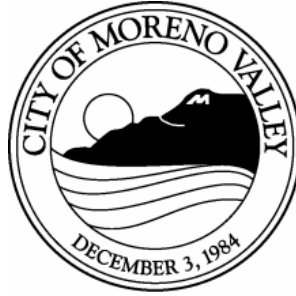

PLANNING COMMISSIONERS

PATRICIA KORZEC
Chairperson

RAY L. BAKER
Vice Chairperson

JEFFREY SIMS
Commissioner



ALVIN DEJOHNETTE
Commissioner

JOANN STEPHAN
Commissioner

ROBERT HARRIS
Commissioner

RAFAEL BRUGUERAS
Commissioner

PLANNING COMMISSION Regular Meeting

Agenda

Thursday, October 22, 2020 at 7:00 PM

TELECONFERENCED MEETING

[Pursuant to Governor Executive Order N-29-20]

There Will Not Be a Physical Location for Attending the Meeting

The Public May Observe the Meeting and Offer Public Comment As Follows:

STEP 1

Install the Free Zoom App or Visit the Free Zoom Website at [<https://zoom.us/>](https://zoom.us/)

STEP 2

Get Meeting ID Number and Password by emailing zoom@moval.org or calling (951) 413-3206, no later than 6:00 p.m. on Thursday, September 10, 2020

STEP 3

Select Audio Source

Computer Speakers/Microphone or Telephone

STEP 4

Public Comments May be Made Via Zoom

During the Meeting, the Planning Commission Chair Will Explain the Process for Submitting Public Comments

ALTERNATIVE

If you do not wish to make public comments, you can view the meeting on Channel MVTV-3, the City's website at www.moval.org or YouTube

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PUBLIC COMMENTS PROCEDURE

During the public comment period for each item, as well as during the public comment period for items not on the agenda, the clerk will call upon each person who is on the Zoom application that has requested to speak. Each member of the public wishing to speak will have a maximum of 3 minutes to speak on any agenda item, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the staff, or the audience. Those wishing to speak should follow the teleconference procedures. If you are absent at the time your name is called, you will forfeit the opportunity to speak on the items.

PUBLIC COMMENTS ON ANY ITEM NOT ON THE AGENDA

CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine and non-controversial, and may be enacted by one roll call vote. There will be no discussion of these items unless a member of the Planning Commission requests that an item be removed for separate action.

- 1. Planning Commission Minutes – Regular Meeting – September 10, 2020 7:00 PM

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

- 1. Case: PEN16-0034 Amended Conditional Use Permit
- Applicant: New Life Christian Fellowship
- Property Owner: New Life Christian Fellowship
- Representative: Jim Samples
- Location: 24551 Ironwood Avenue, located at the southeast corner of Ironwood Avenue and Indian Street
Assessor’s Parcel Number 481-341-020
- Case Planner: Gabriel Diaz
- Council District: 1

- | | |
|-------------------|--|
| Proposal | Amended Conditional Use Permit to construct a new 5,776 square foot Sanctuary building and to reuse the existing 2,400 square foot Sanctuary building as a Children’s Sunday School. |
| 2. | |
| Case: | PEN20-0091 Conditional Use Permit |
| Applicant: | Gazi Amir |
| Property Owner | Moreno Valley Plaza Ltd. |
| Representative | Gazi Amir |
| Location: | 23819 Sunnymead Boulevard, Suite B, on the south side of Sunnymead Boulevard approximately 1,000 feet west of Heacock Street
Assessor’s Parcel Number 292-100-016 |
| Case Planner: | Julia Descoteaux |
| Council District: | 1 |
| Proposal | Conditional Use Permit for a 900 square foot smoke shop named “Smoke N Cell” |

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

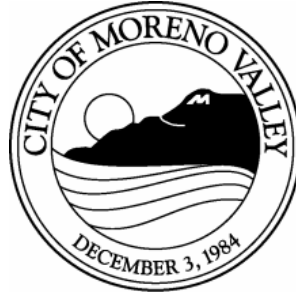
PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

Planning Commission Regular Meeting, November 12, 2020 at 7:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY

REGULAR MEETING – 7:00 PM
September 10, 2020



TELECONFERENCED MEETING
[Pursuant to Governor Executive Order N-29-20]

There Will Not Be a Physical Location for Attending the Meeting

The Public May Observe the Meeting and Offer Public Comment As Follows:

STEP 1

Install the Free Zoom App or Visit the Free Zoom Website at [<https://zoom.us/>](https://zoom.us/)

STEP 2

Get Meeting ID Number, Password and On the List to Speak by emailing zoom@moval.org or calling (951) 413-3206, no later than 6:00 p.m. on Thursday, August 13, 2020

STEP 3

Select Audio Source

Computer Speakers/Microphone or Telephone

STEP 4

Public Comments May Be Made Via Zoom

During the Meeting, the Mayor Will Explain the Process for Submitting Public Comments

ALTERNATIVE

If you do not wish to make public comments, you can view the meeting on Channel MVTV-3, the City's website at www.moval.org or YouTube

Minutes Acceptance: Minutes of Sep 10, 2020 7:00 PM (CONSENT CALENDAR)

CALL TO ORDER

This Regular meeting of the Planning Commission of the City of Moreno Valley was called to order in honor of Jeff Barnes at 7:00 p.m., by Vice Chairperson Baker in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Patricia Korzec	Chairperson	Absent (Excused)
	Ray L. Baker	Vice Chairperson	Present
	Robert Harris	Commissioner	Present
	JoAnn Stephan	Commissioner	Present
	Rafael Brugueras	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Alvin DeJohnette	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Brugueras in honor of Jeff Barnes and his family.

APPROVAL OF AGENDA

Motion to approve the agenda was made by Commissioner Brugueras and seconded by Commissioner Harris.

Vote: 6-0
Ayes: Commissioner Brugueras, Harris, Stephan, DeJohnette, Sims and Vice Chairperson Baker
Absent: Chairperson Korzec
Action: Approved

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public comments.

CONSENT CALENDAR

1. Planning Commission - Regular Meeting - August 13, 2020 7:00 PM

Motion to approve the Minutes of August 13, 2020 was made by Commissioner DeJohnette and seconded by Commissioner Brugueras.

Vote: 6-0

Ayes: Commissioner DeJohnette, Brugueras, Stephan, Harris, Sims and Vice Chairperson Baker
Absent: Chairperson Korzec
Action: **Approved**

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

1. Conditional Use Permit for a 2,650 Square Foot Retail Cannabis Dispensary, "Moval Nourish" Located at 24760 Sunnymead Boulevard, Suites 100 and 101 (Report of: Planning Commission)

A. Approve Resolution No. 2020-39, and thereby:

1. CERTIFY that Conditional Use Permit PEN20-0056 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development Projects); and
2. APPROVE Conditional Use Permit PEN20-0056 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Public Hearing Opened: 7:16 pm

No Public Speakers

Public Hearing Closed: 7:21 pm

Motion to approve Resolution Number 2020-39 was made by Commissioner Brugueras and seconded by Vice Chairperson Baker.

Vote: 5-1-0
Ayes: Commissioner Brugueras, Vice Chairperson Baker, Commissioner Stephan, Harris and DeJohnette
Noes: Commissioner Sims
Absent: Chairperson Korzec
Action: **Approved**

2. Tentative Tract Map TTM 37725 to subdivide 20.18 acres of vacant land into sixty-six (66) residential lots and 2 lettered lots for water quality treatment facilities. (Report of: Planning Commission)

A. APPROVE Resolution No. 2020-38, and thereby:

1. ADOPT the Initial Study/Mitigated Negative Declaration prepared for Tentative Parcel Map 37725 PEN19-0188, on file with the Community Development Department, which is incorporated herein by this reference, and completed in compliance with the California Environmental Quality Act and the CEQA Guidelines, and that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, which reflects the City's independent judgment and analysis; attached hereto as Exhibit A; and
2. ADOPT the Mitigation Monitoring and Reporting Program prepared for Tentative Parcel Map 37725 PEN19-0188 pursuant to the California Environmental Quality Act (CEQA) Guidelines, and included as Exhibit B;
3. ADOPT Resolution No. 2020-32 approving Tentative Tract Map 37725 (application PEN19-0188) based on the findings contained in this Resolution and the administrative record of the proceeding

Public Hearing Opened: 7:50 PM

John Lee

Public Hearing Closed: 7:55 PM

Motion to approve Resolutions 2020-38 and 2020-32 was made by Commissioner Sims and seconded by Commissioner DeJohnette.

