteria include memorable landscape, minimal intrusions, local support, and length not less than 1 mile. | Transportation/Planning |
| 7.7.5 | Require development along scenic roadways to be visually attractive and to allow for scenic views of the surrounding mountains and Mystic Lake. | Development along scenic roadways and the allowance for scenic views of the surrounding mountains are achieved through environmental review and Appendix N "Aesthetics" of the California Environmental Quality Act Guidelines. | Building/Planning |
| 7.7.6 | Minimize the visibility of wireless communication facilities by the public. Encourage "stealth" designs and encourage new antennas to be located on existing poles, buildings and other structures. | Chapter 9.09, Section 9.09.040 "Communication facilities, antennas and satellite dishes includes standards to minimize the visibility of wireless communications and encourages stealth designs. Co-location of facilities are encouraged. This is an ongoing policy. | Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Objective 7.8 | Maintain an adequate system of solid waste collection and disposal to meet existing and future needs. | Maintain an adequate system of solid waste collection and disposal to meet existing and future needs: Franchise agreement is in place, continued update/amendments as existing and future needs change and or emerge. | Waste Coordinator |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 7.8.1 | Encourage recycling projects by individuals, non-profit organizations, or corporations and local businesses, as well as programs sponsored through government agencies. | Encourage recycling projects by individuals, non-profit organizations, or corporations and local businesses, as well as programs sponsored through government agencies. The City of Moreno Valley actively encourages recycling projects and promotes participation in Keep Moreno Valley Clean and Beautiful (KMVCB); and educates groups regarding recyclable materials guidelines and goals. The City is involved in extensive outreach and education activities with respect to the three R's: reduce, reuse, recycle. | Waste Coordi d |
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9.7.3 Conservation Element Programs

| | | | |
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| Programs: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 7-1 | Support regional solid waste disposal efforts by the County of Riverside. | <p>Capital Projects: The City offers a number of waste reduction, recycling and community clean-up programs.</p> <p>There is a franchise agreement in place with a major solid waste/recycling (AB 939) hauler, for residential (curbside) and commercial (AB 341) materials, that has resulted in the attainment of significant diversion. The City in partnership with Riverside County hosts biannual hazardous and electronic waste collections and community outreach events. The City is implementing AB 1826, requiring businesses to recycle their organic waste. The City has implemented a used motor oil and filters recycling public education program, and promotes Riverside County's free Backyard Composting Workshops, where residents can learn to properly compost green waste.</p> | Waste Coordinator/M&O/Capital Projects |
| 7-2 | Advocate for natural drainage channels to the Riverside County Flood Control District, in order to assure the maximum recovery of local water, and to protect riparian habitats and wildlife. | This item is accomplished through site design and coordination with Flood Control consistent with Municipal Code Chapter 8.12. | Land Development /Capital Projects |
| 7-3 | Maintain a close working relationship with EMWD to ensure that EMWD plans for and is aware of opportunities to use reclaimed water in the City. | A close working relationship is maintained with EMWD on all projects to review reclaimed water opportunities in the City | Land Development/Special Districts |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 7-4 | Provide guidelines for preferred planting schemes and specific species to encourage aesthetically pleasing landscape statements that minimize water use. | Current Landscape Development Guidelines and Specifications in the Municipal Code provide preferred planting schemes and aesthetically pleasing landscape statements that minimize water use and require drought tolerant species. This is an ongoing policy. | Planning d |
| 7-5 | Develop incentives where appropriate, for the maintenance and sensitive rehabilitation of historic structures and properties. | Although historic structures and properties are reviewed and conserved, specific incentives have not been developed for maintenance and sensitive rehabilitation of historic structures. This item shall be further reviewed and evaluated in the next comprehensive General Plan update. | Planning |
| 7-6 | In areas where archaeological or paleontological resources are known or reasonably expected to exist, based upon the citywide survey conducted by the UCR Archaeological Research Unit, incorporate the recommendations and determinations of that report to reduce potential impacts to levels of insignificance. | Archeological and paleontological resources are reviewed through face to face meetings with Native American Tribes and review of studies that determine where resources lie. One such vehicle to review resources is the studies and reports provided by the UCR Archaeological Research Unit. The City incorporates the recommendations and determinations of these reports into the review of proposed development projects to reduce any noted impacts to levels of insignificance. This is an ongoing policy. | Planning |

| The City Structure Housing Element Goals, Objectives, Policies, and Programs | | | |
|--|-------------|-------------------------------------|-------------------|
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 9.8 Housing Element Goals, Objectives, Policies, and Programs | | | |
| 9.8.1 Housing Element Goals | | | |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| Goal 8.1 | Improve and maintain decent, sanitary and affordable housing. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units. | Housing/Plan | d |
| Goal 8.2 | Improve and maintain decent, sanitary and affordable housing for very-low income households and seniors. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units. | Housing/Planning | |
| Goal 8.3 | Reduce substandard housing and health and safety violations. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units. | Housing/Planning | |
| Goal 8.4 | Assist in the revitalization of older neighborhoods. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Planning | |
| Goal 8.5 | Improve and maintain decent and affordable rental housing. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to monitor previously funded affordable units. | Housing/Planning | |
| Goal 8.6 | Assist very low, low and moderate-income first time buyers to purchase homes. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |

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| Goal 8.7 | Add to the number of affordable rental units for very low and low-income households. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to develop new units. | Housing/Plan d |
| Goal 8.8 | Create affordable housing units for senior households. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to develop new units. | Housing/Planning |
| 9.8.2 Housing Element Objectives and Policies | | | |
| Objective 8.1 | Rehabilitate a minimum of fifteen single- family homes under the Home Improvement Loan Program (HILP). | From the 2014-2021 Housing Element Update -The Home Improvement Loan Program is on hold pending identification of new funding source. The program was previously funded by Redevelopment Agency. Housing: The program has met its goal and is currently no longer active due to funding. | Housing/Planning |
| Objective 8.2 | Rehabilitate a minimum of fifteen single-family homes under the Homeowner Assistance for Minor Rehabilitation loan program (HAMR). | From the 2014-2021 Housing Element Update - The Homeowners Assistance for Minor Rehabilitation (HAMR) program is on hold pending identification of new funding source. The program was previously funded by the Redevelopment Agency. Housing: The program has met its goal and is currently no longer active due to funding. | Housing/Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890) : Annual Progress Report as Required

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| 8.2.1 | Rehabilitate single-family homes to correct substandard conditions, improve handicap accessibility, and improve the aesthetics of older neighborhoods, thereby contributing to their preservation and revitalization. | Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority is continuing to seek new opportunities to contribute to preservation of units. | Housing/Plan d |
| Objective 8.3 | Rehabilitate a minimum of ninety mobile homes, for very low-income homeowners, in mobile home parks citywide, under the Mobile Home Grant Program. | From the 2014-2021 Housing Element Update - Policy/Program # 8.4 - Program is due to continue as the City converted to a contract program with Habitat for Humanity starting in FY 2013-14. - Housing may have additional information. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funds, there continues to be multiple units addressed each year. | Housing/Planning |
| Policies: | | | |
| 8.3.1 | Correct substandard conditions in mobile home parks. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funds, there continues to be multiple units addressed each year. | Housing/Planning |

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| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
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Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| Objective 8.4 | Obtain code compliance from a minimum of twenty- five very low and moderate-income property owners, citywide, with emphasis on focus neighborhoods. | From the 2014-2021 Housing Element Update - Policy/Program # 8.3 - Program description - Administer a program to provide grant funds for neighborhood beautification in targeted neighborhoods. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Code Compliance continues to seek compliance of the units. | Housing/Plan d |
| Policies: | | | |
| 8.4.1 | Enforce correction by property owners of identified housing and code violations in rental properties occupied by very low to moderate-income households. | From the 2014-2021 Housing Element Update - Policy/Program # 8.3 - New program funds included in FY 2013-14 CDBG allocation will allow continuation of the program. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Code Compliance continues to seek compliance of the units | Housing/Planning |
| Objective 8.5 | Conduct five neighborhood clean-ups annually; provide related services to Community Development Block Grant (CDBG) areas in conjunction with other projects, and assist in clean-up of 360 housing units. | From the 2014-2021 Housing Element Update - Policy/Program # 8.6 -The program will continue with funds from future CDBG allocations. | Housing/Planning |
| Policies: | | | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 8.5.1 | Provide neighborhood improvement programs to CDBG target areas. | From the 2014-2021 Housing Element Update - Policy/Program # 8.5 - The program originally included both CDBG target areas and the Redevelopment Area. The program was revised after dissolution of the state's redevelopment agencies. Funding of the program in the CDBG target areas will continue in the 2014-2021 planning cycle. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Plan | d |
| Objective 8.6 | Assist 300 households citywide. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Planning | |
| Policies: | | | | |
| 8.6.1 | Provide fair housing and landlord/tenant education services to very low to moderate-income households. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. Through the City's CDBG funding, the City continues to fund Fair Housing services. | Housing/Planning | |
| Objective 8.7 | Rehabilitate fifty multi-family units, citywide, through utilization of the Rental Rehabilitation Program. | The program has met its goal and is currently no longer active due to funding. | Housing/Planning | |
| Policies: | | | | |
| 8.7.1 | To eliminate substandard housing conditions for low- income renters, while enhancing the appearance of multi-family developments. | The City is currently working on establishing funding sources for this item. Ongoing. | Housing/Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |

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| Objective 8.8 | Assist households with down payment and closing costs. | From the 2014-2021 Housing Element Update - Policy/Program # 8.10 - Program description - Provide funds for Homebuyer Assistance Program (HAP) silent seconds. Work with approved lenders. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Plan d |
| Policies: | | | |
| 8.8.1 | Provide assistance to facilitate homeownership for very low to moderate-income households. | From the 2014-2021 Housing Element Update - Policy/Program # 8.10 - Program will continue (need update from Housing) Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Planning |
| Objective 8.9 | Create a minimum of 126 affordable rental units, citywide. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| Policies: | | | |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 8.9.1 | Facilitate the creation of affordable rental units. | From the 2014-2021 Housing Element Update - Policy/Program # 8.13 - Program 8.13 was deleted after dissolution of the state's redevelopment agencies. The City will continue to look for new funding source and other programs to promote the development of affordable units for larger families. Housing: Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Plan | d |
| Objective 8.10 | Create a minimum of seventy senior units. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning | |
| Policies: | | | | |
| 8.10.1 | Create decent and affordable housing opportunities for low and very-low income seniors. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning | |
| 9.8.3 Housing Element Programs | | | | |
| Programs: | | | | |
| 8-1 | Utilize the Home Improvement Loan Program (HILP) that provides a 3% loan for up to \$15,000 deferred for 20 years. Available citywide for very low to lower income homeowners. | The program has met its goal and is currently no longer active due to funding. | Housing/Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 8-2 | Utilize the Homeowner Assistance for Minor Rehabilitation (HAMR) loan program that provides a 3% to 5% loan for up to \$7,500 amortized over a 10- year term. | The program has met its goal and is currently no longer active due to funding. | Housing/Planning | |

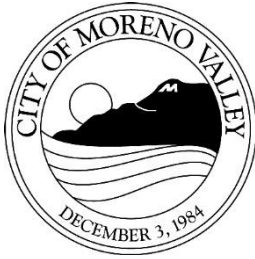
Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 8-3 | Utilize the Mobile Home Grant Program that provides grants up to \$10,000 for owner-occupants of mobile homes. | CDBG Funding is still being used for this purpose. | Housing/Plan | d |
| 8-4 | Provide enhanced code compliance services and referrals to City housing rehabilitation programs. | When Redevelopment was dissolved several years ago any referrals ceased at that point due to lack of funding availability | Housing/Planning | |
| 8-5 | Utilize the City Neighborhood Clean-up Program to provide volunteers and equipment to neighborhoods for clean-up activities. | This program was administered by the Sustainability & intergovernmental Program Manager. The city has created an Annual Day of Volunteerism (5.1.2) that may replace this program. | Housing/Planning | |
| 8-6 | Contract with a fair housing agency to mediate between landlords and tenants and educate them on their rights and responsibilities. | Fair housing receives CDBG funding for these activities on an annual basis. | Housing/Planning | |
| 8-7 | Update the City's Analysis of Impediments to Fair Housing. | This item is no longer active due to funding loss. Funding sources are being looked at. | Housing/Planning | |
| 8-8 | Provide rehabilitation loans through the City's Rental Rehabilitation Program that offers 5% loans with the first year deferred and amortized over a 19-year period. | The program has met its goal and is currently no longer active due to funding. | Housing/Planning | |
| 8-9 | Through the Homebuyer Assistance Program, provide 30-year deferred silent second loans, with no interest, up to 20% or \$200,000 of the purchase price of resale homes. | The program has met its goal and is currently no longer active due to funding. | Housing/Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 8-10 | Work with local CHDO to construct and/or rehabilitate houses for very low-income households. | The City receives an allocation of HOME funds for CHDOs. This funding may only be used for this purpose. | Housing/Planning | |

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| 8-11 | Purchase HUD homes for resale to first time homebuyers. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Plan d |
| 8-12 | Administer new construction home ownership program and youth job training. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning |
| 8-13 | Work with housing developers by providing Agency assistance to write-down the costs of units via loans. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning |
| 8-14 | Provide financial assistance for the development of affordable rental units for larger families. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. The Housing Authority will continue to address new units as funding is available. | Housing/Planning |
| 8-15 | Revise General Plan. | The General Plan will need to be revised to add the R30 land use. This will be provided with the next comprehensive General Plan update. | Housing/Planning |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party |
| 8-16 | Continue to implement permit streamlining. | Permit streamlining is ongoing in support of affordable housing projects within the Housing Element. | Housing/Planning |

Attachment: Appendix B: Annual Report GP Goals-Policies (3890 : Annual Progress Report as Required

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| 8-17 | Develop standards for mobile home parks and mobile home subdivisions. | If not governed or following under state regulations, Mobile home parks and subdivisions are addressed in the Municipal Code regarding use (Section 9.02.020-1 - Conditional Use Permit in residential zones) and standards (Section 9.08.110 "Manufactured Home Requirements"). | Housing/Plan | d |
| 8-18 | Review parking standards for multi-family 3 and 4 bedroom units, including covered parking requirements to determine if reductions are appropriate. | The Municipal Code addresses density bonus, affordable housing and senior housing projects through reductions/modifications to standards. | Housing/Planning | |
| 8-19 | Review second unit regulations to determine if expansion is merited to additional districts. | This item is ongoing to meet new state regulations and will remain in compliance with State law requirements. | Housing/Planning | |
| 8-20 | Continue to pay the development fees for projects, on a case-by-case basis, that have received State or Federal funds, such as Section 202 and Tax Credits. | All uses, including Section 202 projects , continue to pay development impact fees on a case by case basis (ongoing). | Housing/Planning | |
| 8-21 | Utilize Redevelopment Agency funds, where appropriate and necessary, to facilitate infrastructure for affordable projects. | Following the dissolution of RDA, there are no currently active programs due to limited or no funding available. | Housing/Planning | |
| 8-22 | Propose general plan changes for rezoning areas in the city to housing uses or mixed uses that include housing. | The Municipal Code was updated in 2014 to include provisions for mixed use projects | Housing/Planning | |
| Goal/Policy | Description | Discussion on Implementation Status | Responsible Party | |
| 8-23 | Facilitate the construction of a sixty-nine unit multi- family senior complex. | We are currently pursuing a senior development opportunity on Housing Authority property. | Housing/Planning | |



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 27, 2020

A STANDARD STREET VACATION OF A PORTION OF STODDARD STREET LOCATED BETWEEN WILLIAMS AVENUE AND ALESSANDRO BOULEVARD.

Case: LGL19-0053 (Street Vacation)

Applicant: Chau Van Nguyen

Property Owner: Chau Van Nguyen, Trang Hai Thi Ha

Representative: Gabriel D. Ybarra, Action Surveys

Location: Stoddard Street between Williams Avenue and Alessandro Boulevard

Case Engineer: Guy Pegan, P.E.

Council District: 3

Proposal: A Standard Street Vacation of a portion of Stoddard Street located between Williams Avenue and Alessandro Boulevard.

SUMMARY

The applicant, Chau Van Nguyen, has submitted a request for the vacation of a portion of Stoddard Street, located between Williams Avenue and Alessandro Boulevard. Stoddard Street is an unmaintained street and does not continue south of Alessandro Boulevard. The proposed vacation is consistent with the goals, policies and objectives of the City's General Plan.

PROJECT DESCRIPTION

Project

The requested street section to be vacated was part of the original Moreno Subdivision recorded in 1891, which created Stoddard Street between McAbee Avenue and Cactus Avenue. Due to development over time, Stoddard Street south of Alessandro Boulevard and north of Gifford Avenue have been removed as part of prior single-family development during the County's jurisdiction. Between Gifford Avenue and Alessandro Boulevard there are no existing street improvements maintained by the City, except for the one cross street intersection at Williams Avenue.

Pursuant to the provisions of Division 9, Part 3, Chapter 2 of the Streets and Highways Code of the State of California, a finding from the Planning Commission that the vacation of a portion of Stoddard Street is in conformance with the current General Plan and Zoning Ordinance is required prior to formal review and action by the City Council on the requested street vacation.

Surrounding Area

The requested vacation section of Stoddard Street is in the Residential 3 (R3) zone, a single-family zone intended to provide a transition between rural and urban density development areas and to provide for a suburban life-style on residential lots larger than those commonly found in suburban subdivision.

REVIEW PROCESS

Land Development staff has reviewed the request for the street vacation based on the applicable subdivision map and other property information provided by the applicant. This portion of Stoddard Street was dedicated for public use through the Moreno Subdivision Map recorded on March 11, 1891. At the time of recordation, the dedication for street right of way was sixty feet of right of way along the project frontage, which is no longer necessary. Vacation of the sixty feet of right of way along Stoddard Street, as described and shown in the exhibits attached to the proposed resolution, is in accordance with the Streets & Highway Code. Planning staff has reviewed the applicant's request to vacate the portion of Stoddard Street and has determined that it is consistent with the City's Zoning Ordinance and General Plan. Stoddard Street is not a required General Plan street and sixty feet of remaining right of way will remove any maintenance and City liability with adjacent properties. Any existing utilities will be protected in place with easements.

NOTIFICATION

A notice was published in the newspaper and a public display notice was posted on the project site and at required City locations. Written notice of the intent to vacate Stoddard Street has been sent to the various utility companies, in addition to those businesses and residents within 600-feet of the project boundaries.

REVIEW AGENCY COMMENTS

Staff received the following responses to the Notice of Vacation, which was sent to all potentially affected utility purveyors.

| <u>Utility</u> | <u>Response Date</u> | <u>Comments</u> |
|-------------------------------------|----------------------|--|
| Southern California Gas Company | 10-15-2019 | No existing utilities. |
| Eastern Municipal Water District | 10-14-2019 | Requested an easement for existing water line. |
| Southern California Edison | Unresponsive | No known utilities. |
| Metropolitan Water District SoCal | 10-11-2019 | No existing utilities. |
| AT&T | 10-31-2019 | No existing utilities. |
| Western Metropolitan Water District | 10-09-2019 | No existing utilities. |
| Edgemont Community Service District | 10-15-2019 | No existing utilities. |

As previously noted, existing utilities will be protected in place with easements or relocated.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2020-03, **FINDING** that the vacation of Stoddard Street is in conformance with the General Plan and current zoning, and thereby **RECOMMEND** that the City Council:

1. **CERTIFY** that the vacation, LGL19-0053 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15061(b)(3), Common Sense Exemption; and

2. **RECOGNIZE** that the vacation, LGL19-0053, is not required as a condition of approval for a private development, and is within the scope of the requesting property owner to vacate said paper street. No new or additional environmental review or determination is required for the street vacation; and
3. **APPROVE** LGL19-0053 for the vacation of a portion of Stoddard Street located south of Williams Avenue and north of Alessandro Boulevard, based on the findings contained in this resolution.

Prepared by:
Zara Terrell
Management Analyst

Approved by:
Patty Nevins
Acting Community Development Director

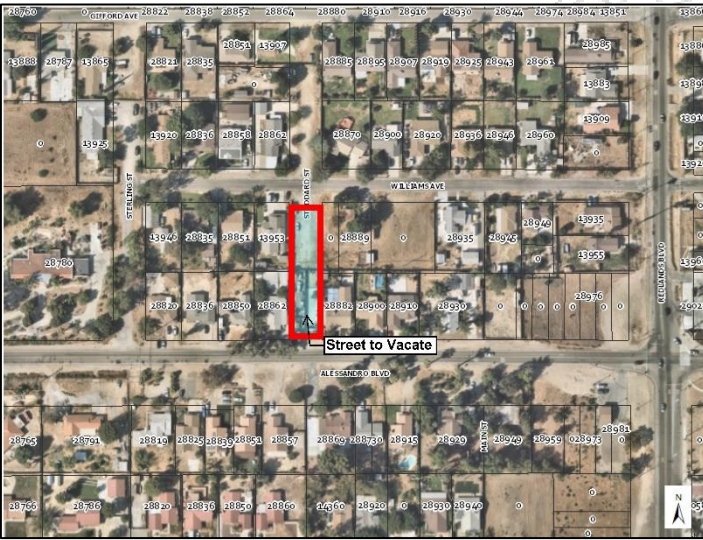
ATTACHMENTS

1. Public Hearing Notice
2. 600 Foot Radius Map
3. Resolution 2020-03
4. Exhibit A to Resolution No. 2020-03
5. Exhibit B to Resolution 2020-03
6. Aerial Map



City of Moreno Valley
Community Development Department
Planning Division
City Hall Council Chamber
14177 Frederick Street
Moreno Valley, CA 92553

NOTICE OF PUBLIC HEARING



Notice of Public Hearing before the Planning Commission of the City of Moreno Valley for the following item(s):

MEETING INFORMATION: February 27, 2020, 7:00 P.M.

Moreno Valley Council Chamber, 14177 Frederick Street

PROJECT LOCATION: Stoddard Street between Williams Avenue and Alessandro Boulevard contingent to assessor parcel numbers 478-175-004, 478-175-011, 478-176-001 and 478-176-008, in District 3.