Vote: 6-0
Ayes: Commissioner Sims, DeJohnette, Brugueras, Stephan, Harris and Vice Chairperson Baker
Absent: Chairperson Korzec
Action: **Approved**

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

No comments for discussion.

PLANNING COMMISSIONER COMMENTS

Commissioner Brugueras spoke regarding Jeff Barnes, noting that he had been a mentor who had taught him a lot.

Vice Chairperson Baker stated the date of the service for Mr. Barnes will be September 26th and not the 30th.

Commissioner Sims stated that he had worked with Mr. Barnes and that they also played basketball together. Commissioner Sims noted that he was a great man, good for the City and will be missed dearly.

Commissioner Sims also asked staff about k-rails going in near Redlands Boulevard. Michael Lloyd confirmed they will be working on the roundabout at the Redlands Boulevard and Eucalyptus Avenue intersection for the Sketchers II Development.

Commissioner Sims also stated the homeless are setting up another campground with a couch off the Heacock freeway exit. He wants to know why the City can't do any abatement and why they are allowed to setup a camp, noting that it is not a good look for Moreno Valley.

Commissioner Brugueras asked Vice Chairperson Baker to close the meeting in honor of Jeff Barnes.

ADJOURNMENT

There being no further business, Vice Chairperson Baker adjourned the meeting in honor of Jeff Barnes at 8:11 p.m.

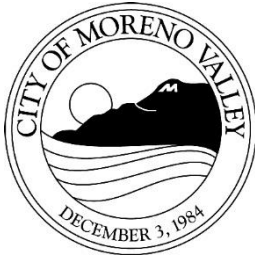
Submitted by:

Approved by:

Ashley Aparicio
Planning Commission Secretary

Ray Baker
Vice Chairperson

Minutes Acceptance: Minutes of Sep 10, 2020 7:00 PM (CONSENT CALENDAR)



PLANNING COMMISSION

STAFF REPORT

Meeting Date: October 22, 2020

AMENDED CONDITIONAL USE PERMIT TO CONSTRUCT A NEW 5,776 SQUARE FOOT SANCTUARY BUILDING AND TO REUSE THE EXISTING 2,400 SQUARE FOOT SANCTUARY BUILDING AS A CHILDREN'S SUNDAY SCHOOL

Case: PEN16-0034 Amended Conditional Use Permit

Applicant: New Life Christian Fellowship

Property Owner: New Life Christian Fellowship

Representative: Jim Samples

Location: 24551 Ironwood Avenue, located at the southeast corner of Ironwood Avenue and Indian Street
Assessor's Parcel Number 481-341-020

Case Planner: Gabriel Diaz

Council District: 1

Proposal: Amended Conditional Use Permit to construct a new 5,776 square foot Sanctuary building and to reuse the existing 2,400 square foot Sanctuary building as a Children's Sunday School.

SUMMARY

The applicant, New Life Christian Fellowship, is requesting approval of an Amended Conditional Use Permit to construct a new 5,776 square foot Sanctuary building and to reuse the existing 2,400 square foot Sanctuary building as a Children's Sunday School. The project is situated on property located at 24551 Ironwood Avenue, within the Single Family Residential 5 (R5) District.

PROJECT DESCRIPTION

Project

The applicant is proposing to construct a new 5,776 square foot Sanctuary building and to reuse the existing 2,400 square foot Sanctuary building as a Children's Sunday School. The new 5,776 square foot sanctuary building will be a single story building and will include seating for approximately 300 people, a lobby, offices, restrooms, and ancillary storage and electrical rooms. There are changes proposed regarding the existing Sunday School trailer at this time. The future gymnasium, future school building and future play ground on the site plan will be reviewed as a separate Conditional Use Permit application when the applicant is ready to move forward with project plans.

Church services are proposed on Sundays at 8:00 a.m., 2:00 p.m., 6:00 p.m., and 8:30 p.m. Weeknight studies will be held on Wednesdays at 6:00 p.m. and 8:30 p.m. Church office hours will be Monday through Friday from 9:00 a.m. to 5:00 p.m. Additional church meetings and gatherings will occur at various times.

Site/Surrounding Area

The project site is located at 24551 Ironwood Avenue at the southeast corner of Ironwood Avenue and Indian Street. The site is zoned Residential 5 (R5) District. The adjacent land uses and current zoning consists of existing single family residences located to the north, east, and west of the project site on property zoned Residential 5 (R5) District and the Lighthouse Baptist Church located to the south of the project site on property also zoned Residential 5 (R5) District.

Access/Parking

The project site is accessible from existing driveways on Ironwood Avenue and Indian Street. The proposed church facility is required to be parked at a ratio of 1 space for every 35 square feet of gross assembly area consistent with the parking requirements for auditoriums, places of public assembly and places of worship. The proposed sanctuary (assembly area) is 3,127 square feet in size and therefore requires 90 parking spaces. The proposed on-site parking area will provide for a total of 94 parking spaces, exceeding the minimum requirement by 4 parking spaces.

Design/Landscaping

The project, as designed and conditioned, conforms to all development standards, and design guidelines for commercial uses required by the City's Municipal Code. The project has also been designed to meet the required landscape standards and objectives of the City's Municipal Code. The landscape elements of the project include landscape setback areas along Ironwood Avenue and Indian Street, parking lot landscaping, street trees, and landscape treatments around the perimeter of the site.

The design of the Sanctuary building includes a variety of colors, architectural features, and rooflines that avoids the appearance of “massing” and provides visual interest. Massing is also avoided due to the architectural design of the Sanctuary building which includes stucco exterior walls with horizontal and vertical features. Detailed features include a metal ribbed roof, stucco trim around windows, and a covered patio at the entrance to the new Sanctuary building.

REVIEW PROCESS

As required by the Municipal Code, the Project Review Staff Committee (PRSC) reviewed the proposed project. The applicant has worked with staff and modified the proposed plans to the satisfaction of all City Departments. Based on staff’s review, and the recommended conditions of approval, staff believes that the project will be consistent with all applicable City development and design standards and specifications.

ENVIRONMENTAL

Staff recommends that the Planning Commission find that the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 1 Exemption (Section 15301, Existing Facilities). The California Code of Regulations describes Class 1 exemptions as “consist[ing] of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.” Furthermore, Section 15301 identifies that a Class 1 Exemption is applicable to a building that is 10,000 square feet or less in size, located on a site that is served by existing utilities, and not considered to be environmentally sensitive. The proposed project falls within the Class 1 Exemption in that it involves the construction of a 5,776 square foot building, a change in the purposes but not use of the existing 2,400 square foot building, the project will continue to be served by exiting utilities, and the site is not considered to be environmentally sensitive.

NOTIFICATION

Public notice was sent to all property owners of record within 600’ of the project on October 8, 2020. The public hearing notice for this project was posted on the project site and published in the local newspaper on October 9, 2020.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2020-41, and thereby:

1. CERTIFY that Amended Conditional Use Permit PEN16-0034 is exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities); and

2. APPROVE Amended Conditional Use Permit PEN16-0034 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Prepared by:
Gabriel Diaz
Associate Planner

Approved by:
Patty Nevins
Planning Official

ATTACHMENTS

1. Resolution 2020-41
2. Exhibit A - Conditions of Approval
3. Project Plans
4. Aerial Map
5. Zoning Map
6. Mailing Notice - PEN16-0034
7. 600 Foot Radius Map

RESOLUTION NUMBER 2020-41

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING AMENDED CONDITIONAL USE PERMIT PEN16-0034 FOR A NEW 5,776 SQUARE FOOT SANCTUARY BUILDING AND REUSE OF THE EXISTING 2,400 SQUARE FOOT SANCTUARY BUILDING AS A CHILDREN'S SUNDAY SCHOOL ON PROPERTY LOCATED AT 24551 IRONWOOD AVENUE, ASSESSOR'S PARCEL NUMBER 481-341-020, SUBJECT TO CEQA CATEGORICAL EXEMPTION 15301 FOR EXISTING FACILITIES