CASE NUMBER(s): LGL19-0053

CASE ENGINEER: Guy Pegan, P.E., Senior Engineer
(951) 413-3115 or guy@moval.org

- <APN>
- <Property Owner>
- <Street Address>
- <City, State, Zip>

Attachment: Public Hearing Notice [Revision 1] (3898 :

NOTICE OF PUBLIC HEARING

PROPOSAL:

Street vacation, at the request of an adjacent property owner, to vacate that portion Stoddard Street between William Avenue and Alessandro Boulevard.

ENVIRONMENTAL DETERMINATION:

As designed and designated, the proposed vacation is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15601(b)(3) for Existing Facilities.

HEARING:

Any person interested in the proposal may speak at the hearing or provide written testimony at or prior to the hearing. The application file and environmental documents may be inspected at the Community Development Department at 1417 Frederick Street, Moreno Valley, California during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday and 7:30 a.m. to 4:30 p.m. on Fridays), or you may telephone (951) 413-3206 for further information.

The Planning Commission, at the Hearing or during deliberations, could also consider and approve changes to the vacation or the environmental determination. If you challenge this vacation, including any modifications considered for the vacation in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission on or before the public hearing.

Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility.



First American

Farming (Fees may apply. Not available where prohibited by law.)

address, intersection, or zip...



Attachment: 600 Foot Radius Map [Revision 1] (3898 : LGL19-0053 – ADOPTION OF THE PROPOSED RESOLUTION FOR THE FULL VACATION)

PLANNING COMMISSION RESOLUTION NO. 2020-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY RECOMMENDING THAT THE CITY COUNCIL APPROVE APPLICATION NO. LGL19-0053 FOR THE VACATION OF A PORTION OF STODDARD STREET LOCATED SOUTH OF WILLIAMS AVENUE AND NORTH OF ALESSANDRO BOULEVARD

WHEREAS, Chau Van Nguyen, has filed an Application No. LGL19-0053, requesting the vacation of a portion of Stoddard Street located south of Williams Avenue and north of Alessandro Boulevard, as described in the title of this Resolution and more particularly described in the attached Exhibits A and B; and

WHEREAS, on February 27, 2020, the Planning Commission of the City of Moreno Valley (Planning Commission) held a public hearing to determine that the vacation of a portion of Stoddard Street is in conformance with the current General Plan and Zoning Ordinance prior to formal review and action by the City Council; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, the vacation of a portion of Stoddard Street located along the frontage of private property, is not required as a condition of approval for a project. Therefore, the vacation is within the scope of the requesting property owner to vacate said paper street. LGL19-0053 has clearly demonstrated that the vacated area has no potential to have significant environmental effects and determined to be administratively exempt from environmental review pursuant to CEQA Section 15061(b)(3).

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on February 27, 2020, including written and oral staff reports, public testimony and the record from the public hearing, this Planning Commission hereby specifically finds as follows:
 1. **Conformance with General Plan Policies** – The proposed general plan amendment and zone change are consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: Stoddard Street is not a required General Plan street and access is maintained to the existing developments and adjacent properties. Therefore, the proposed street vacation is consistent with General Plan Section 9.5.2 Circulation Element Objectives and

Policies. All existing utilities will be protected in place within easements or relocated by the applicant to the satisfaction of the affected utility.

2. **Conformance with Zoning Regulations** – The proposed zoning is consistent with the purposes and intent of Title 9 of the City of Moreno Valley Municipal Code.

FACT: As proposed, the vacation of a portion of Stoddard Street located south of Williams Avenue is consistent with the surrounding single-family residential zones. Stoddard Street is not a required General Plan street nor required to provide access to the existing development and adjacent properties. The proposed street vacation is consistent with the purposes and intent of Municipal Code Sections 9.03 Residential Districts and 9.14 Land Divisions, and 9.16.130 Single-Family Residential Guidelines.

3. **Health, Safety and Welfare** – The proposed vacation will not be detrimental to the public health, safety or welfare.

FACT: The vacation of a portion of Stoddard Street, located adjacent to four fully developed residential properties, are not publicly in use or maintained by the City. Therefore, the street vacation was determined to be exempt from environmental review pursuant to CEQA Section 15061(b)(3). No new or additional environmental review or determination is required for the street vacation.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2020-03, and **FINDS** that the vacation of Stoddard Street is in conformance with the General Plan and current zoning, and **HEREBY RECOMMENDS** that the City Council:

1. **CERTIFY** that the vacation, LGL19-0053 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15061(b)(3), Common Sense Exemption; and
2. **RECOGNIZE** that the vacation, LGL19-0053, is not required as a condition of approval for a private development, and is within the scope of the requesting property owner to vacate said paper street. No new or additional environmental review or determination is required for the street vacation; and
3. **APPROVE** LGL19-0053 for the vacation of a portion of Stoddard Street located south of Williams Avenue and north of Alessandro Boulevard, based on the findings contained in this resolution.

APPROVED this 27th day of February, 2020.

Jeffrey Sims
Chairperson, Planning Commission

ATTEST:

APPROVED AS TO FORM:

Patty Nevins, Acting Community
Development Director
Secretary to the Planning Commission

City Attorney

Attachments:

- Exhibit A: Legal Description
- Exhibit B: Plat

Attachment: Resolution 2020-03 [Revision 4] (3898 : LGL19-0053 – ADOPTION OF THE PROPOSED RESOLUTION FOR THE FULL VACATION)

EXHIBIT "A"

LEGAL DESCRIPTION

RIGHT OF WAY VACATION

ALL THAT PORTION OF STODDARD STREET, 60.00 FEET WIDE, WHICH ADJOINS LOT 9 AND LOT 10 IN BLOCK 34, LOT 1 AND LOT 8 IN BLOCK 35 AND ALSO ADJOINS THE 20.00 FOOT WIDE ALLEY WHICH ADJOINS THE HEREINABOVE MENTIONED LOTS OF THE TOWN OF MORENO AS SHOWN BY MAP ON FILE IN BOOK 11 OF MAPS, AT PAGE 19, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

SAID PARCEL CONTAINS 15,310 SQUARE FEET, 0.35 ACRES NET, MORE OR LESS

PREPARED UNDER THE SUPERVISION OF:

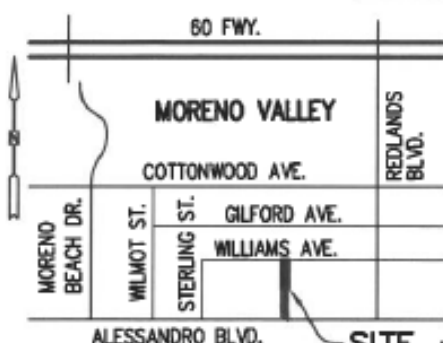
Gabriel D. Ybarra 12-17-2019
GABRIEL D. YBARRA DATE
L.S. 4343, REG. EXP. 06-30-2020



EXHIBIT "B" - MAP RIGHT OF WAY VACATION No. 19-0053

LEGAL DESCRIPTION:

THAT PORTION OF STODDARD ST., 60 FT. WIDE, ALONG LOTS 9 & 10 IN BLOCK 34, LOTS 1 & 8 IN BLOCK 35, OF THE TOWN OF MORENO AS SHOWN BY MAP ON FILE IN BOOK 11 OF MAPS, AT PAGE 19, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.
SECTION 11, T. 3S., R. 3W., S.B.M.



SCALE: 1" = 60'



LINE DATA

| (N) | BEARING | DISTANCE |
|-----|---------------|----------|
| ① | N 89°51'16" E | 60.00' |
| ② | N 89°51'30" E | 60.00' |

VICINITY MAP
NOT TO SCALE

SITE NOTES

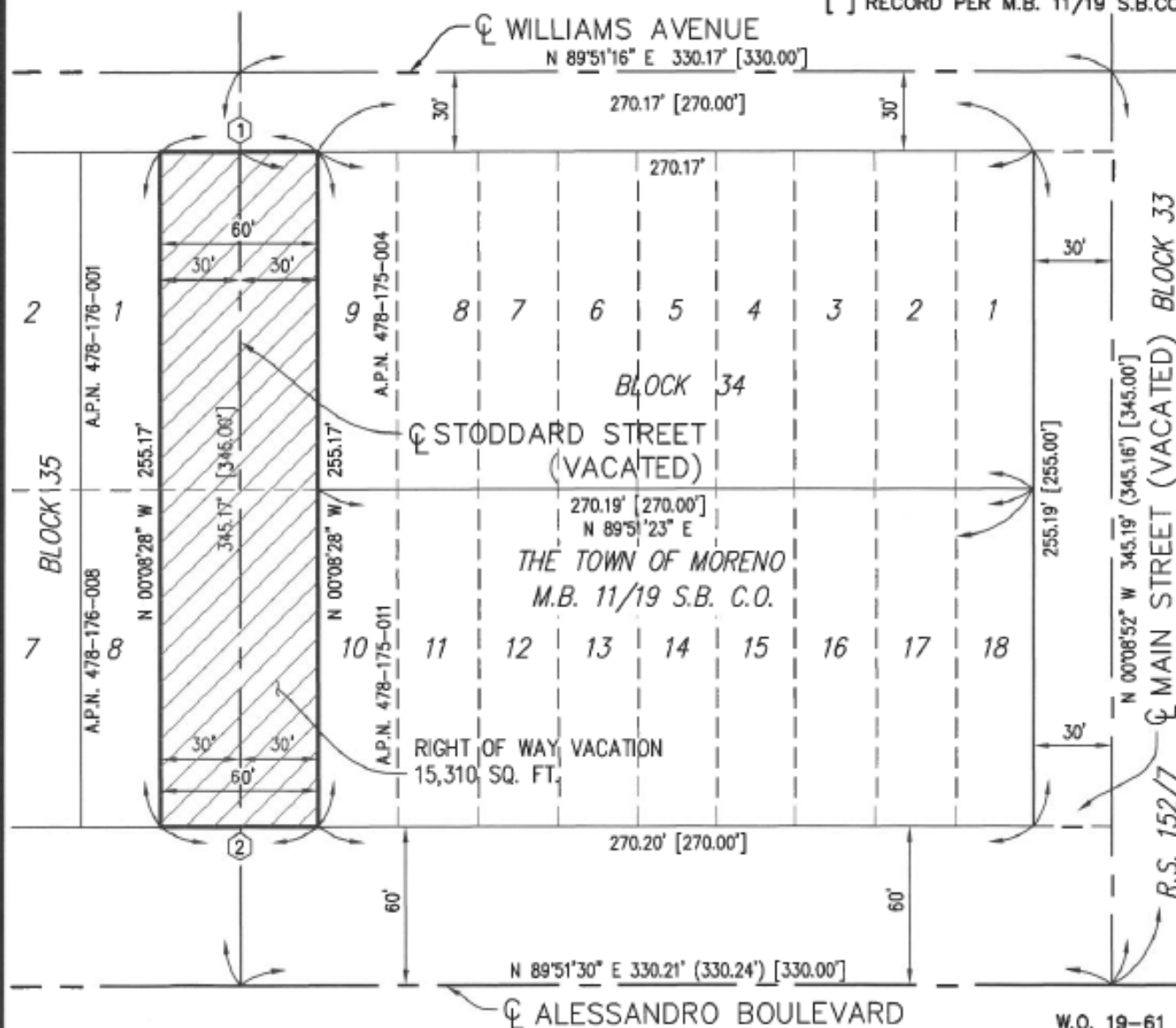
BEARINGS AND DISTANCES SHOWN HEREON ARE PER FIELD SURVEY PERFORMED BY ACTION SURVEYS ON JULY 26, 2019.

() RECORD PER R.S. 152/7.

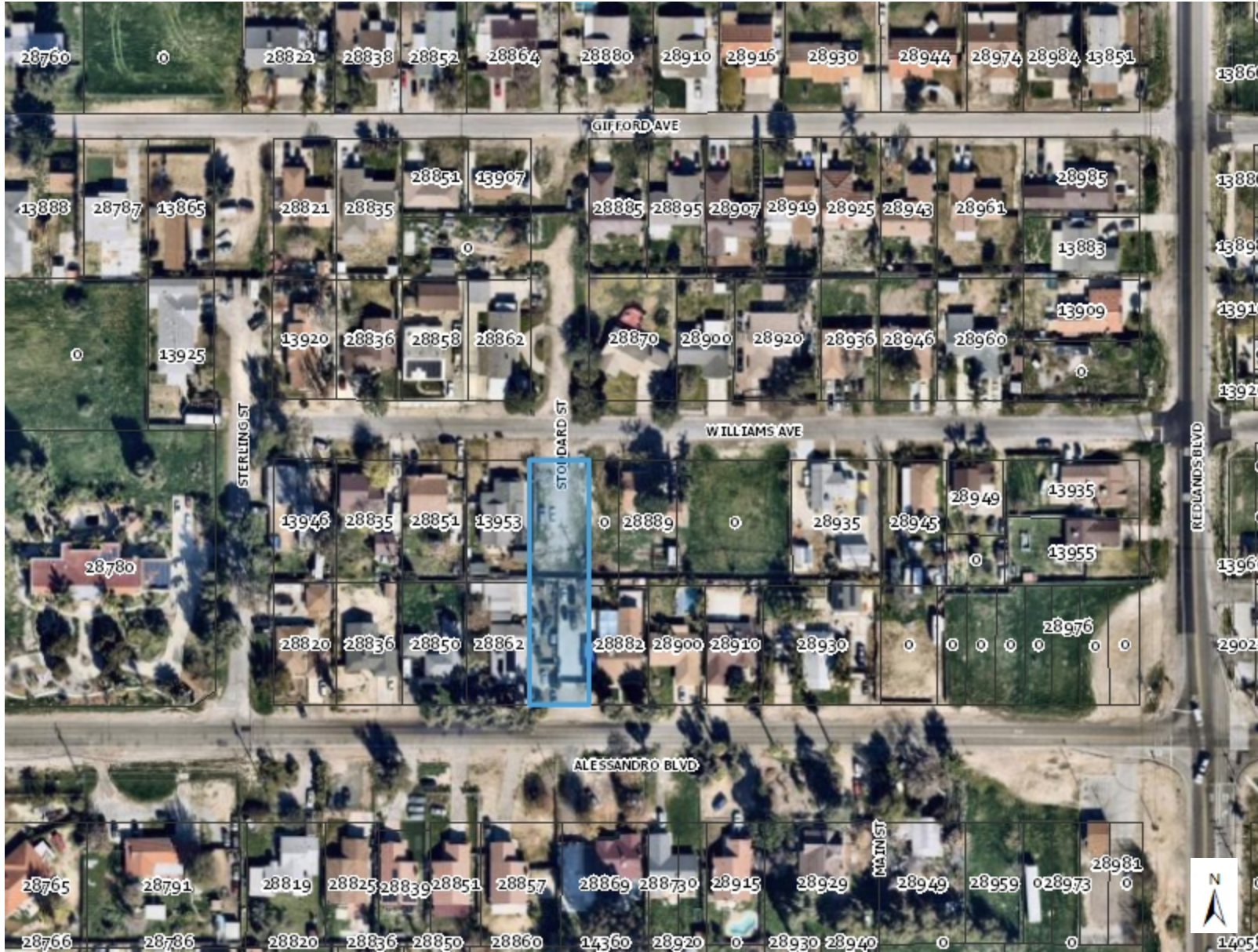
[] RECORD PER M.B. 11/19 S.B.CO.

LEGEND

AREA TO BE VACATED



Aerial Map



Legend

Master Plan of Trails

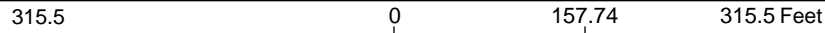
- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

Road Labels

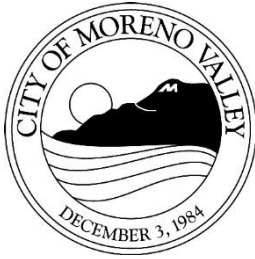
- Parcels
- City Boundary
- Sphere of Influence

Image Source: Nearmap

Notes:
LGL19-0053



DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 27, 2020

CONDITIONAL USE PERMIT FOR A 2,374 SQUARE FOOT RETAIL CANNABIS DISPENSARY, "RD MOVAL, LLC" LOCATED WITHIN AN EXISTING BUILDING AT 21820 ALESSANDRO BOULEVARD

| | |
|-------------------|---|
| Case: | Conditional Use Permit (PEN19-0052) |
| Applicant: | RD MoVal, LLC |
| Property Owner | Joanne and Suzanne Charlebois |
| Representative | Rick Jackson |
| Location: | 21820 Alessandro Boulevard (APN: 263-220-015) |
| Case Planner: | Sean P. Kelleher, Senior Planner |
| Council District: | 1 |
| Proposal | Conditional Use Permit for a 2,374 square foot retail cannabis dispensary, "RD MoVal, LLC" located within an existing building at 21820 Alessandro Boulevard. |

SUMMARY

The Applicant, RD MoVal, LLC, is requesting approval of a Conditional Use Permit (CUP) to allow a 2,374 retail cannabis dispensary, "RD MoVal" within an existing retail building in the Community Commercial (CC) District. The proposed use is the commercial retail sales of cannabis and cannabis products sold to individuals who are 21 years of age or older; the applicant is proposing hours of operation between 8:00 am and 10:00 pm, seven days per week.

BACKGROUND

The project site is currently developed with three buildings totaling approximately 7,284 square feet along with associated parking improvements. The proposed retail cannabis dispensary will occupy Building 1, a 2,374 square foot commercial building, located adjacent to the west property line.

California Constitution Article XI

Pursuant to the authority granted to the City by Article XI, Section 7 of the California Constitution, a City may make and enforce, within its limits, regulations designed to promote the public health, safety and welfare. The City Council, recently adopted Ordinances that regulate commercial cannabis businesses in the City. These Ordinances are based on both federal and state laws.

Federal and State Laws

The Federal Controlled Substances Act classifies marijuana as a Schedule 1 Drug and makes it unlawful, under federal law, for any person to cultivate, manufacture, distribute, or possess with intent to manufacture, distribute, dispense, or possess. However, in 2016, Proposition 64 was approved by the voters in California (“The Adult Use Marijuana Act” or AUMA). AUMA established a comprehensive system to legalize, control and regulate the cultivation, processing, manufacturing, distribution, testing and sale of non-medical marijuana and products for use by adults 21 years of age and older. In addition, it allows taxation of commercial growth and retail sales of marijuana and marijuana products. Most recently, in 2017, then Governor Jerry Brown signed the “Medical and Adult-Use Cannabis Regulations and Safety Act” (MAUCRSA) which further amends prior statutory enactments.

City Regulations

In November 2017, the City Council adopted Ordinance 926, which set rules for the establishment, operation, and regulation of specific commercial cannabis uses, and in March 2018 the City Council approved Resolution 2018-11 approving the initial procedure for permit applications. Land use regulations for the operation of the cannabis uses were established in April 2018 with the adoption of Ordinance 932, which provided for the following cannabis uses: dispensaries, testing, cultivation, manufacturing, microbusinesses, and distribution.

Additionally, in December 2018, the City Council adopted Resolution No. 2018-94, establishing a maximum of 43 commercial cannabis permits. The table below identifies the various types of commercial cannabis permit types, number of permits allowed, and number and status of permits submitted.

| Commercial Cannabis Permit Types | Number of Permits Allowed | Number of Provisional Business Permits Issued | Number of Conditional Use Permit Applications Submitted | Number of Conditional Use Permit Applications In Review | Number of Conditional Use Permit Applications Approved |
|---|----------------------------------|--|--|--|---|
| | | | | | |

| | | | | | |
|--|----|-----|-----|----|----|
| Dispensaries | 23 | 23* | 22* | 10 | 11 |
| Manufacturing | 5 | 2 | 2 | 2 | 0 |
| Cultivation | 8 | 2 | 2 | 2 | 0 |
| Distribution (of products from licensee to licensee only) | 2 | 2 | 2 | 1 | 1 |
| Microbusinesses | 3 | 3* | 3* | 0 | 2 |
| Testing Facilities | 2 | 0 | 0 | 0 | 0 |
| *Note: The Provisional Business License for one Microbusiness and one Dispensary have been revoked; therefore, the associated Conditional Use Permit Applications were closed. | | | | | |

The City’s multi-step process for selecting commercial cannabis businesses that can legally operate in the City as follows:

Step 1 – Application Process. Commercial Cannabis Business Permit applications were reviewed and a background check of business Owner(s) and their Employees, was conducted. Applications with a minimum overall score of 80% were interviewed by staff to establish a candidate pool, and applications were required to be submitted through an online (PlanetBids) system. The City issued provisional Commercial Cannabis Business Permits to 32 successful applicants. Only those commercial cannabis businesses with provisional permits are eligible to proceed to the subsequent steps in the process.

Step 2 – Obtain a Conditional Use Permit. Municipal Code Section 9.09.290C2 requires that commercial cannabis businesses must obtain a Conditional Use Permit, which is a land use entitlement process to confirm the proposed land use and site development elements will be consistent with City established development regulations as well as compatible with other land uses near the proposed project.

Step 3 – State approval. In addition to local permits, each Commercial cannabis business must also obtain applicable State of California cannabis permits prior to commencing operation lawfully within the City.

Step 4 – Obtain a Certificate of Occupancy. Lastly, all commercial cannabis businesses must obtain a Certificate of Occupancy (“C of O”) from the Building and Safety Division, prior to opening for business. The C of O is the final step in the process and documents that the Applicant has completed all required tenant improvements to the building and modifications to the parking lot, as required by conditions of approval in the CUP Resolution, and have paid all requisite City fees.

Provisional Commercial Cannabis Business Permit

On, December 20, 2018, RD MoVal, LLC, received a provisional Commercial Cannabis Business Permit (Permit Number MVCCBP-R0019) from the City of Moreno Valley. A subsequent application for a Conditional Use Permit was submitted to the City on

February 13, 2019. The applicant represents that they will apply for the necessary state permits once the Planning Commission approves the CUP application.

PROJECT DESCRIPTION

Project

The applicant is requesting approval to establish a commercial cannabis dispensary (retail sales only), named “RD MoVal.” The site is located at 21820 Alessandro Boulevard, in an existing one-story retail building located on the north side of Alessandro Boulevard, between Old 215 Frontage Road and Day Street (APN: 263-220-015).

Proposed tenant improvements include a lobby, retail area, office, and secured storage areas. The lobby includes a reception desk, waiting area, and public restroom. The retail area would provide for the sale of cannabis products. The remainder of the building would include employee and security offices and secured storage areas. The applicant is proposing hours of operation between 8:00 am and 10:00 pm, seven days per week.

Safety and Security Plan

Moreno Valley Municipal Code Section 9.09.294(B)(6) requires that any transfer of product or currency shall be identified in an individual security plan that is approved by the City. A Safety and Security Plan has been provided to the City that identifies methods to address site security for employees, customers, and the public as well as fire prevention methods that comply with local and state laws and include provisions for on-site security guards, a security and a fire alarm system, required secured parking for deliveries, and a video surveillance system. A condition of approval requires the applicant to provide all video to the Police and Fire Departments, upon their request.

Odor Control Plan

An Odor Control Plan has been prepared for the project in conformance with City requirements to ensure abatement of all potential odors that could emanate from the dispensary. This Plan states that the dispensary will utilize carbon air filters attached to its HVAC exhaust fans as a proper ventilation system for dealing with cannabis-related odors and mitigating noxious fumes. The fully integrated and automated system will regularly call for the substitution of new filters, and therefore under no circumstances will there be any odor nuisance emitted from the operation. The air filtration system will be designed by a licensed Mechanical Engineer and reviewed and permitted by the Building & Safety Division staff as part of the tenant improvement plans for the heating, ventilation and air conditioning (HVAC) systems for the proposed dispensary. In addition, staff is requiring that automatic closures shall be installed on all interior and exterior doors and that all roof venting, wall penetrations panel joints, etc., be sealed to prevent odors from migrating outside of the dispensary.

Surrounding Area

Existing businesses on-site include a liquor store and an auto parts business. The auto parts business currently occupies Buildings 1 and 2. As proposed, the retail cannabis dispensary will be occupying Building 1 in its entirety. Adjacent uses include an auto repair facility to the east; a combination of office, automotive repair, and heavy vehicle storage to the south; and vacant land to the north and west.

Access/Parking

Vehicle access to the site will be modified to close the western most driveway, thus providing a single driveway to the site from Alessandro Boulevard. Additionally, pedestrian access along Alessandro Boulevard will be enhanced through the construction of a new sidewalk along the project frontage.

The parking requirement for each of the uses on-site including a retail cannabis shop is 1 parking space per 225 sq. ft. of floor area. A total of 33 parking spaces, including two secured parking spaces, are required for the combination of uses. As proposed the existing parking area will be restriped and expanded to accommodate for a total of 33 parking spaces. Therefore, the proposed project is consistent with the standards of the Municipal Code.

Design/Landscaping

The applicant has proposed to modify the exterior of Building 1 by removing the existing signage and lighting on the west and south sides of the building and by installing a roof screen around the roof mounted equipment.

Additionally, the project site will be enhanced through the installation of new landscaping and lighting. In addition to the proposed landscaping a condition of approval has been recommended requiring the installation of a landscape planter along the property line adjacent to the new sidewalk in order to prevent vehicles from driving over the sidewalk and off the curb.

REVIEW PROCESS

In compliance with the Municipal Code, the Project Review Staff Committee (PRSC) reviewed this project on March 5, 2019. The applicant has worked with staff, and modified the proposed plans to the satisfaction of all Departments. Based on staff's review, it was determined that the project will be consistent with the City's requirements, subject to the conditions of approval in the attached Resolution.

ENVIRONMENTAL

This project is a retail use within an existing commercial building. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 for Existing Facilities.

NOTIFICATION

Public notice was sent to all property owners of record within 600' of the project on February 13, 2020. The public hearing notice for this project was also posted on the project site on February 14, 2020, and a notice was published in the local newspaper on February 14, 2020.

REVIEW AGENCY COMMENTS

The project application materials were circulated for review by all appropriate City departments and divisions as well as applicable outside agencies. On June 13, 2019 the Project was reviewed by the Riverside County Airport Land Use Commission (RCALUC), Case No. ZAP1364MA19, and was found to be consistent with March Air Reserve Base Land Use Compatibility Plan. Conditions of Approval provided by RCALUC have been incorporated into the proposed conditions of approval by reference. Throughout the review process, comments and proposed conditions of approval were provided in writing to the Applicant.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2020-05, and thereby:

1. **CERTIFY** that Conditional Use Permit PEN19-0052 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities); and
2. **APPROVE** Conditional Use Permit PEN19-0052 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Prepared by:
Sean P Kelleher

Approved by:
Patty Nevins
Acting Community Development Director

ATTACHMENTS

1. Public Hearing Notice
2. 600 Foot Radius Map
3. Resolution 2020-05
4. Exhibit A to Resolution 2020-05
5. Site Plan
6. Floor Plan
7. Building Elevations
8. Landscape Plan

- 9. Aerial Map
- 10. Zoning Map



City of Moreno Valley
Community Development Department
Planning Division
City Hall Council Chamber
14177 Frederick Street
Moreno Valley, CA 92553

NOTICE OF PUBLIC HEARING



Notice of Public Hearing before the Planning Commission of the City of Moreno Valley for the following item(s):

MEETING INFORMATION: February 27, 2020, 7:00 P.M.

Moreno Valley Council Chamber, 14177 Frederick Street

PROJECT LOCATION: 21820 Alessandro Boulevard; located on the north side of Alessandro Boulevard between Old Frontage Road and Day Street (APN: 263-220-015), District

CASE NUMBER(s): PEN19-0052

CASE PLANNER: Sean P. Kelleher, Senior Planner (951) 413-3215 or seanke@moval.ca.gov

<APN>
<Property Owner>
<Street Address>
<City, State, Zip>

Attachment: Public Hearing Notice (3921 : PEN19-0052 - RD

NOTICE OF PUBLIC HEARING

PROPOSAL:

A Conditional Use Permit (CUP) to allow a retail cannabis dispensary, "RD MoVal, LLC" in an existing 2,379 square foot retail tenant space located in the Community Commercial (CC) District.

ENVIRONMENTAL DETERMINATION:

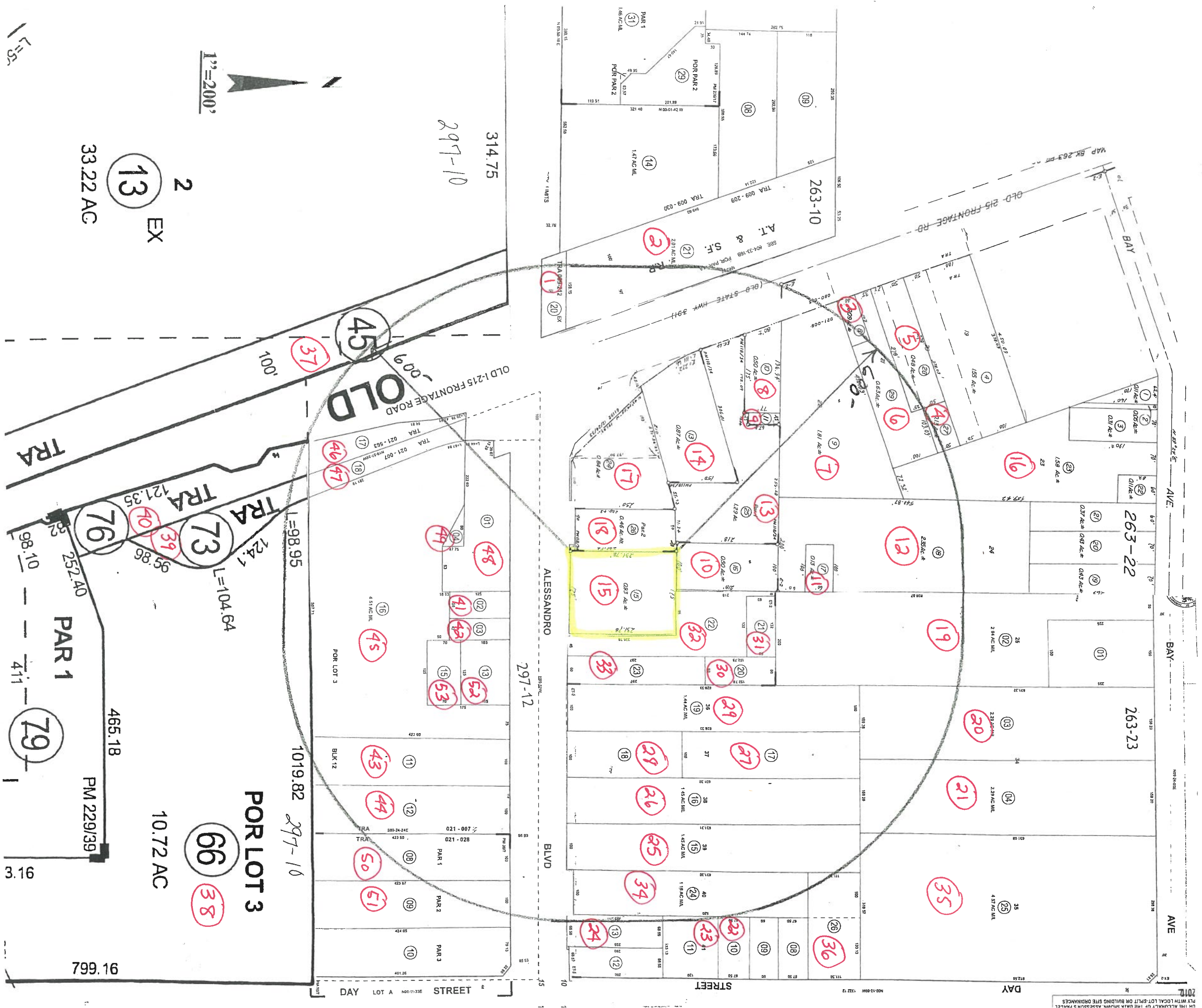
This project is a retail use within an existing single-story retail building. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 for Existing Facilities.

HEARING:

Any person interested in the proposal may speak at the hearing or provide written testimony at or prior to the hearing. The application file and environmental documents may be inspected at the Community Development Department at 1417 Frederick Street, Moreno Valley, California during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday and 7:30 a.m. to 4:30 p.m. on Fridays), or you may telephone (951) 413-3206 for further information.

The Planning Commission, at the Hearing or during deliberations, could also consider and approve changes to the project or the environmental determination. If you challenge this project, including any modifications considered for the project, in court, you may be limited to raising only those items you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Commission on or before the public hearing.

Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility.



DONNA'S RADIUS MAPS
 DATE: 11/11/2019
 684 S GENTRY LANE
 ANAHEIM CA 92807
 (714) 921-2921

PLANNING COMMISSION RESOLUTION NO. 2020-05

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY APPROVING A CONDITIONAL USE PERMIT (PEN19-0052) FOR A 2,374 SQUARE FOOT CANNABIS DISPENSARY, "RD MOVAL," IN AN EXISTING BUILDING LOCATED AT 21820 ALESSANDRO BOULEVARD, ON THE NORTH SIDE OF ALESSANDRO BOULEVARD, BETWEEN OLD 215 FRONTAGE ROAD AND DAY STREET (APN: 263-220-015).

WHEREAS, RD MoVal, LLC, has filed an application for the approval of Conditional Use Permit (CUP) PEN19-0052 for the development of a 2,734 square foot cannabis dispensary, operating between the hours of 8:00 a.m. and 10:00 p.m., 7 days per week, as described in the title above; and

WHEREAS, the application has been evaluated in accordance with established City of Moreno Valley (City) procedures, and with consideration of the Municipal Code, the General Plan, and other applicable regulations; and

WHEREAS, upon completion of a thorough development review process the project was appropriately agendized and noticed for a public hearing before the Planning Commission of the City of Moreno Valley (Planning Commission); and

WHEREAS, the public hearing notice for this project was published in the local newspaper on February 14, 2020 and public notice was sent to all property owners of record within 600 feet of the project site on February 13, 2020. The public hearing notice for this project was also posted on the project site on February 14, 2020, and

WHEREAS, on February 27, 2020, the Planning Commission held a public hearing to consider the application; and

WHEREAS, on February 27, 2020, the Planning Commission of the City of Moreno Valley determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et. seq.) under CEQA Guidelines Section 15301, Class 1: Existing Facilities; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred; and

WHEREAS, pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that this project is subject to certain fees, dedications, reservations and other exactions as provided herein.

NOW, THEREFORE, BE IT RESOLVED, it is hereby found, determined and resolved by the Planning Commission as follows:

- A. This Planning Commission hereby specifically finds that all of the facts set forth above in this Resolution are true and correct.
- B. Based upon substantial evidence presented to this Planning Commission during the above-referenced meeting on February 27, 2020, including written and oral staff reports, public testimony and the record from the public hearing, this Planning Commission hereby specifically finds as follows:

1. **Conformance with General Plan Policies** – The proposed use is consistent with the General Plan, and its goals, objectives, policies and programs.

FACT: State Planning Law required cities and counties to set forth goals, policies, and implementation programs for the long term physical development of the community. The proposed development is located within the Commercial (C) land use designation of the Moreno Valley General Plan.

The CUP has been evaluated against General Plan Objective 2.4, which states “provide commercial areas within the City that are conveniently located, efficient, attractive, and have safe and easy pedestrian and vehicular circulation in order to serve the retail and service commercial needs of Moreno Valley residents and businesses.” Staff has confirmed that the proposed project does not conflict with any of the goals, objectives, policies, and programs of the General Plan. The reuse of an existing commercial building with a new cannabis dispensary will provide a convenient, safe, and easily accessible commercial business within the City.

2. **Conformance with Zoning Regulations** – The proposed use complies with all applicable zoning and other regulations.

FACT: The proposed project is within the Community Commercial (CC) District. Municipal Code Section 9.02.290 C 2 (Cannabis Business Locations and Use), requires a Conditional Use Permit in order to lawfully operate all commercial cannabis activities including dispensaries. The proposed Conditional Use Permit for a cannabis dispensary will comply with the Municipal Code Section 9.09.290 Commercial Cannabis Activities, which provides standards for cannabis dispensaries. Additionally, the project is designed in accordance with the provisions of Community Commercial (CC) District and has been conditioned would comply with all applicable zoning standards.

3. **Health, Safety and Welfare** – The proposed use will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.

FACT: The proposed commercial cannabis business will operate in an existing commercial building. This proposed use will be consistent with General Plan Goal 6.1 as it achieves acceptable levels of protection from natural and man-made hazards to life, health, and property through the implementation of the security plan, and compliance with applicable building and fire codes.

Planning staff has reviewed the request in accordance with the latest edition of the California Environmental Quality Act (CEQA) Guidelines and has determined that the project is exempt from the provisions of the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et. seq.) under CEQA Guidelines Section 15301, Class 1: Existing Facilities.

4. **Location, Design and Operation** – The location, design and operation of the proposed project will be compatible with existing and planned land uses in the vicinity.

FACT: The project site is consistent with both the Commercial General Plan land use designation and the Community Commercial (CC) District and is permitted subject to the approval of a Conditional Use Permit. The proposed commercial cannabis dispensary will operate within an existing 2,374 square foot commercial building. Proposed interior tenant and modifications to the site are consistent with applicable federal, state and local regulations.

Additionally, the project site is not located within 600 feet of any public or private school providing instruction in kindergarten or grades 1 through 12, and from child day care centers, youth centers, or arcades.

Overall, the proposed project has been found to be consistent with certain objectives, goals and policies outlined in the City's General Plan, as well as being compatible with the existing land uses in the project area.

This project as proposed and conditioned conforms to all development standards of the Community Commercial (CC) District and the design guidelines for commercial developments prescribed in the City's Municipal Code and City Landscape Standards.

FEES, DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS

1. **FEES**

Impact, mitigation and other fees are due and payable under currently applicable ordinances and resolutions. These fees may include but are not limited to: Development Impact Fee, Transportation Uniform Mitigation Fee (TUMF), Multi-species Habitat

Conservation Plan (MSHCP) Mitigation Fee, Stephens Kangaroo Habitat Conservation fee, Underground Utilities in lieu Fee, Area Drainage Plan fee, Bridge and Thoroughfare Mitigation fee (Future) and Traffic Signal Mitigation fee. The final amount of fees payable is dependent upon information provided by the applicant and will be determined at the time the fees become due and payable.

Unless otherwise provided for by this Resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 3.32 of the City of Moreno Valley Municipal Code or as so provided in the applicable ordinances and resolutions. The City expressly reserves the right to amend the fees and the fee calculations consistent with applicable law.

2. **DEDICATIONS, RESERVATIONS, AND OTHER EXACTIONS**

The adopted Conditions of Approval for PEN19-0052, incorporated herein by reference, may include dedications, reservations, and exactions pursuant to Government Code Section 66020 (d) (1).

3. **CITY RIGHT TO MODIFY/ADJUST; PROTEST LIMITATIONS**

The City expressly reserves the right to establish, modify or adjust any fee, dedication, reservation or other exaction to the extent permitted and as authorized by law.

Pursuant to Government Code Section 66020(d)(1), NOTICE IS FURTHER GIVEN that the 90-day period to protest the imposition of any impact fee, dedication, reservation, or other exaction described in this Resolution begins on the effective date of this Resolution and any such protest must be in a manner that complies with Section 66020(a) and failure to timely follow this procedure will bar any subsequent legal action to attack, review, set aside, void or annul imposition.

The right to protest the fees, dedications, reservations, or other exactions does not apply to planning, zoning, grading, or other similar application processing fees or service fees in connection with this project and it does not apply to any fees, dedication, reservations, or other exactions of which a notice has been given similar to this, nor does it revive challenges to any fees for which the applicable statute of limitations has previously expired.

BE IT FURTHER RESOLVED that the Planning Commission **HEREBY APPROVES** Resolution No. 2020-05, and thereby:

1. **CERTIFY** that Conditional Use Permit PEN19-0052 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities); and

- 2. **APPROVE** Conditional Use Permit PEN19-0052 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

APPROVED this 27th day of February, 2020.

 Jeffrey Sims
 Chairperson, Planning Commission

ATTEST:

APPROVED AS TO FORM:

 Patty Nevins, Acting Community
 Development Director
 Secretary to the Planning Commission

 City Attorney

Attachments:

Exhibit A: Conditions of Approval

Attachment: Resolution 2020-05 [Revision 2] (3921 : PEN19-0052 - RD MoVal)

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 1

CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Conditional Use Permit (PEN19-0052)

EFFECTIVE DATE:
 EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENTPlanning Division

1. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
2. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (MC 9.02.260)
3. This project is located within the Community Commercial (CC) District. The provisions of the zoning, and the Conditions of Approval shall prevail unless modified herein.
4. The commercial cannabis dispensary shall be consistent with all other applicable federal, state and local requirements including the Moreno Valley Municipal Code Title 5 and Title 9, and all related Municipal Code sections.
5. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
6. All landscaped areas and the parking lot shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
7. Any signs indicated on the submitted plans are not included with this approval and shall be renewed under separate permit.
8. All site plans, grading plans, landscape plans and proposed signage shall be coordinated for consistency with this approval.
9. A copy of all pages of these conditions shall be included in the construction drawing package.

Special Conditions

10. The applicant shall comply with conditions of approval of the Riverside County Airport Land Use Commission Development Review Number ZAP1364MA19 included herein as Exhibit 1.

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 2

11. The site has been approved for a commercial cannabis dispensary, located at 21820 Alessandro Boulevard, (approximately 2,374 square feet) per the approved plans and per the requirements of the City's Municipal Code (MC) Section 9.09.290 Commercial cannabis activities, 9.09.293 Cannabis Business locations and use, and 5.05 Commercial Cannabis Activity. A change or modification to the interior design/set-up, exterior elevations or business process (including security procedures) shall require separate review and approval. For a Conditional Use Permit, violation may result in revocation of a Conditional Use Permit per MC Section 9.09.290 F and 9.02.260.
12. The cannabis license and the Conditional Use Permit, apply only to the 2,374 square foot building at 21820 Alessandro Boulevard. No use of any other tenant space, outside of the 2,374 square foot building is allowed per Conditional Use Permit PEN19-0052.
13. Daily hours of operation for the dispensary may start no earlier than 8:00 am and end no later than 10:00 pm, Sunday through Saturday.
14. A licensee conducting a commercial cannabis dispensary shall meet all applicable operational requirements for retail/commercial cannabis dispensaries. (MC 9.09.290 (E)(4))
15. The commercial cannabis operation shall have a valid Commercial Cannabis Business Permit and shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.
16. The cannabis licensee shall display its current valid Commercial Cannabis Business Permit under Chapter 5.05 of this Code and a Conditional Use Permit issued in accordance with this chapter inside the lobby or waiting area of the main entrance to the site. The permits shall be displayed at all times in a conspicuous place so that it may be readily seen by all persons entering the site. (MC 9.09.290 (D)(2)(c))
17. All City Fire, Police and Code personnel shall have unlimited and unrestricted property access for inspections of commercial cannabis businesses and facilities during business hours. (MC 9.09.290 (D)(2)(g))
18. No person associated with this commercial cannabis dispensary shall cause or permit the sale, dispensing or consumption of alcoholic beverages or the sale of tobacco products on or within 50 feet of the premises of a cannabis business. (MC 9.09.290 (D)(2)(b))
19. No person shall smoke, ingest, or otherwise consume cannabis in any form on, or within twenty (20) feet of, the dispensary site. (MC 9.09.290 (E)(4)(f))
20. No commercial cannabis dispensary owner or employee shall: (i) cause or permit the sale, distribution, or consumption of alcoholic beverages on the dispensary property (ii) hold or maintain a license from the State Division of Alcoholic Beverage Control for the sale of alcoholic beverages; or (iii) operate a business on or adjacent to the dispensary property that sells alcoholic beverages. No alcoholic beverages shall be allowed or stored on the dispensary property. (MC 9.09.290 (E)(4)(g))
21. No cannabis or marijuana materials or products shall be visible from the exterior of any structure, facility, or building in which commercial cannabis dispensaries are being conducted. All commercial cannabis dispensaries must take place within a fully enclosed, secured and permanent structure (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(6)(c))

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 3

22. The commercial cannabis dispensary shall have designated locked storage on the dispensary property for after-hours storage of medical and adult use recreational cannabis and cannabis infused products. All cannabis and cannabis infused products shall be stored at the dispensary property in secured rooms that are completely enclosed or in a safe that is bolted to the floor (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(4)(c))
23. No delivery service (retail) of any cannabis products is allowed. All distribution of cannabis must be conducted within the enclosed building area of the dispensary property between the seller and buyer. (MC 9.09.290 (E)(4)(e))
24. All operations conducted and equipment used must be in compliance with all applicable state and local regulations, including all building, electrical and fire codes. (MC 9.09.290 (E)(7)(b))
25. Security surveillance cameras and a video recording system must be installed to monitor all doors into and out of the buildings on the site, the parking lot, loading areas, and all exterior sides of the property adjacent to the public rights-of-way. The camera and recording systems must be of adequate quality, color rendition, and resolution to allow the identification of any individual present on the site. The recording system must be capable of exporting the recorded video in standards MPEG formats to another common medium, such as a DVD or USB drive. (MC 9.09.290 (E)(12)(a))
26. All windows on the building that houses the Cannabis Facility shall be appropriately secured and all cannabis and marijuana securely stored.
27. Professionally and centrally monitored fire, robbery, and burglar alarm systems must be installed and maintained in good working condition. The alarm system must include a private security company that is required to respond to every alarm. (MC 9.09.290 (E)(12)(b))
28. Waste and storage and disposal of all cannabis and marijuana products shall meet all applicable state and local health regulation. (MC 9.09.290 (E)(13))
29. The premises must be equipped with an odor absorbing ventilation and exhaust system so that odor generated inside the Cannabis Business that is distinctive to its operation is not detected outside the Cannabis Business, anywhere on adjacent property or public rights-of-way, on or about any exterior or interior common area walkways, hallways, breeze-ways, foyers, lobby areas, or any other areas available for common use by tenants or the visiting public, or within any other unit located within the same building as the Cannabis Business. As such, Cannabis Businesses must install and maintain the following equipment or any other equipment which the Local Licensing Authority determines has the same or better effectiveness:
 - a. An exhaust air filtration system with odor control that prevents internal odors from being emitted externally; or
 - b. An air system that creates negative air pressure between the Cannabis Businesses' interior and exterior so that the odors generated inside the Cannabis Business are not detectable outside the Cannabis Business.
30. All Cannabis heating, ventilation, air conditioning and odor control plans and blue prints shall be stamped by a Licensed HVAC Mechanical Engineer.
31. All window arrays, doors and associated framing systems shall be renovated to install new glazing compounds and seals.

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 4

32. Automatic closures on all interior and exterior doors shall be installed.
33. All interior and exterior door seals shall be replaced and adjusted.
34. All roof venting, wall penetrations, panel joints etc. shall be sealed.
35. The Applicant shall install air curtains on all exterior doors.
36. Two secured parking spaces, identified on a plot plan shall be located convenient to the required secured area of each facility to be used by secured transfer vehicles involved in the courtering or dispensing of cannabis materials products to and from the facility and for use by any secured vehicle commissioned for the transfer of currency to and from the facility. (MC 9.09.290 (E)(9)(f))
37. A fire sprinkler system shall be installed for this project or as required by the Municipal Code Section 9.09.290. An approved automatic fire sprinkler system, designed in compliance with the California Fire Code is required in every building that houses a commercial cannabis business. This is a minimum standard and does not preclude the city from imposing additional fire prevention measures as deemed necessary by the fire marshal (MC 9.09.290 (E)(7)(d))
38. Licensee shall prohibit loitering by individuals outside the licensed premises or anywhere on the property. (MC 9.09.290 (E) (14) (c))
39. Licensee shall remove any graffiti from the licensed premises within twenty-four (24) hours of its occurrence, or as requested by the city. (MC 9.09.290 (E) (14) (d))
40. Exterior landscaping within ten (10) feet of a licensed premises shall be designed, installed and maintained free of locations which could reasonably be used by persons to conceal themselves and/or to enable undesirable activity. The design and maintenance practices shall give appropriate consideration to both natural and artificial illumination. (MC 9.09.290 (E)(8)(c))
41. Prior to issuance of Certificates of Occupancy a five foot wide landscape planter shall be installed along the project frontage on Alessandro Boulevard behind the sidewalk.
42. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approval of any new or repaired landscaping by the Planning Division designed per the City's Municipal Code 9.17.
43. Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation improvements shall be installed, and inspected and approved by the Planning Division. (DC 9.03.040)
44. Prior to issuance of Certificates of Occupancy or building final, the applicant shall cause the slurry sealing and restriping of the parking lot that shall be inspected and approved by the Planning and Building Divisions.
45. The parking lot lighting shall be maintained in good repair and shall comply with the Municipal Code lighting standards and the Security Plan at all times.
46. Prior to approval of tenant improvement plans, two copies of a detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted to the Planning Division for review and approval. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 5

include style, illumination, location, height and method of shielding. The lighting shall be designed in such a manner so that it meets the lighting standards in the Cannabis Ordinance 932. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, DG) Lighting shall comply with the provisions of MC Section 9.08.100 including fixture type, wattage illumination levels and shielding. (MC 9.09.290 (E)(10))

47. The commercial cannabis operation shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.

Security Plan and Measures

48. Prior to Building Permit or Certificate of Occupancy, the process for any transfer of product or currency shall be identified in an updated Security Plan to be reviewed and approved by the Planning Division. (MC 9.09.290 (D)(2)(f))
49. The Security Plan on file with the City of Moreno Valley shall remain in effect as long as the established use is in operation. Any changes, additions, removal or modifications to the plan shall be submitted to the City for review and inclusion in the Conditional Use Permit file.
50. Prior to approval of tenant improvement plans, the applicant shall submit plans detailing provisions for controlled/secured access into and out of the dispensary area.

Miscellaneous Operating Requirements

51. Persons under the age of twenty-one (21) years shall not be allowed on the premises. It shall be unlawful and a violation of this chapter for any person to employ any person at a commercial cannabis business who is not at least twenty-one (21) years of age.

Building Division

52. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
53. Sanitary Sewer Services: The proposed project is subject to approval by the Edgemont Community Services District and all applicable fees and charges shall be paid prior to permit issuance. Contact the Edgemont Community at (951)784-2632 for specific details.
54. Contact the Building Safety Division for permit application submittal requirements.
55. The proposed project will be subject to approval by the Box Springs Mutual Water Company and all applicable fees and charges shall be paid prior to permit issuance. Contact the water company at 951.653.6419 for specific details.
56. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m. (except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.
57. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 6

58. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
59. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the 2016 California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
60. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2016 CBC.
61. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

Economic Development Department (EDD)

62. New Moreno Valley business are encouraged to hire local residents.
63. New Moreno Valley business may utilize the workforce recruitment services provided by the Moreno Valley Employment Resource Center ("ERC"). The ERC offers no cost assistance to businesses recruiting and training potential employees. Complimentary services include:
- Job Announcements
 - Applicant testing / pre-screening
 - Interviewing
 - Job Fair support
 - Training space

New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.

64. New Moreno Valley businesses may adopt a "First Source" approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of public recruitment.

FIRE DEPARTMENT**Fire Prevention Bureau**

65. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height. (CFC 505.1, MVMC 8.36.060[I])
66. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.

CONDITIONS OF APPROVAL

Conditional Use Permit PEN19-0052

Page 7

67. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
68. Prior to issuance of a Certificate of Occupancy or Building Final, a “Knox Box Rapid Entry System” shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)
69. Plans for private water mains supplying fire sprinkler systems and /or private fire hydrants shall be submitted to the Fire Prevention Bureau for approval. (CFC 105 and CFC 3312.1)
70. Fire sprinklers are required to be installed in all commercial cannabis businesses in accordance with NFPA 13 and the Moreno Valley Municipal Code.

PUBLIC WORKS DEPARTMENT**Land Development**

71. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - Observance of working hours as stipulated on permits issued by the Land Development Division.
 - The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.
- Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor (s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

Prior to Encroachment Permit

72. All applicable inspection fees shall be paid.
73. Any work performed within public right-of-way requires an encroachment permit.

Prior to Occupancy

74. All outstanding fees shall be paid.
75. The existing driveways on Alessandro Boulevard shall be reconstructed per City Standard Plans.

Exhibit 1: ALUC Conditions of Approval ZAP1364MA19

Exhibit 1

ALUC Conditions of Approval ZAP1364MA19

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



RECEIVED

JUL - 3 2019

CITY OF MORENO VALLEY
Planning Division

June 27, 2019

CHAIR

Steve Manos
Lake Elsinore

VICE CHAIR

Russell Betts
Desert Hot Springs

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Steven Stewart
Palm Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

Mr. Jerry Guarracino, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92552

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

File No.: ZAP1364MA19
Related File Nos.: PEN19-0052 (Conditional Use Permit)
APN: 263-220-015
Compatibility Zone: B1-APZ-II

Dear Ms. Guarracino:

On June 13, 2019, the Riverside County Airport Land Use Commission (ALUC) found City of Moreno Valley Case No. PEN19-0052 (Conditional Use Permit), a proposal to establish a commercial cannabis dispensary within an existing 2,379 square foot building on a 0.9-acre property located at 21820 Alessandro Boulevard (on the north side of Alessandro Boulevard, westerly of Day Street, and easterly of Old 215 Frontage Road and I-215), **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers

County Administrative Center
4080 Lamon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Attachment: Exhibit A to Resolution 2020-05 [Revision 2] (3921 : PEN19-0052 - RD MoVal)

- containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, restaurants, places of assembly (including churches and theaters), buildings with more than 3 aboveground habitable floors, noise sensitive outdoor nonresidential uses, critical community infrastructure facilities and hazards to flight.
 - (f) Any other uses not permitted in Accident Potential Zone II pursuant to DoDI 4165.57.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
 4. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings.
 5. Any proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
 6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
 8. Any increase in building area or change in use will require review by the Airport Land Use Commission. In addition, this project shall not store, process or manufacture hazardous materials without review and approval by the Airport Land Use Commission.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

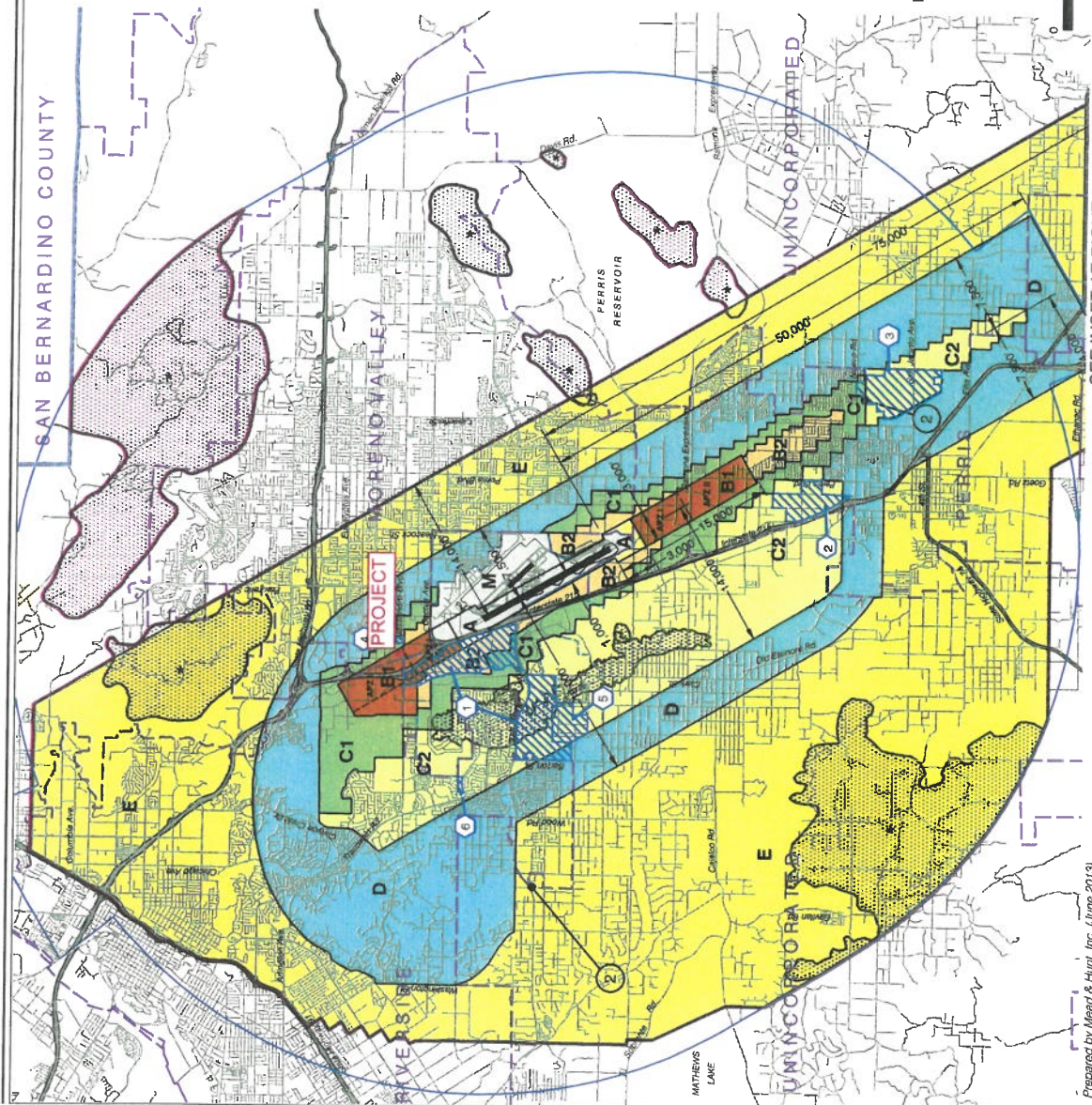
cc: RD Moval, LLC (applicant)
Jonathan Zane (representative)
Rick Jackson (representative)
Joanne and Suzanne Charlebois (property owners)
Gary Gosliga, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

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Attachment: Exhibit A to Resolution 2020-05 [Revision 2] (3921 : PEN19-0052 - RD MoVal)

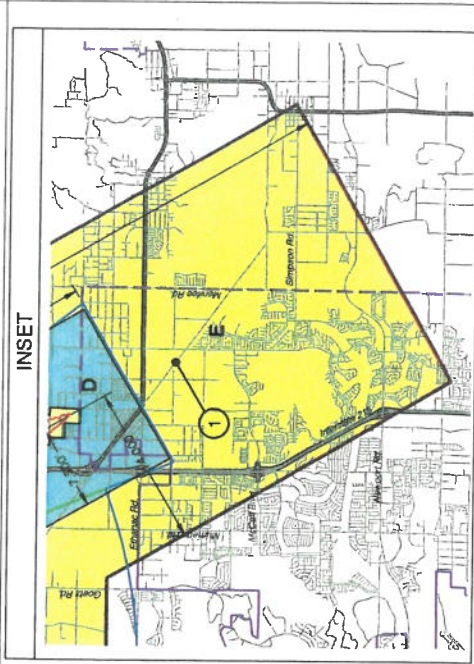
NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

- Compatibility Zones**
- Zone A
 - Zone B1
 - Zone B2
 - Zone C1
 - Zone C2
 - Zone D
 - Zone E
 - Zone M
- Boundary Lines**
- March Air Reserve Base / Air Force Property
 - March Joint Powers Authority
 - Property Line
 - County Boundary
 - City Limits
 - Site-Specific Exceptions (existing local agency commitments to development projects)
- Surface Limits**
- High Terrain Zone
 - FAR Part 77 Military Outer Horizontal Surface Limits
 - FAR Part 77 Notification Area
- Other Features**
- 1 March JPA, March Business Center/Meridian
 - 2 Perris: Harvest Landing
 - 3 Perris: Park West
 - 4 Moreno Valley: Affordable Housing
 - 5 March JPA, Ben Clark Training Center
 - 6 Riverside: Ridge Crest Subdivision
- Notes:**
- 1 Point at which aircraft on Runway 32 ILS approach descended below 3,000 feet above runway end. Airport Elevation is 1,335 feet MSL.
 - 2 Point at which departing aircraft typically reach 3,000 feet above runway end.



Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
 (Adopted November 13, 2014)

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Note:
 All dimensions are measured from runway ends and centerlines.



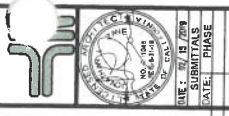
Base map source: County of Riverside 2013

SEE INSET AT RIGHT

Prepared by Mead & Hunt, Inc. (June 2013)

| REVISIONS | DATE | BY: |
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JONATHAN L. ZANE
 ARCHITECTURE
 935 NORTH LA CADENA DRIVE
 COSTA MESA, CA 92626
 (949) 925-7500
 FAX: (949) 925-7500



CANNABIS DISPENSARY, T.I.
 A Project For:
 LOCATION:
 21820 ALESSANDRO BLVD.
 MORENO VALLEY, CA
 92553

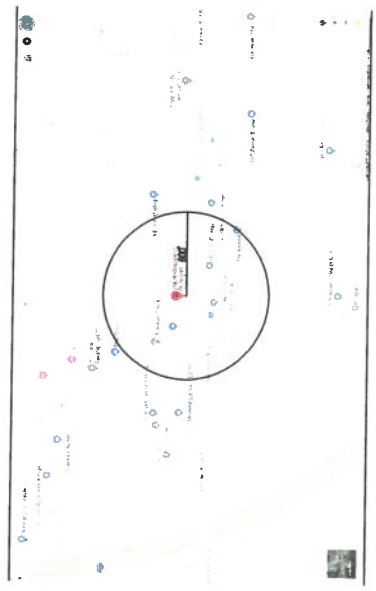
DATE: 07/15/2019
 SCALE:
 DRAWN: Y. LEUNG
 JOB:
 SHEET:
A-2

SCHOOL DISTRICT
 MORENO VALLEY UNITED SCHOOLS DISTRICT
 2854 ALESSANDRO BLVD.
 MORENO VALLEY, CA 92553

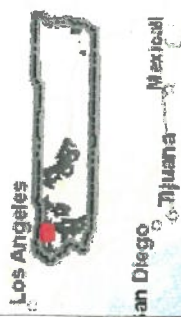
3 NEAREST SCHOOLS
 PACIFIC VIEW ELEMENTARY SCHOOL
 11000 WOODBURN AVE
 MORENO VALLEY, CA 92553
 1 MILE (44,280 FT.)
 TOWNHATE ELEMENTARY SCHOOL
 22480 DRACIA AVE.
 MORENO VALLEY, CA 92553
 1.1 MILE (47,328 FT.)
 MORENO VALLEY HIGH SCHOOL
 3500 VALLEY BLVD
 MORENO VALLEY, CA 92553
 1.3 MILE (56,688 FT.)

NEAREST LIQUOR STORE
 CHARLES LIQUORS
 21840 ALESSANDRO BLVD.
 MORENO VALLEY, CA 92553
 .50 MILE (4,116 FT.)

ZONING IS CC AND MIXED USE ARE NO SENSITIVE USES WITHIN A 600' RADIUS

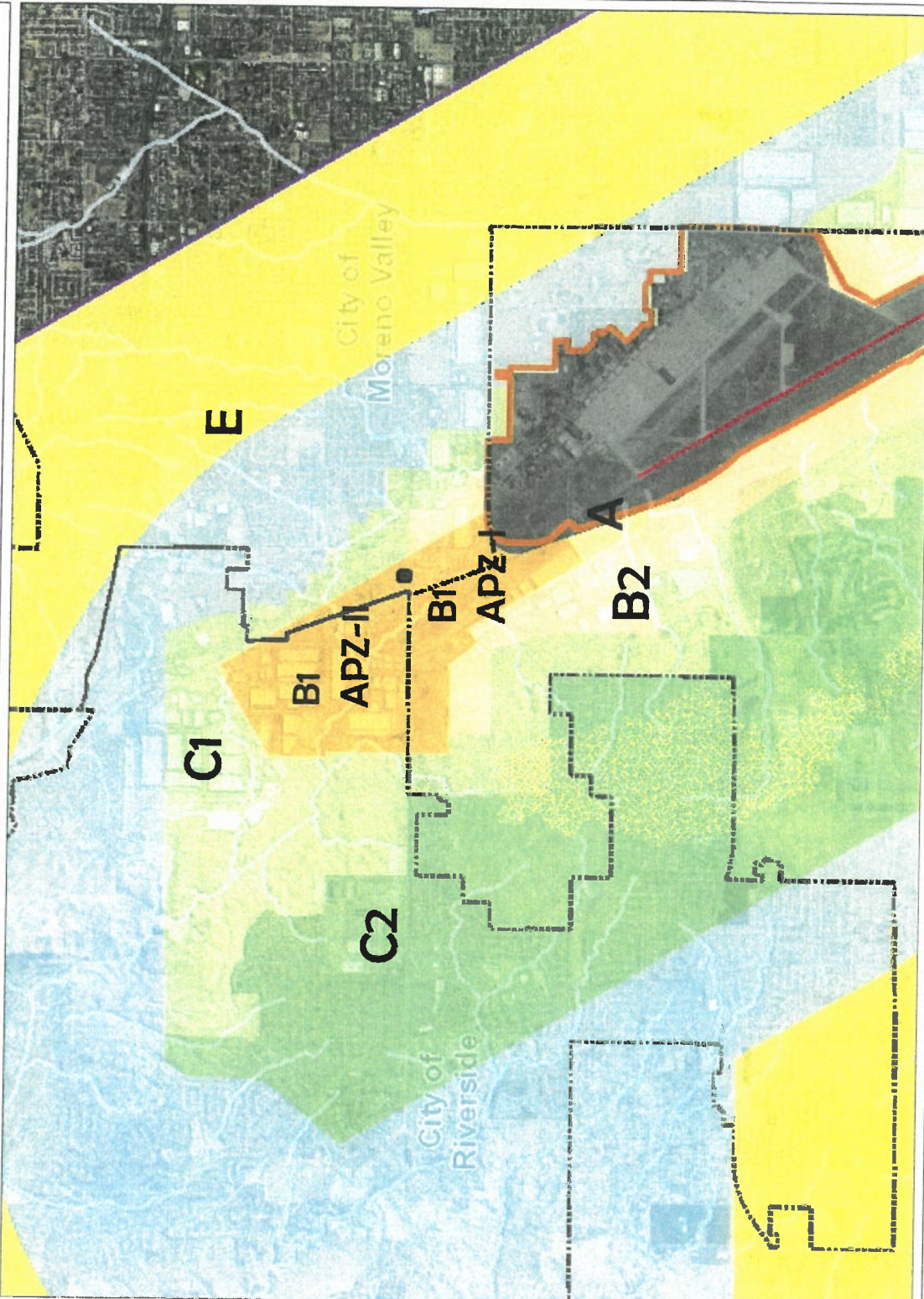


Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - OTHER COMPATIBILITY ZONE

- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



Notes

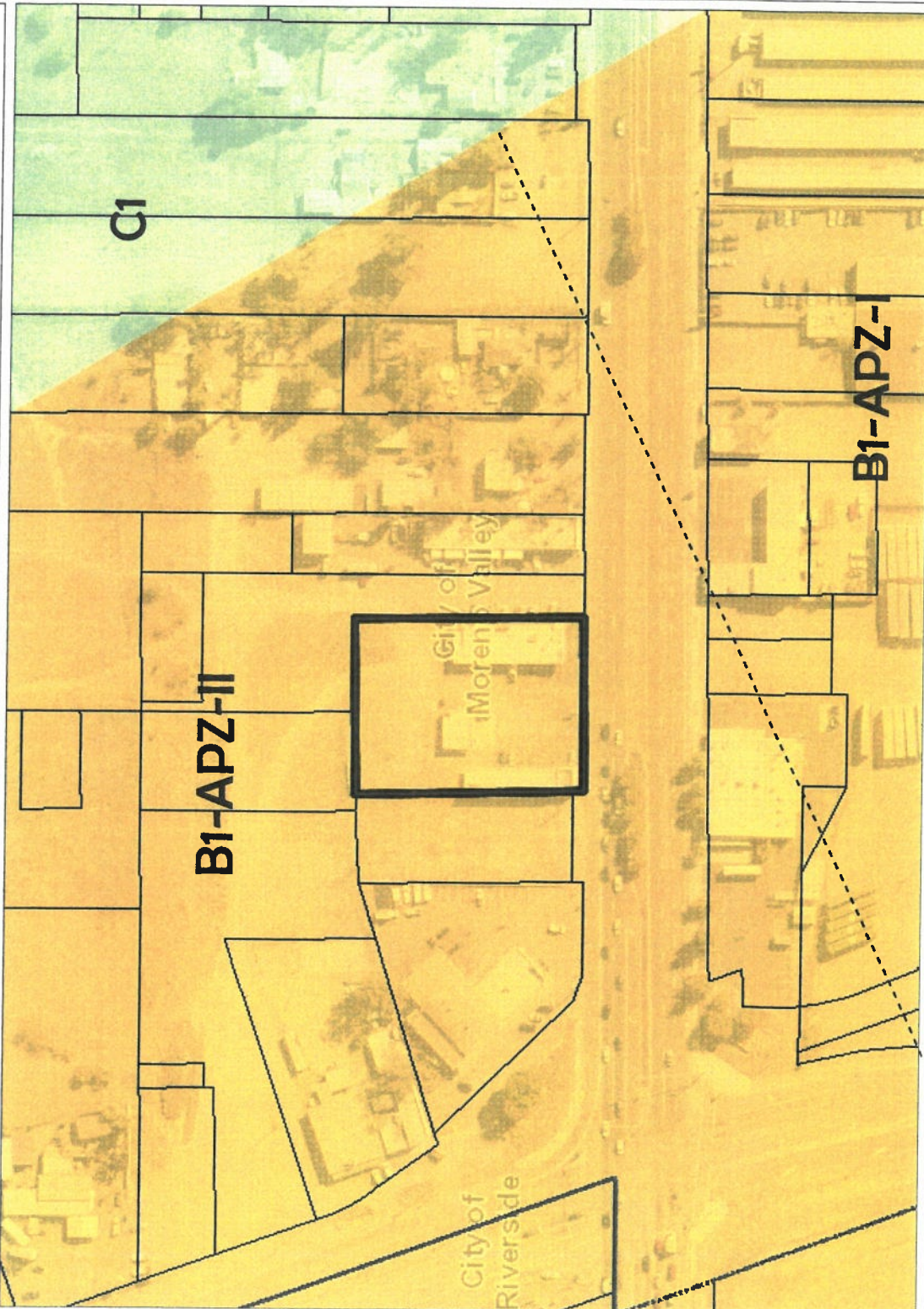
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - OTHER COMPATIBILITY ZONE
- A**
- A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
- C**
- C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5

Notes

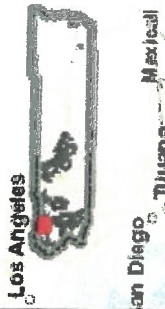
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Map My County Map



- Legend**
- Blue/line Streams
 - City Areas
 - World Street Map



Notes

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Map My County Map



- Legend**
- Blueline Streams
 - City Areas
 - World Street Map



Notes

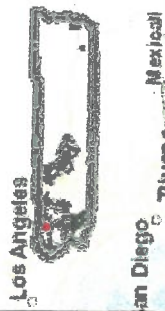
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 1 3,032 Feet

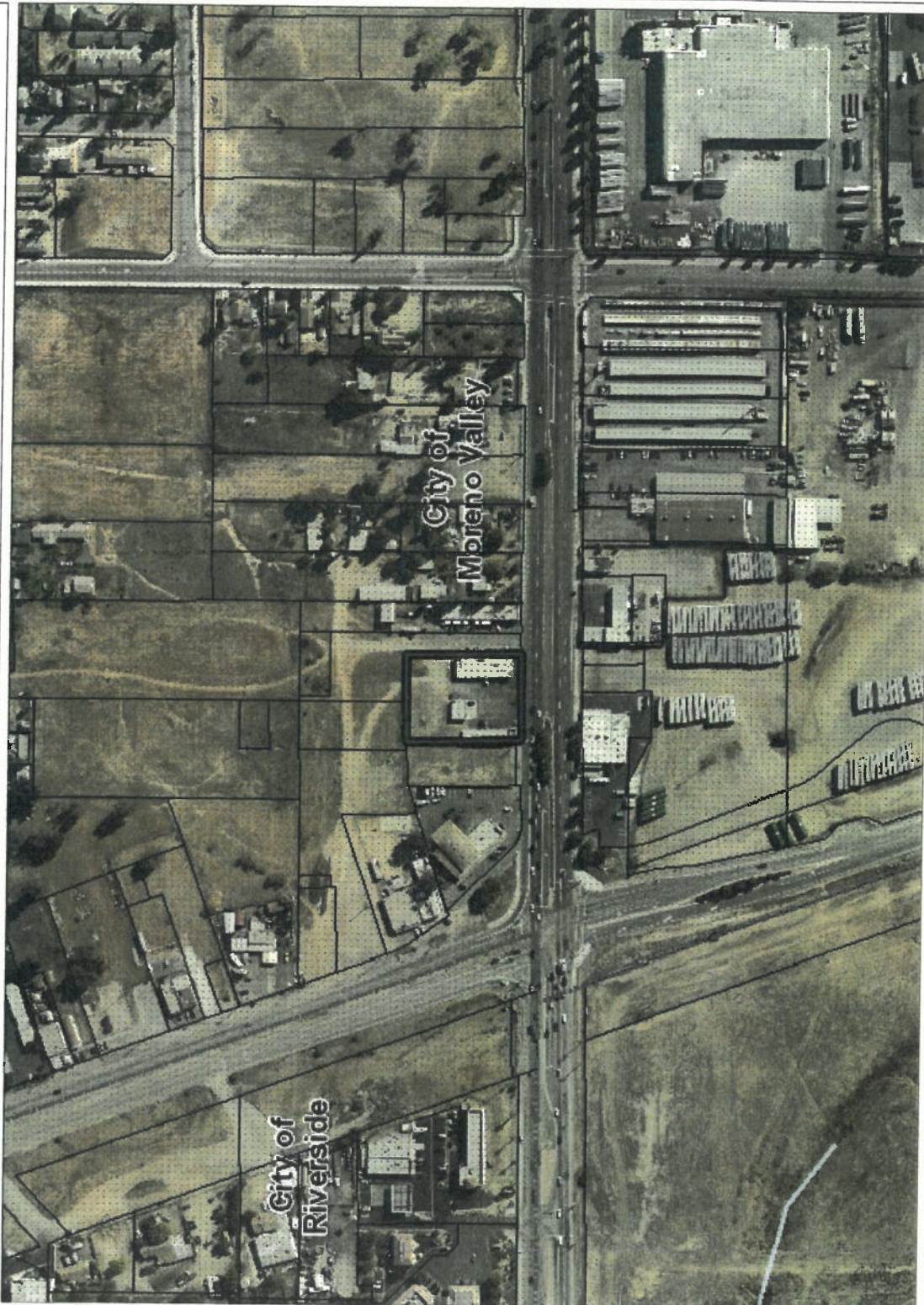
REPORT PRINTED ON... 4/18/2019 2:55:39 PM

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Map My County Map



- Legend**
- Parcels
 - Blue line Streams
 - City Areas
 - World Street Map



Notes

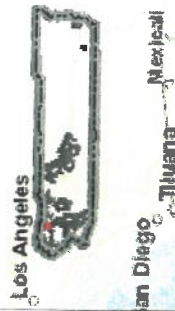
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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Map My County Map



- Legend**
- Parcels
 - Blueline Streams
 - City Areas
 - World Street Map



Notes

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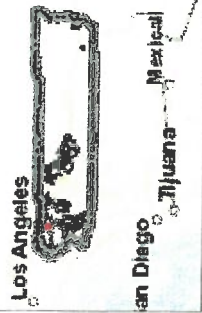


0 189 379 Feet

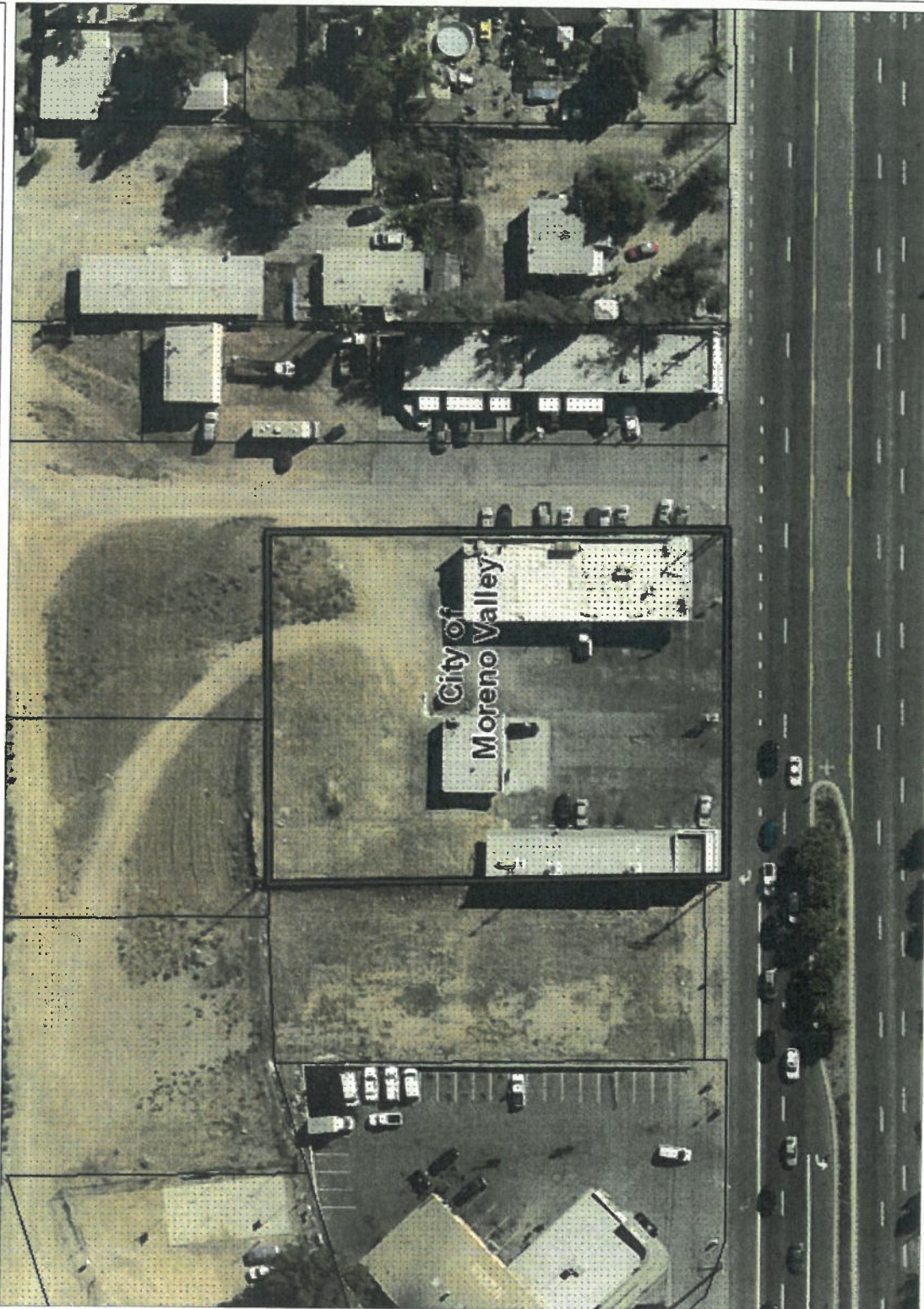
REPORT PRINTED ON...4/18/2019 2:53:34 PM

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Map My County Map



- Legend**
- Parcels
 - Blueline Streams
 - City Areas
 - World Street Map



Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



189 Feet

95

0



REPORT PRINTED ON... 4/18/2019 2:56:40 PM

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| REVISIONS | |
| BY: | |
| DATE: | |

JONATHAN L. ZANE
ARCHITECTURE
ARCHITECT - CA LIC. #C-11-046
958 NORTH LA CADENA DRIVE
COSTA MESA, CA 92626
(949) 423-7500



PROJECT: CANNABIS DISPENSARY, T.I.
OWNER: CANNABIS DISPENSARY, T.I.
21820 ALESSANDRO BLVD.
MORNO VALLEY, CA 92553

| DATE | BY | DATE | BY | DATE | BY |
|------|----|------|----|------|----|
| | | | | | |
| | | | | | |



VICINITY MAP
APR: 263-220-015
SITE ADDRESS: 21820 ALESSANDRO BLVD. MORNO VALLEY, CA. 92553
OWNER: CANNABIS DISPENSARY, T.I.
ROW ORIGINATOR: RWA ORGANISAN
(714)601-3377

LEGAL DESCRIPTION: N/4 IN SEC 10 T35 R4W
TENANT: RD MOVAL

DESCRIPTION OF USE: COMMERCIAL, PROPOSED CANNABIS DISPENSARY (PROFESSIONAL OR SERVICE TYPE TRANSFORMATIONS)
OCCUPANT TYPE: BUSINESS GROUP-4
TYPE OF CONSTRUCTION: SINGLE STORY, SINGLE EXC. NON-SPRINKLERD

OCCUPANT LOAD PER CBC TABLE 10B4.1.2
• LOBBY: 27 SF / 100-sq-ft
• OFFICE: 23 SF / 100-sq-ft
• STORAGE: 402 SF / 100-sq-ft
• BREAK ROOM: 474 SF / 100-sq-ft
• RESTROOM: 37 SF / 100-sq-ft
• STORMWATER: 30 SF / 100-sq-ft
TOTAL: 26 PERSONS

SITE DATA

EXISTING AND PROPOSED UTILITIES TO LOCATE THE SPACE AND NEW ELECTRICAL AND RELOCATE MECHANICAL UNITS TO EXIST. AREA. RECORD EXISTING UTILITIES WITH THE ADA COMPLIANCE.

- NOTES:
1. SEPARATE APPLICATION(S) AND PERMITS ARE REQUIRED FOR:
 - ELECTRICAL WORK
 - MECHANICAL WORK
 - PLUMBING WORK
 2. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO TENANT OCCUPANCY. THE BUILDING DESIGN PROFESSIONAL FOR APPLICATION, THE CITY BUILDING INSPECTOR, AND THE COUNTY BUILDING INSPECTOR MUST SIGN OFF ON THE CERTIFICATE OF OCCUPANCY. AT THE REQUEST OF THE CITY BUILDING INSPECTOR THE OWNER OR THE DESIGNER MUST APPEAR AT THE CITY BUILDING INSPECTOR MEETING FOR THE OWNER MUST REMAIN OR EMPLOY ALL NECESSARY PERSONNEL TO OBSERVE THE SITE LOCATIONS THE CITY BUILDING INSPECTOR REQUEST TO VERIFY THE CONSTRUCTION MEETS THE CALIFORNIA BUILDING CODE REQUIREMENTS.

SCOPE OF WORK

LOT SIZE: 40,563.5 SF
EXISTING AREA: 4,379 SF
DESIGNED TOTAL AREA: 7,379 SF
LOT COVERAGES: 40.56 / 47.29 - 17.28%

DESIGN CRITERIA

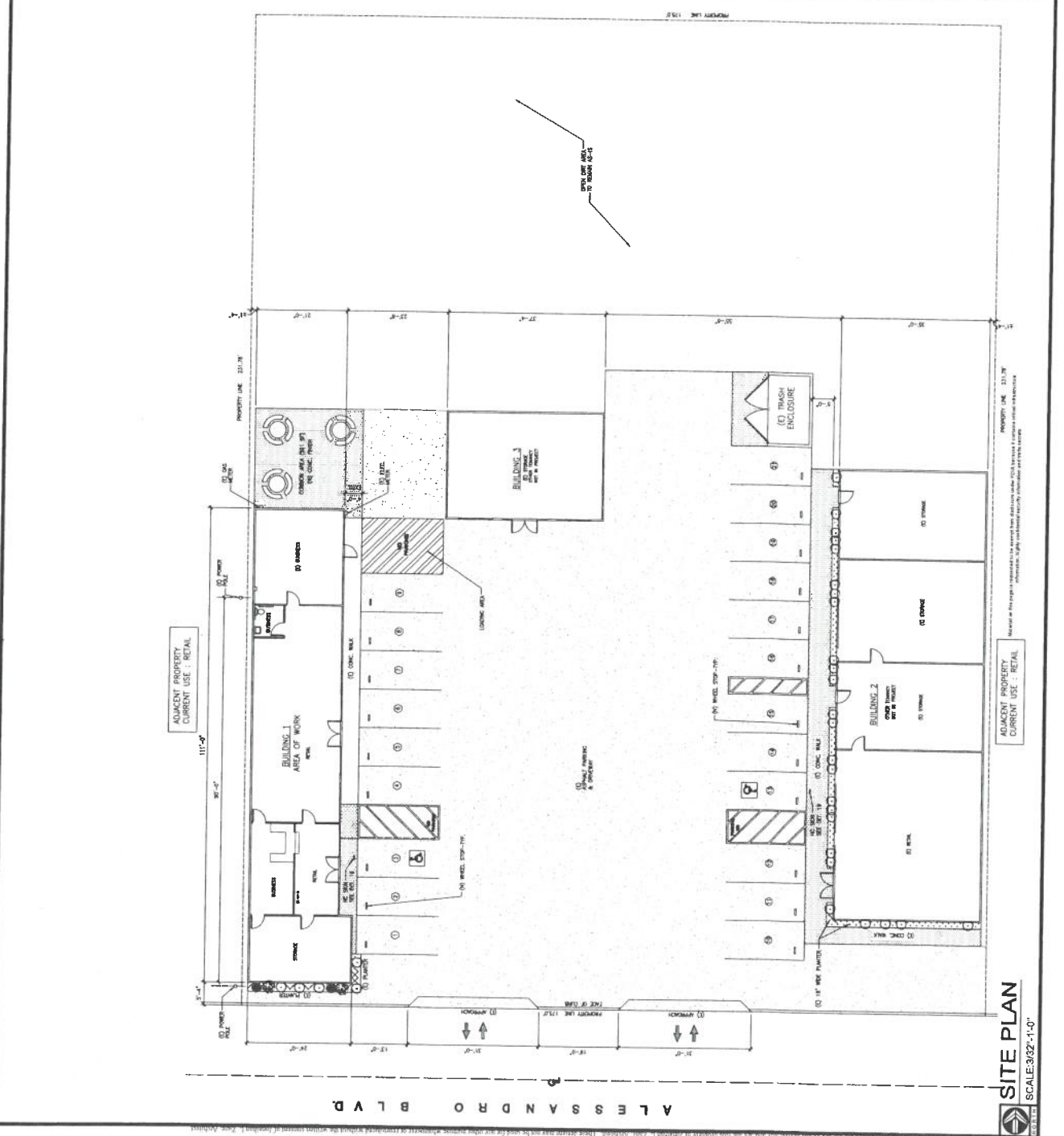
APPLICABLE CODES:
2018 California Building Code
2018 C.C.C.
2016 C.E.C.
2016 C.P.C.
2018 Cal. Green B.C.
2018 California Energy Code

All site work shall comply with local and state amendments.

APPLICABLE CODES

C-1 SITE MAP
A-1 PROPOSED FLOOR PLAN
A-2 SITE MAP
A-3 PHOTOS
SP-1 SITE USING PATHEMATIC PLAN

SHEET INDEX



SITE PLAN
SCALE: 3/32"=1'-0"

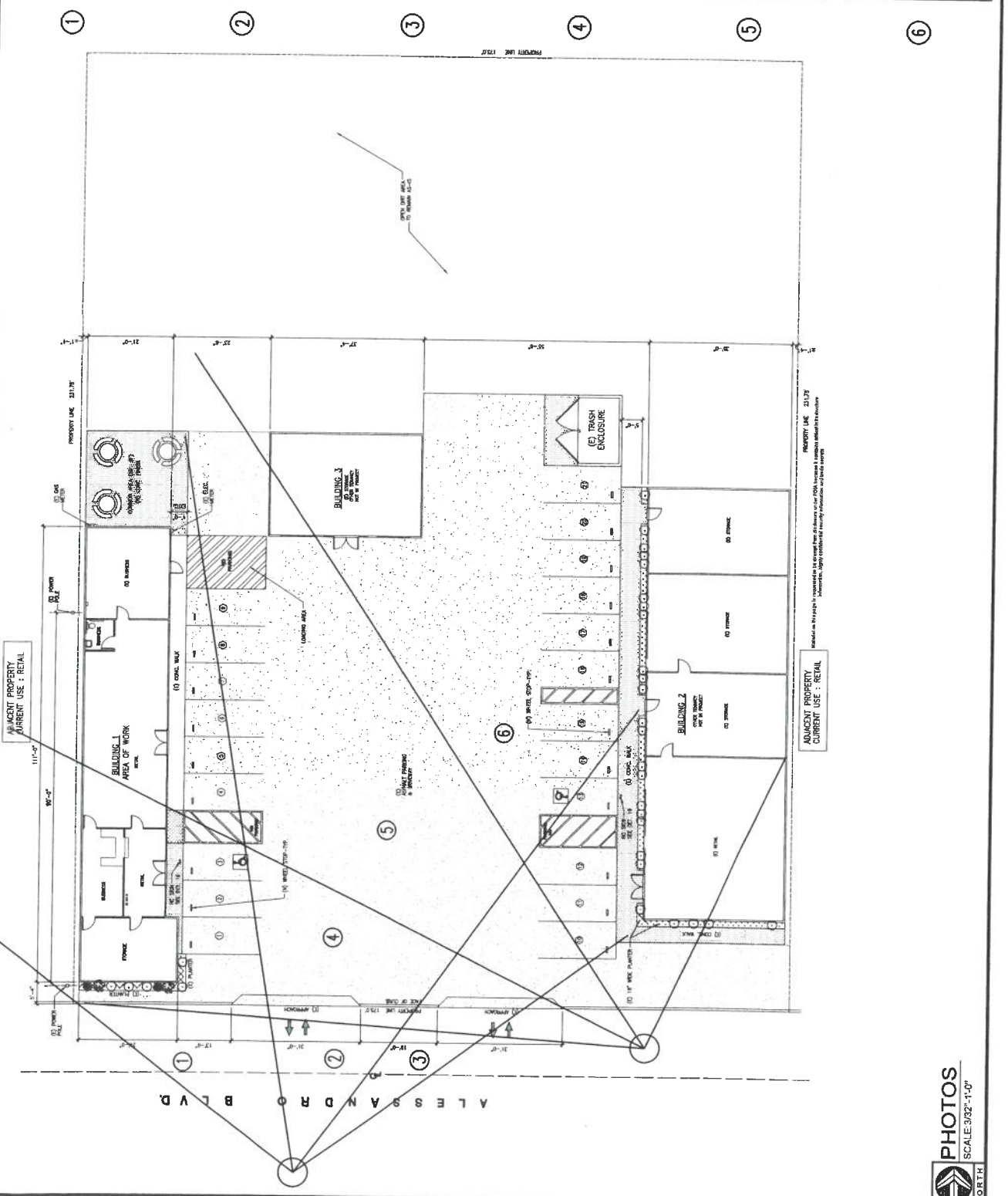
REVISIONS: _____ BY: _____ DATE: _____

JONATHAN L. ZANE ARCHITECTURE
 JONATHAN L. ZANE, ARCHITECT - CA LIC. #C-11,046
 956 NORTH LA CADENA DRIVE
 COLTON, CA 92324 (909) 825-7500

CANNABIS DISPENSARY, T.I.
 A Pinedale
 21920 ALESSANDRO BLVD.
 LOCKEHEART
 MORENO VALLEY, CA 92553

DATE: 07/19/2019
 SCALE: _____
 DRAWN: Y. LEBUS
 JOB: _____
 SHEET: **A-3**

PHOTOS
 SCALE: 3/32" = 1'-0"
 NORTH



Attachment: Exhibit A to Resolution 2020-05 [Revision 2] (3921 : PEN19-0052 - RD MoVal)

| | | |
|-----------|-------|-----|
| REVISIONS | DATE: | BY: |
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| | | |

RIVERSIDE ENGINEERING GROUP
 858 North La Habra Dr., St. A.,
 Anaheim, California 92705
 Phone (909) 254-2700
 Fax (909) 821-0800
 www.riversideengineering.com



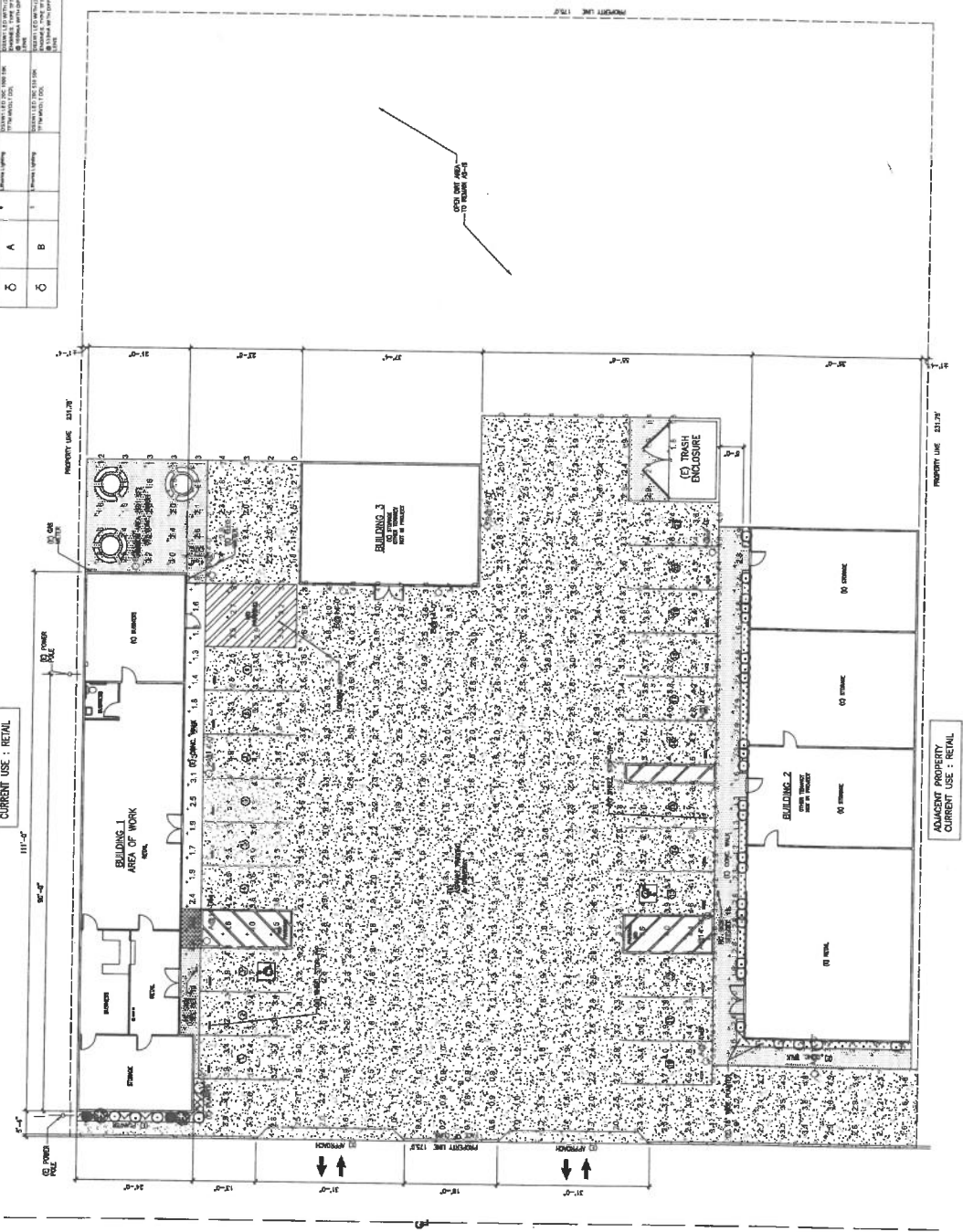
DATE: 02/14/2019
 SUBMITTALS
 DATE: PHASE

A Project For
CANNABIS DISPENSARY, T.I.
 21820 ATASSANDRO BL.
 MORENO VALLEY, CA
 92553

DATE: 02/14/2019
 SCALE:
 DRAWN: Y. LEVINS
 JOB:
 SHEET: **SPE-1**

| Item | Level | Quantity | Manufacturer | Model Number | Description | Notes | Quantity | Unit | Notes |
|------|-------|----------|--------------|--------------|-------------|-------|----------|------|-------|
| 1 | A | 1 | | | | | | | |
| 2 | B | 1 | | | | | | | |

| Item | Quantity | Unit | Notes |
|------|----------|------|-------|
| 1 | 1 | | |
| 2 | 1 | | |
| 3 | 1 | | |



Based on this page the spacing of the lighting fixtures shall be determined by the lighting designer using the following information: Light fixture spacing shall be determined by the lighting designer.

SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 3/32" = 1'-0"



GENERAL CONSTRUCTION NOTES

- THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS & ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE & CONSENT OF JONATHAN L. ZANE, ARCHITECT
- DIMENSIONS ON THE PLANS TAKE PRECEDENCE OVER SCALE.
- VERIFY BUILDING LOCATION AT JOB SITE WITH OWNER BEFORE STARTING CONSTRUCTION. BUILDING TO BE DRAWING ON SITE IN "LINE" SO ADJUSTMENT BY THE OWNER CAN BE MADE IF NECESSARY.
- SITE WORK DESIGN OR INFORMATION, SUCH AS: GRADING, CURB & GUTTER, CURB APPROACHES AND SIMILAR WORK ARE EXISTING.
- ALL CONSTRUCTION IS TO COMPLY WITH APPLICABLE CODES & REGULATIONS & SHALL BE EXECUTED TO THE BEST STANDARDS OF THE INDUSTRY.
- CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS, PRIOR TO STARTING ANY WORK & SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR. OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR COMMISSIONS.
- BUILDER TO VERIFY ALL DIMENSIONS & CONDITIONS BEFORE & DURING CONSTRUCTION. ALL DIMENSIONS ARE TO ROUGH FRAMING U.N.O.
- MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED & INSTALLED PER CODE & MANUFACTURER'S SPECIFICATIONS.
- WHILE THE INFORMATION IS THOUGHT TO BE ACCURATE, THE ARCHITECT DOES NOT WARRANT THAT THE CONDITIONS WILL BE EXACTLY AS SHOWN IN THESE DOCUMENTS.
- GRADE SO WATER WILL DRAIN AWAY FROM BUILDING IN ALL DIRECTIONS.
- ALL APPLICABLE UTILITY SYSTEMS TO BE COMPLETE & OPERABLE -VERIFY STUB LOCATIONS & ALL SIZES AT SITE WITH APPLICABLE AUTHORITY.
- WATER SERVICES: DESIGN BASED ON WATER PRESSURE AT HOUSE INLET OF 45-60 PSI -USE 1" MINIMUM WATER METER AND 1-1/4" MINIMUM COLD WATER LINE TO RESIDENCE LARGER SIZES OR OTHER DESIGN BY OTHERS MAY BE NECESSARY. VERIFY WITH APPROPRIATE AUTHORITIES.
- ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE PARTS COME TOGETHER PROPERLY & FIT IT TO RECEIVE OR BE RECEIVED BY WORK OR OTHER TRADES.
- ALL TRADE SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
- THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINES IN THE PERFORMANCE OF THE CONTRACTOR OR SUB-CONTRACTOR'S WORK.
- THE DESIGN ADEQUACY & SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUB-CONTRACTOR. THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE (PROVIDE NECESSARY BRACING TO PROVIDE STABILITY) PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF & FLOOR DIAPHRAGMS & FINISH MATERIALS.
- OBSERVATION VISITS TO THE JOB SITE BY THE DESIGNER DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS & FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS & DETAILED INSPECTIONS.
- THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT.
- THE PLANS INTEND FOR THE CONTRACTOR TO FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PERMITS, INSURANCE, ETC., TO FULLY COMPLETE ALL WORK AS INDICATED BY THE DRAWINGS, & TO INCLUDE ALL ITEMS WHETHER INDICATED BY THESE DRAWINGS OR NOT, BUT WHICH ARE REASONABLY NECESSARY TO COMPLETELY FINISH THE BUILDING.
- ALL MATERIALS & WORKMANSHIP SHALL BE OF THE FINEST QUALITY & SHALL MEET THE SATISFACTION OF THE OWNER.
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER COMPLETION U.N.O.; SUCH GUARANTEES SHALL BE AGAINST DEFECTIVE MATERIALS & WORKMANSHIP.

NOTES

- SEPARATE APPLICATION(S) AND PERMIT(S) ARE REQUIRED FOR:
 - ELECTRICAL WORK
 - MECHANICAL WORK
 - PLUMBING WORK
- A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO TENANT OCCUPANCY OF THE SPACE. SEE BUILDING DIVISION PERSONNEL FOR APPLICATION.
- CITY BUILDING INSPECTOR TO VERIFY ALL UN-PERMITTED CONSTRUCTION AT THE REQUEST OF THE CITY BUILDING INSPECTOR THE OWNER OR THE ACTING AGENT FOR THE OWNER MUST REMOVE OR EXPOSE ALL UN-PERMITTED CONSTRUCTION AT THE LOCATIONS THE CITY BUILDING INSPECTOR REQUEST TO VERIFY THE CONSTRUCTION MEETS THE CALIFORNIA BUILDING CODE REQUIREMENTS.

UTILITY COMPANIES

ELECTRICITY: SOUTHERN CALIFORNIA EDISON
PO BOX 800
ROSEMead, CA 91770

GAS: SOUTHERN CALIFORNIA GAS COMPANY
PO BOX C
MONTEREY PARK, CA 91756

SEWER: MORENO VALLEY

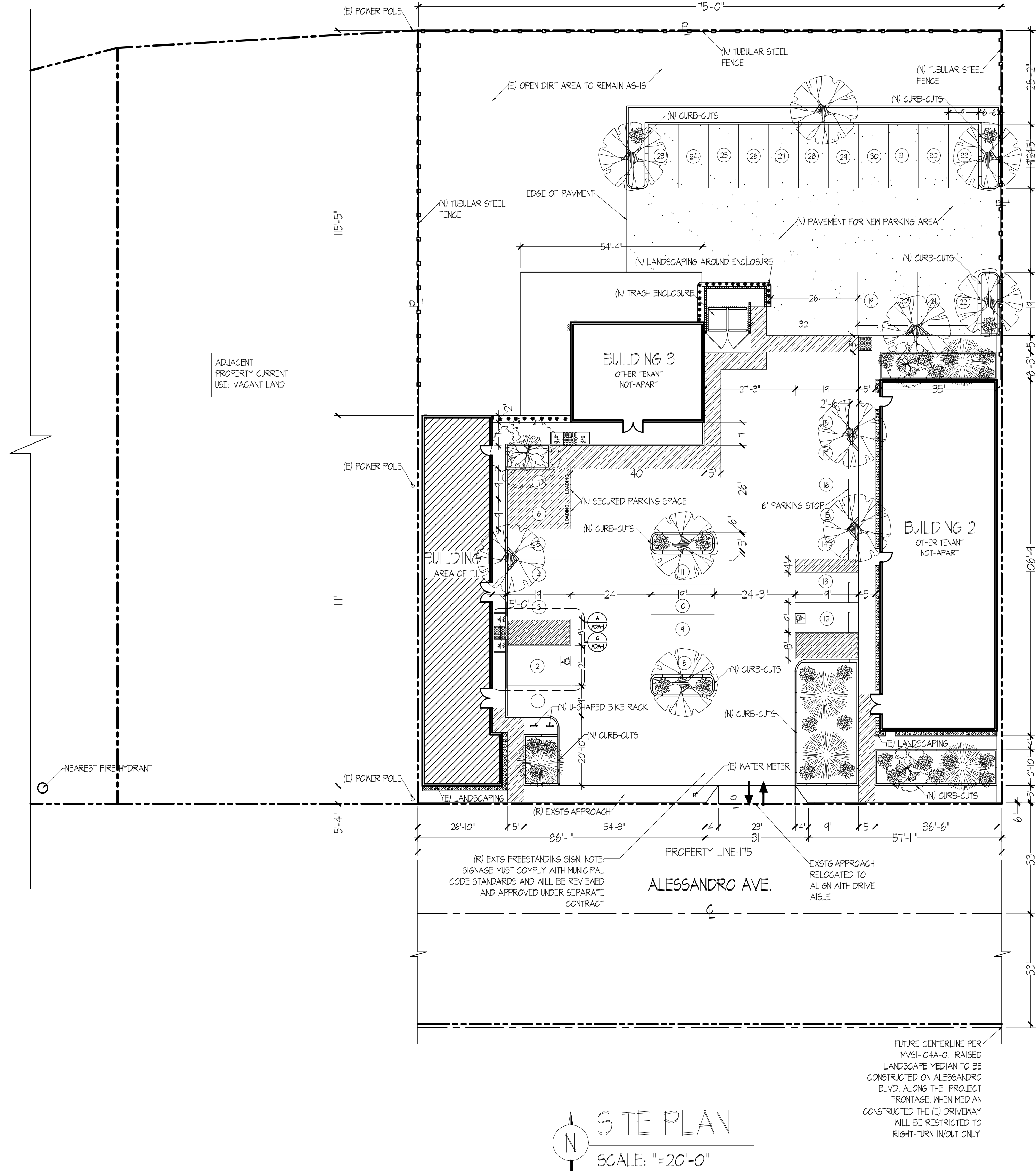
WATER: EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBLE ROAD
PERRIS, CA 92570

TRASH: WASTE MANAGEMENT
17700 INDIAN ST.
MORENO VALLEY, CA 92591

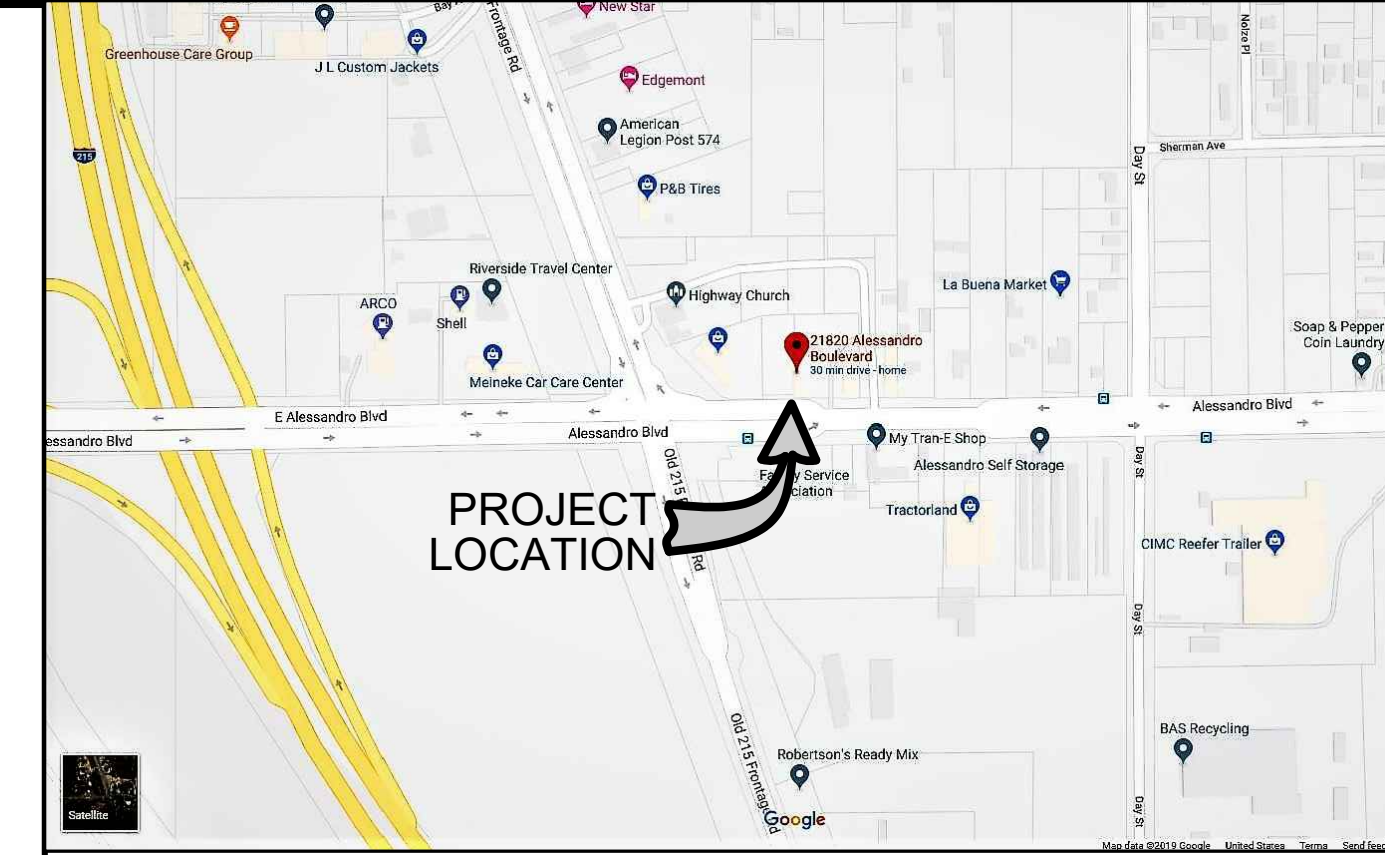
ADJACENT PROPERTIES

(WEST) 21806 ALESSANDRO BLVD, MORENO VALLEY, CA 92553-APN 263-220-026-VACANT LAND

(EAST) 21802 LINDA CT, MORENO VALLEY, CA. 24553-APN 263-230-022-VACANT LAND



SITE PLAN
SCALE: 1"=20'-0"



VICINITY MAP

APN: 263-220-015
APPLICATION PROCESSING NUMBER: PEN19-0052
SITE ADDRESS: 21820 ALESSANDRO BLVD, MORENO VALLEY CALIFORNIA

OWNER: RD MoVal LLC
RYAN ORGANESIAN
(714) 401-3327

LEGAL DESCRIPTION: MORENO VALLEY XEG/TWN/RNG/MER. SEC 10 TWN 03S R16G 04M .93 ACRES M/L IN FOR SEC 10 T3S R4M FOR TOTAL DESCRIPTION SEE ASSESSORS MAPS CITY/MUNI/TWP: MORENO VALLEY

DESCRIPTION OF USE: EXT6. COMMERCIAL, PROPOSED CANNABIS DISPENSARY-RETAIL SALES ONLY.

OCCUPANT TYPE: GROUP M

TYPE OF CONSTRUCTION: VB, NON-SPRINKLERED
OCCUPANT LOAD:

- PER CBC TABLE 1004.1.2
- STORAGE: 184 SF/300=63=1 PERSONS
- SAFE ROOM: 2895 SF/300=96=1 PERSONS
- RETAIL AREA: 476 SF/60=7.93=8 PERSONS
- BREAK ROOM: 252 SF/100=2.52=3 PERSONS
- CHECK-IN/SECURITY: 213 SF/100=2.13=3 PERSONS
- LOBBY: 213 SF/100=2.13=3 PERSONS
- *** TOTAL: 28 PERSONS

SITE OCCUPANT LOAD

- BUILDING 1: 28 PERSONS
- BUILDING 2: 10 PERSONS
- BUILDING 3: 1 PERSONS
- *** TOTAL FOR SITE: 39
- 39 PERSONS/.93 ACRES=41.93 PEOPLE/ACRE

REQUIRED NUMBER OF EXITS

- PER CBC TABLE 1006.3.2(SINGLE EXITS)
- OCCUPANT LOAD AND TRAVEL DISTANCE DO NOT EXCEED THE VALUES IN TABLE 1006.3.2(2), SINGLE EXIT PERMITTED.
- *** 1 EXIT REQUIRED, 2 EXITS PROVIDED

SITE DATA

LOT SIZE: 40,561.5 SF (.93 ACRES)

EXISTING BUILDING AREA: 2,374 SF.

PROPOSED T.I. AREA= 2,374 SF

LOT COVERAGE= 40,561.5 SF / 2,374 SF = 17.24 %

DESIGN CRITERIA

PROPOSED TENANT IMPROVEMENT:
ADDING SAFE ROOM, STORAGE ROOM, CANNABIS RETAIL AREA, AND TWO COMPLYING UNSEX RESTROOMS.
PROPOSED ELECTRICAL, MECHANICAL, AND PLUMBING

SCOPE OF WORK

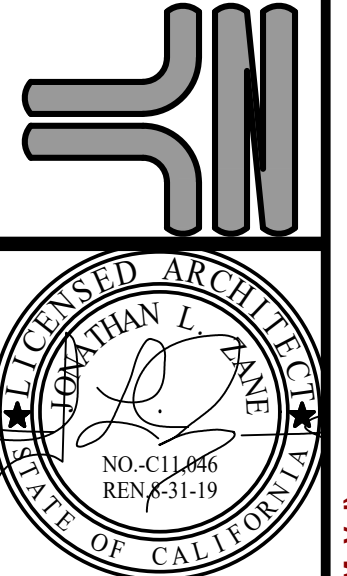
- C-1 SITE PLAN
- A-1 EXT6 SITE/ PROPOSED SITE
- A-2 DEMO PLAN/ PROPOSED FLOOR PLAN
- A-3 ROOF PLAN
- A-4 EXISTING REFLECTED CEILING PLAN
- A-5 CAMERA/SECURITY PLAN
- A-6 ELEVATIONS
- LC LANDSCAPE PLAN
- T-1 TOPOGRAPHIC MAP
- E-3 PHOTOMETRIC PLAN
- ADA-1 DETAIL SHEET
- ADA-2 DETAIL SHEET

SHEET INDEX

| REVISIONS | |
|-----------|-----|
| DATE: | BY: |
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| | |

JONATHAN L. ZANE
ARCHITECTURE

JONATHAN L. ZANE, ARCHITECT - CA. LIC. #C-11,046
958 NORTH LA CADENA DRIVE
COLTON, CA 92324
(909) 825-7500



DATE: 02/07/2019

SUBMITTALS

DATE: PHASE

ROOM BUILDING SAFETY SUBJ

A Project For:
RD MOVAL, LLC, T.I.
21820 ALESSANDRO BLVD.
MORENO VALLEY, CA 92553

DATE: 06/13/19

SCALE:

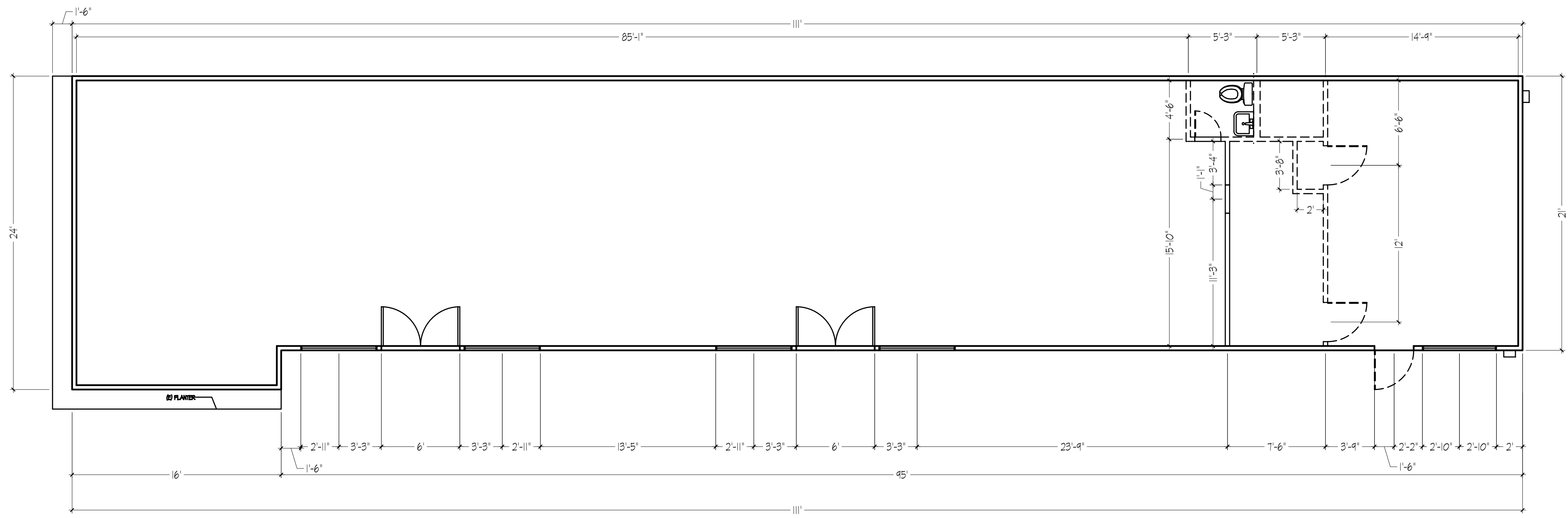
DRAWN: Y.LEMUS

JOB: 0000

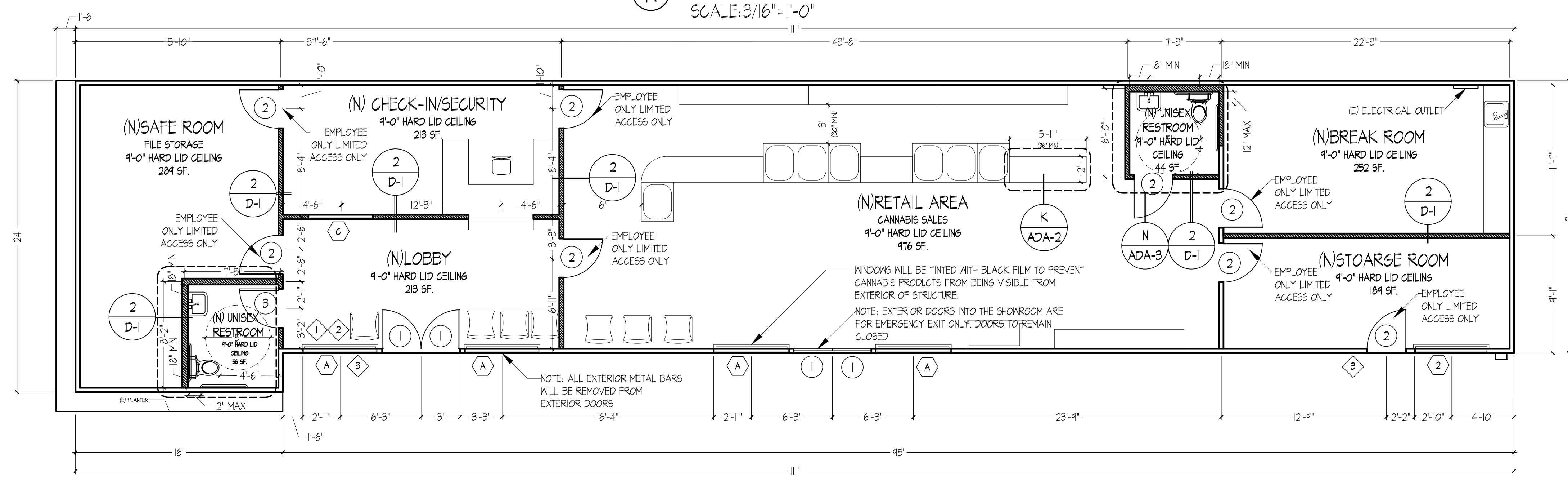
SHEET:

C-1

NOTICE: The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Jonathan L. Zane, Architect. These designs may not be used for any other purpose whatsoever without the written consent of Jonathan L. Zane, Architect.



EXISTING FLOOR PLAN SCALE: 3/16" = 1'-0"



PROPOSED FLOOR PLAN SCALE: 3/16" = 1'-0"

KEY NOTES

Table with 2 columns: ID and NOTE. Contains notes regarding exit signage, sign lettering, and clearances for building entries.

DOOR SCHEDULE

Table with 4 columns: ID, (E)/(N), SIZE, TYPE/HARDWARE. Lists door specifications for storefront, solid metal, and hollow metal doors.

WINDOW SCHEDULE

Table with 4 columns: ID, (E)/(N), SIZE, REMARKS. Lists window specifications for tempered glass storefront, standard windows, and smaller windows.

DOOR ACCESSIBILITY NOTES

- List of accessibility notes (A-Q.B.) detailing requirements for door hardware, exits, thresholds, door swings, and exit ways.

WALL LEGEND

Legend table showing symbols for NEW WALL, EXISTING WALL TO REMAIN, and EXISTING WALL TO BE REMOVED.

GENERAL NOTES

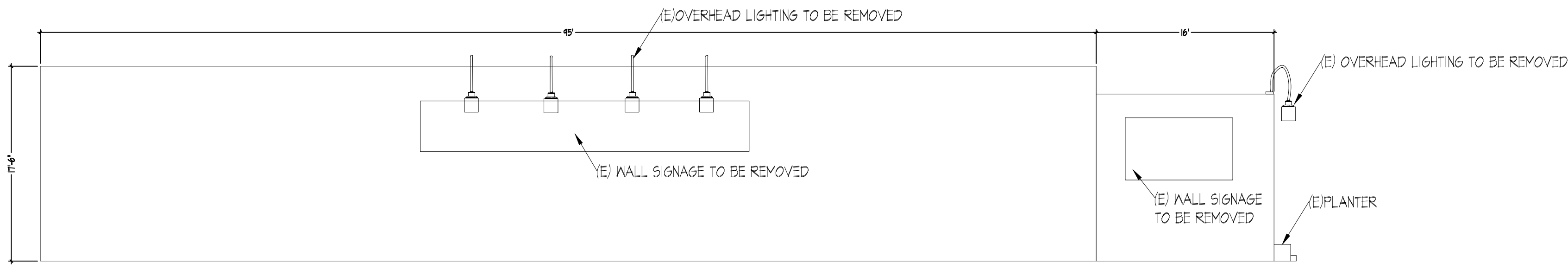
- General notes regarding contractor verification, framing lumber specifications, and stud/rafter/beam details.

ADDITIONAL NOTES

- Additional notes regarding medical marijuana products, hazardous materials, and window security.

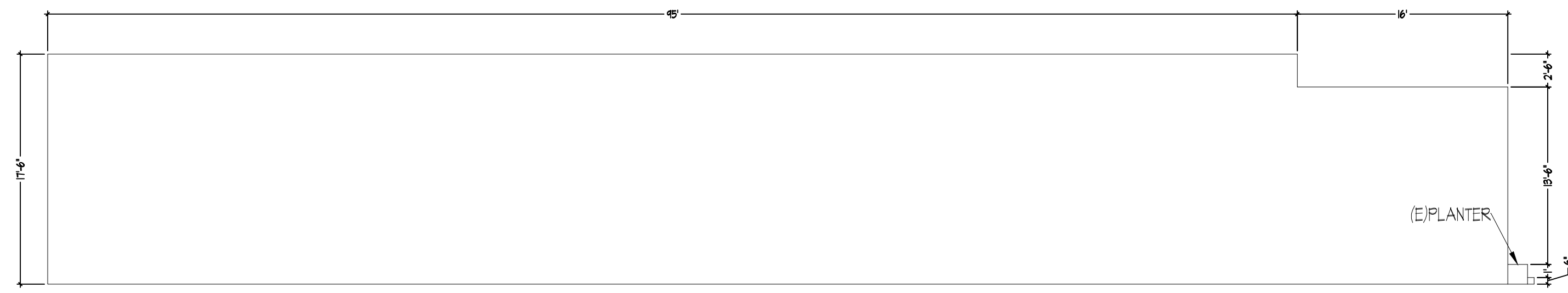
Vertical sidebar containing REVISIONS table, ARCHITECTURE logo, PROJECT INFORMATION (RD MOVAL, LLC, T.I.), and SHEET NUMBER (A-2).

NOTICE: These designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Jonathan L. Zane, Architect. These designs may not be used for any other purpose whatsoever without the written consent of Jonathan L. Zane, Architect.



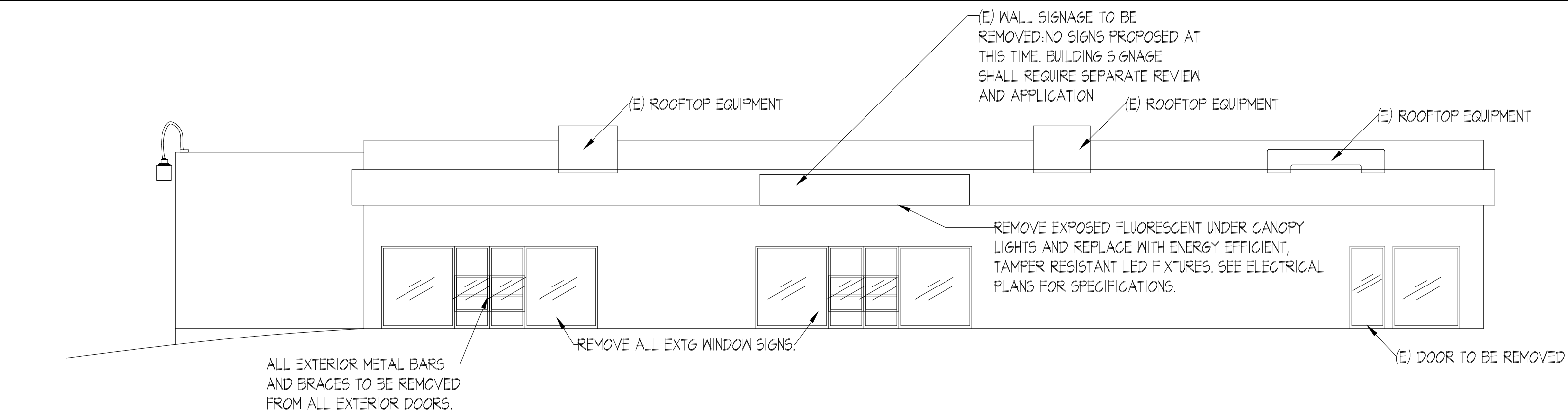
EXISTING WEST (BACK) ELEVATION

SCALE: 1/8" = 1'-0"



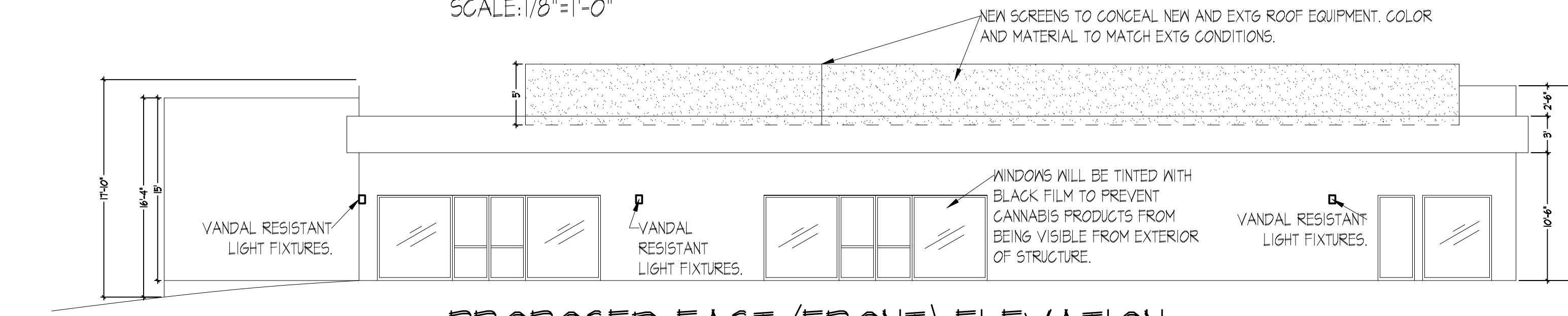
PROPOSED WEST (BACK) ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

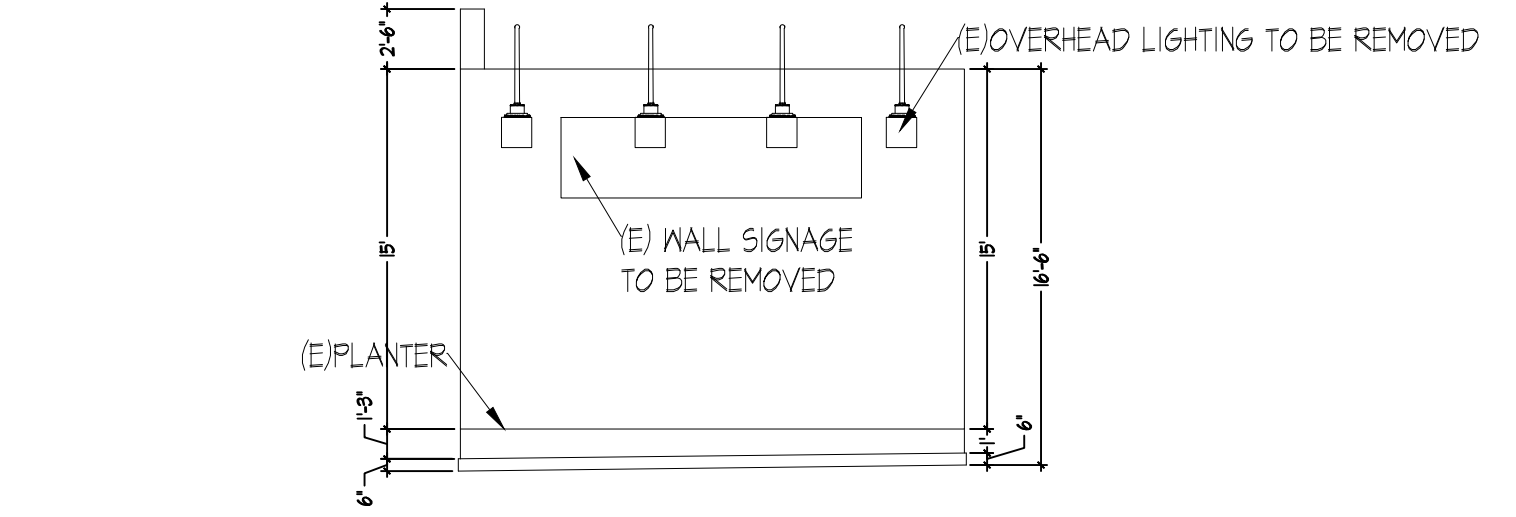


PROPOSED EAST (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

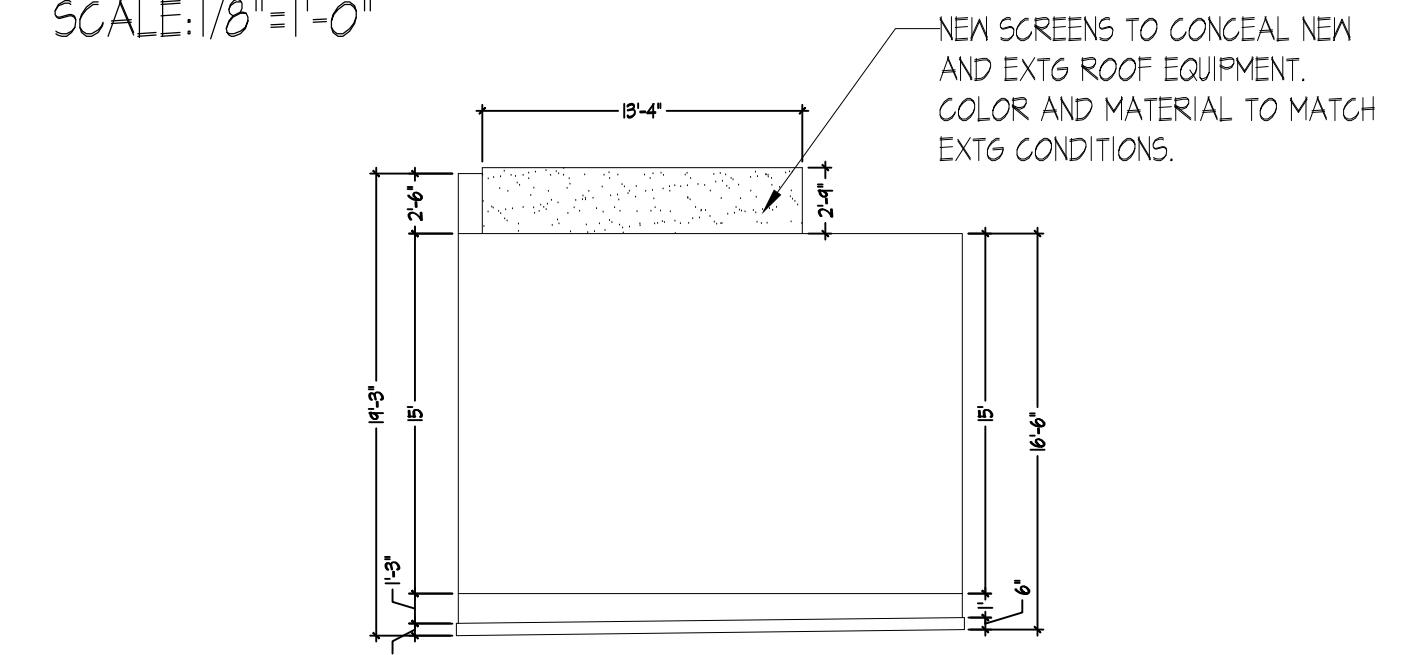
ADDITIONAL NOTES

- NUMBERS OR LETTERS SHOULD BE CLEARLY VISIBLE FROM THE STREET
- ALL EXTERIOR DOORS SHALL HAVE VANDAL RESISTANT LIGHT FIXTURE INSTALLED ABOVE THE DOOR. THE DOOR SHALL BE ILLUMINATED WITH A MINIMUM ONE FOOT CANDLE ILLUMINATION AT GROUND LEVEL, EVENLY DISPERSED.



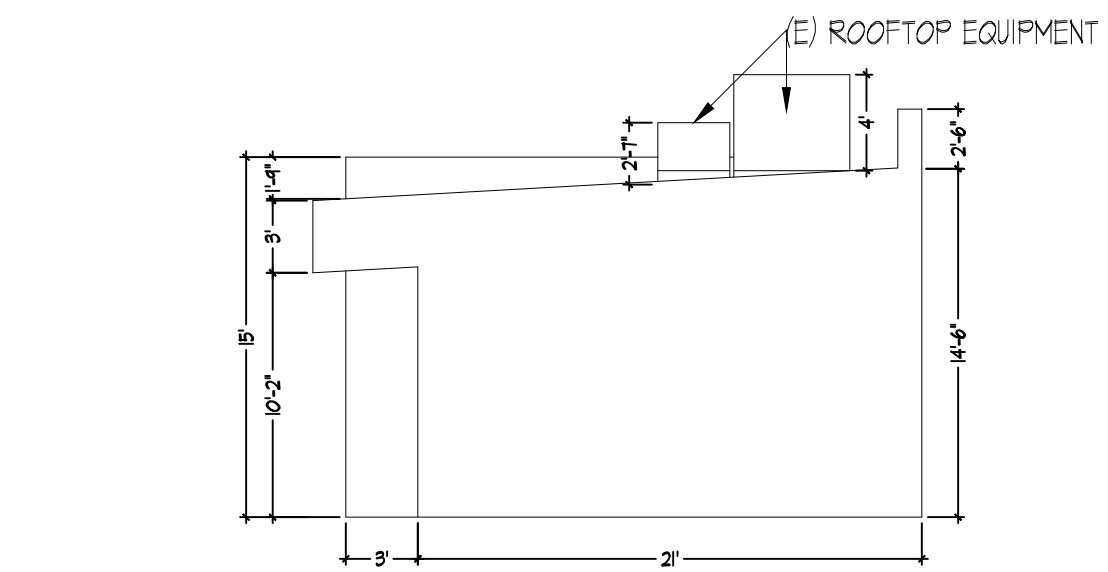
EXTG SOUTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



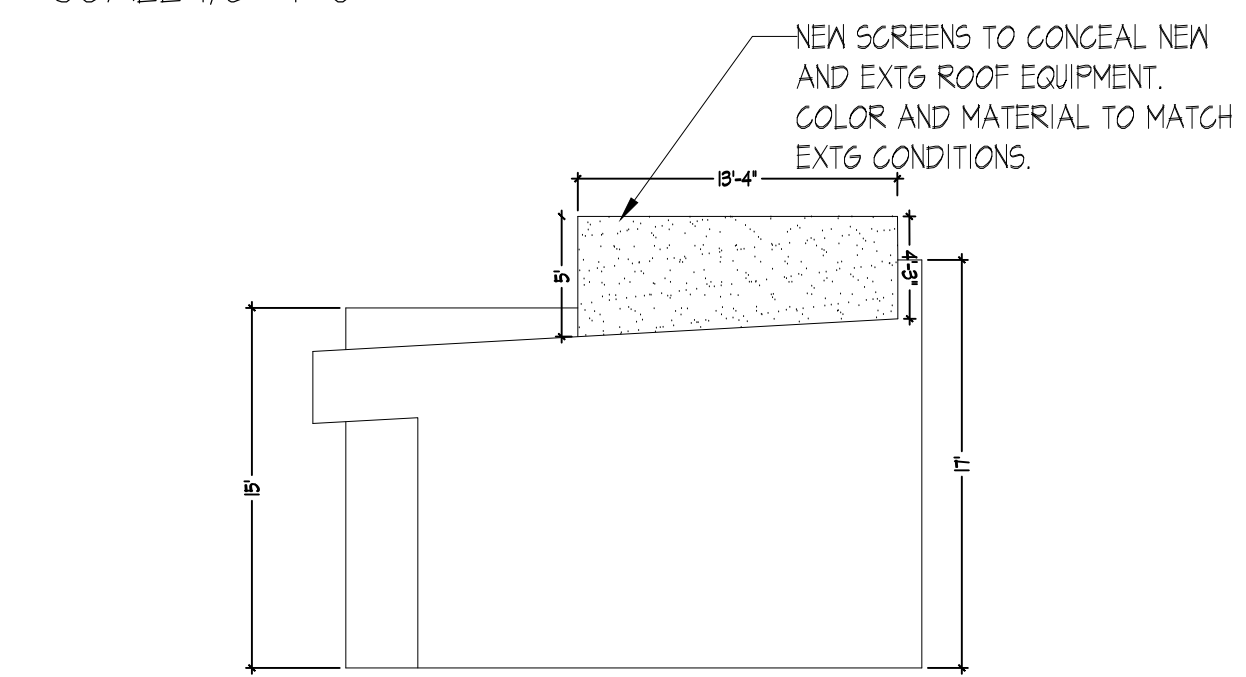
PROPOSED SOUTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



EXTG NORTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"

| REVISIONS | |
|-----------|-----|
| DATE: | BY: |
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| | |

JONATHAN L. ZANE
ARCHITECTURE
JONATHAN L. ZANE, ARCHITECT - CA. LIC. #C-11,046
958 NORTH LA CADENA DRIVE
COLTON, CA 92324 (909) 825-7500



| | |
|------------|-----------------------|
| DATE : | 02 / 07 / 2019 |
| SUBMITTALS | |
| DATE: | PHASE |
| CONCOM | BUILDING SAFETY SUBJ. |

A Project For:
RD MOVAL, LLC, T.I.
7180 ALBERTA BLVD.
MORENO VALLEY, CA 92553

RD MOVAL, LLC
California Building Code
2016 C.B.C.
2016 C.C.L.
2016 C.E.C.
2016 C.G.
2016 C.I.
2016 C.M.
2016 C.P.
2016 C.R.
2016 C.S.
2016 C.T.
2016 C.U.
2016 C.V.
2016 C.W.
2016 C.X.
2016 C.Y.
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2016 C.I.
2016 C.J.
2016 C.K.
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2016 C.Q.
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2016 C.T.
2016 C.U.
2016 C.V.
2016 C.W.
2016 C.X.
2016 C.Y.
2016 C.Z.

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|---------|--------------|
| DATE : | 06 / 13 / 19 |
| SCALE : | |
| DRAWN : | Y.LEMUS |
| JOB : | 0000 |
| SHEET : | A=6 |

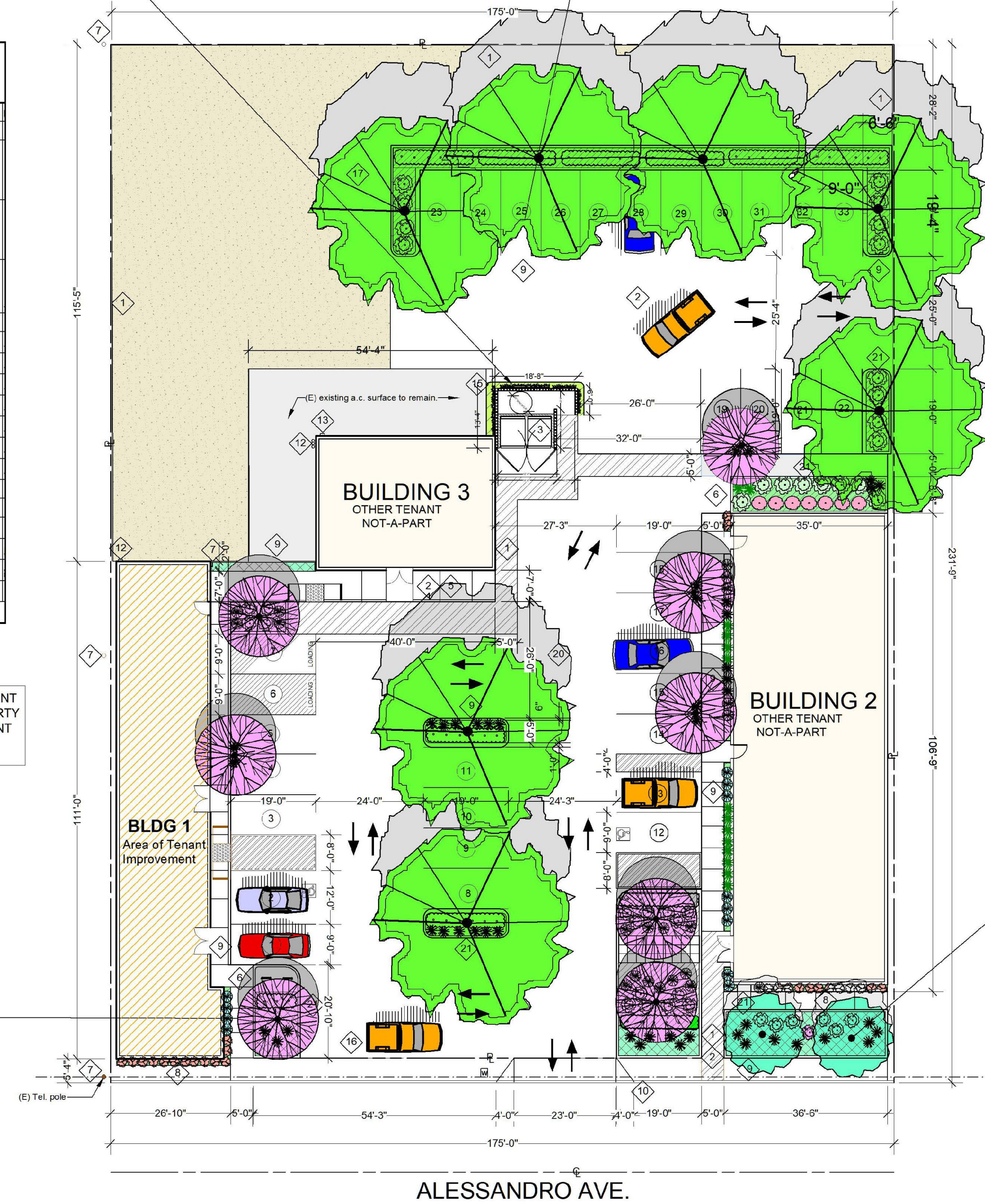
Plant Legend

| Symbol | Botanical Name | Common Name | Size | WUCOLS |
|--------|---|---------------------------------|---------|--------|
| (T-LA) | Trees | | | |
| T-L | Lagerstroemia hybrid 'Natchez' | Crape Myrtle (White) | 24" box | M |
| T-Q | Quercus ilex | Holly Oak | 24" Box | L |
| T-R | Rhaphiolepis 'Majestic Beauty' | Majestic Beauty Indian Hawthorn | 24" Box | M |
| (A) | Shrubs | | | |
| A | Agapanthus 'Storm Cloud' (dark blue flower) | Storm Cloud Agapanthus | 5 gal. | M |
| C | Cistus hybridus (white flower) | White Rockrose | 5 gal. | L |
| D | Dietses indioides 'John's Runner' | African Lily | 5 gal. | L-M |
| M | Myrtus communis 'Compacta' | Dwarf Myrtle | 5 gal. | M |
| N | Nandina domestica 'Compacta' | Heavenly Bamboo | 5 gal. | M |
| N | Nandina domestica 'Gulf Stream' | Gulf Stream Heavenly Bamboo | 5 gal. | M |
| R | Rhaphiolepis indica 'Ballerina' | Indian Hawthorn | 5 gal. | M |
| (V-M) | Vines | | | |
| V-M | Macfadyena unguis-cati | Cat's Claw Vine | 1 gal. | L |
| (G-B) | Groundcovers | | | |
| G-L | Lantana Montevidensis | Lavender Lantana | flats | L |
| G-M | Myoporum parvifolium 'Pink' (prostratum) | Pink Australian Racer | flats | L |
| G-DG | Decomposed Granite 'Brimstone' | | cy | |

Cat's Claw Vine along perimeter of trash enclosure to soften the vertical enclosure walls.

Evergreen Broad Dome Shade Trees

Botanical name: Quercus ilex
Common Name: Holly Oak
 Dense rounded head with smooth medium gray bark. Rich dark green lanceolate leaves. Medium to low water requirements, drought tolerant, long lived tree and ease of maintenance. Deep rooted curb and pavement-safe trees. Shrub understory includes White Rockrose and/or dwarf Myrtle with pink Australian racer groundcover.



ADJACENT PROPERTY CURRENT USE: RETAIL

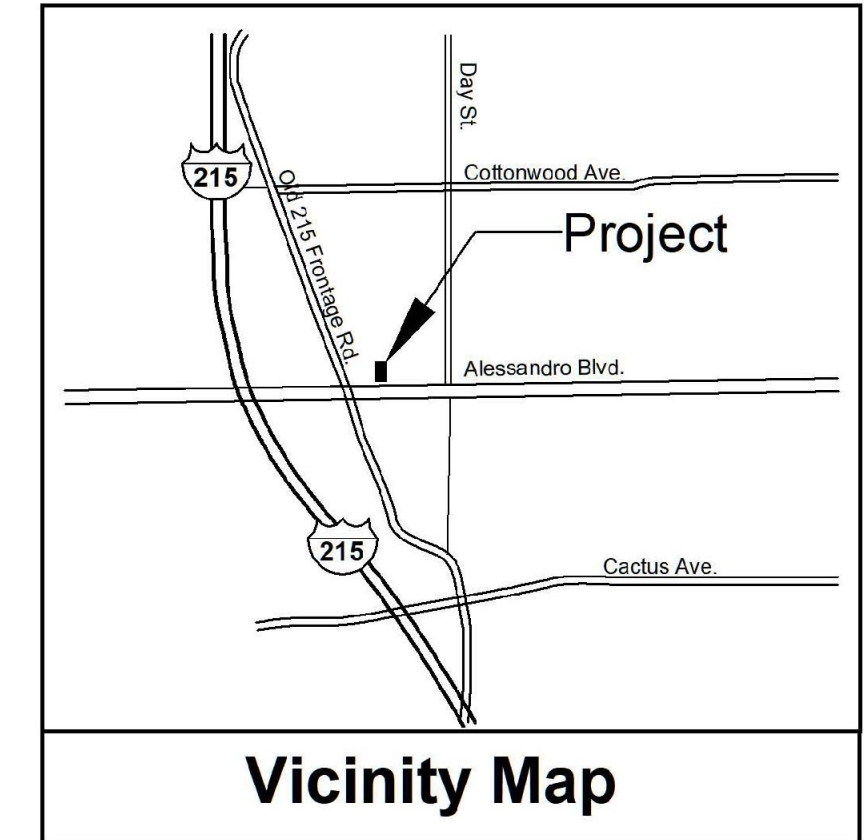
ADJACENT PROPERTY CURRENT USE: RETAIL

Flowering Deciduous Shade Canopy

Botanical name: Lagerstroemia hybrid 'Natchez'
Common Name: Natchez Crape Myrtle
 Broad Dome summer flowering deciduous trees to provide shade, white flowers, orange red autumn foliage color. Non-invasive root system to protect adjacent curbs and paving. Medium to low water requirements, long lived tree and ease of maintenance African Iris (white, violet, and yellow flowers), Myrtle shrub screen (white small flowers), and Lily of the Nile (dark blue flower clusters) shrub understory with lavender Lantana.

Evergreen Flowering Shade Canopy

Botanical name: Rhaphiolepis 'Majestic Beauty'
Common Name: Majestic Beauty Indian Hawthorn
 Broad Dome spring flowering evergreen trees to provide shade, pink lightly scented flowers in clusters. Dark green 4" to 6" shiny dark olive-green leaves. Medium to low water requirements, long lived tree and ease of maintenance. Shrub understory includes African Iris (white, violet, and yellow flowers), White Rock Rose and Lavender Lantana groundcover.

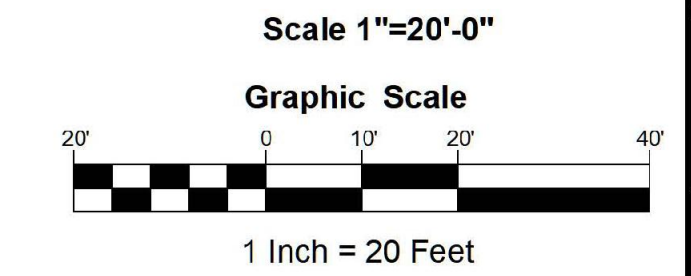
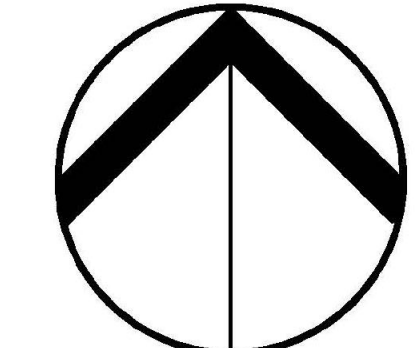


Key Notes

| ID | Note |
|----|---|
| 1 | Fence |
| 2 | (N) Pavement for new parking area |
| 3 | (N) Trash Enclosure |
| 4 | (N) Two Secured Parking Spaces |
| 5 | (N) Pathway |
| 6 | (N) Sidewalk |
| 7 | (E) Power Pole |
| 8 | (E) Planter |
| 9 | (E) Sidewalk |
| 10 | (E) Curb |
| 11 | (E) Freestanding Sign |
| 12 | (E) Gas Meter |
| 13 | (E) Electric Meter |
| 14 | (E) Water Meter |
| 15 | (E) 5' CMU Wall |
| 16 | (E) Approach |
| 17 | (E) Open dirt area to remain as-is |
| 18 | (R) Existing Driveway Approach |
| 19 | (R) Extg freestanding sign. Note: Signage must comply with municipal code standards and will be reviewed and approved under separate contract |
| 20 | (R) Repave and restripe entire lot to prevent collection of water, avoiding drainage to neighboring properties per City standards |
| 21 | Proposed Landscaping |

Additional Notes

- Property is not in a flood plain



Landscape Concept Plan

| REVISIONS | |
|-----------|-----|
| DATE: | BY: |
| | |
| | |
| | |



RD Moval, LLC
 Contact: Nick Canillas
 (951) 310-0063

Cannabis Dispensary Retail
RD Moval, LLC
 21820 Alessandro Blvd.
 Moreno Valley, CA 92553
 APN: 263-220-015

| | |
|--------------|------------------------|
| Project: | LANDSCAPE CONCEPT PLAN |
| Job: | #1641908 |
| Date: | 8-22-2019 |
| Scale: | As Noted |
| Drawn: | LS/KS |
| Reviewed by: | |
| Sheet: | LC |
| of: | 1 |

Pacific Landscape Design
 Landscape Architects Lic #1831
 27031 Hoffman Ln Menifee, CA 92584
 T. (951) 821-8121 C. (951) 331-3339

Aerial Map



Legend

- Master Plan of Trails**
- Bridge
 - Improved
 - Multiuse
 - Proposed
 - Regional
 - State
- Road Labels**
- Parcels
 - City Boundary
 - Sphere of Influence

Attachment: Aerial Map (3921 : PEN19-0052 - RD MoVal)

Image Source: Nearmap

Notes:

PEN19-0052 - Conditional Use Permit

315.5 0 157.74 315.5 Feet

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Zoning Map



Legend

- Zoning**
- Commercial
 - Industrial/Business Park
 - Public Facilities
 - Office
 - Planned Development
 - Large Lot Residential
 - Residential Agriculture 2 DU/AC
 - Residential 2 DU/AC
 - Suburban Residential
 - Multi-family
 - Open Space/Park

Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

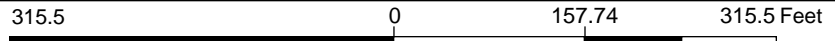
Road Labels

- Parcels
- City Boundary
- Sphere of Influence

Image Source: Nearmap

Notes:

PEN19-0052 - Conditional Use Permit



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Attachment: Zoning Map (3921 : PEN19-0052 - RD MoVal)