WHEREAS, the City of Moreno Valley ("City") is a general law city and a municipal corporation of the State of California; and

WHEREAS, New Life Christian Fellowship ("Developer") has filed an application for the approval of Amended Conditional Use Permit PEN16-0034 ("Application") for the development of a new 5,776 square foot Sanctuary building, and reuse of the existing 2,400 square foot Sanctuary building as a Children's Sunday School ("Project") located at 24551 Ironwood Avenue ("Site"); and

WHEREAS, Section 9.02.060 (Conditional Use Permits) of the Moreno Valley Municipal Code acknowledges that the purpose of conditional use permits is to allow the establishment of certain uses that may have special impact or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location and includes a review process that involves the review of location, design, configuration of improvements, and potential impact on the surrounding area based on fixed and established standards; and

WHEREAS, the Application has been evaluated in accordance with Section 9.02.060 (Conditional Use Permits) of the Municipal Code with consideration of the City's General Plan, Zoning Ordinance, and other applicable laws and regulations; and

WHEREAS, Section 9.02.060 permits the Planning Commission to impose conditions of approval on a project to address on-site improvements, off-site improvements, the manner in which the site is used and any other conditions as may be deemed necessary to protect the public health, safety and welfare to ensure that a proposed project will be developed in accordance with the purpose and intent of Title 9 (Planning and Zoning) of the Municipal Code; and

WHEREAS, pursuant to the provisions of Section 9.02.200 (Public hearing and notification procedures) of the Municipal Code and Government Code Section 65905, a public hearing was scheduled for October 22, 2020, and notice thereof was duly published and posted, and mailed to all property owners of record within 600 feet of the Site; and

WHEREAS, on October 22, 2020, the public hearing to consider the Application was duly conducted by the Planning Commission at which time all interested persons were provided with a full opportunity to submit public testimony and to present evidence; and

WHEREAS, consistent with the requirements of Section 9.02.060 (Conditional Use Permits) of the Municipal Code, the Planning Commission considered proposed Conditions of Approval Nos. 1 through 112 recommended by Planning Division staff t who deemed said conditions to be necessary to protect the public health, safety and welfare and to ensure the proposed Project will be developed in accordance with the purpose and intent of Title 9 (Planning and Zoning) of the Municipal Code; and

WHEREAS, at the public hearing, the Planning Commission reviewed and considered the Planning Division’s recommendation that the proposed Project be Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA¹) under CEQA Guidelines² Section 15301 for Existing Facilities since the project is for a building that is 10,000 square feet or less in size and is located on a site that is served by existing utilities not considered to be environmentally sensitive; and

WHEREAS, at the public hearing, the Planning Commission reviewed and considered whether each of the requisite findings specified at Section 9.02.060 could be made with respect to the proposed Project as conditioned by Conditions of Approval Nos. 1 through 112.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. Recitals and Exhibits

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

Section 2. Notice

That pursuant to Government Code Section 66020(d)(1), **NOTICE IS HEREBY GIVEN** that the proposed Project is subject to certain fees, dedications, reservations and other exactions as provided herein.

Section 3. Evidence

That the Planning Commission has considered all of the evidence submitted into the administrative record for the proposed Amended CUP, including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;
- (c) Application for the approval of Amended Conditional Use Permit (CUP) PEN16-0034 and all documents, records and references contained therein;

¹ Public Resources Code §§ 21000-21177

² 14 California Code of Regulations §§15000-15387

- (d) Conditions of Approval for Amended CUP PEN16-0034, attached hereto as Exhibit A;
- (e) Staff report prepared for the Planning Commission's consideration and all documents, records and references related thereto, and staff's presentation at the public hearing;
- (f) Staff's determination of categorical exemption prepared for the proposed Project in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- (g) Testimony and/or comments from Developer and its representatives during the public hearing; and
- (h) Testimony and/or comments from all persons that was provided in written format or correspondence, at, or prior to, the public hearing.

Section 4. Findings

That based on the foregoing Recitals and the Evidence as set forth above, the Planning Commission hereby finds that:

- (a) The proposed Project is consistent with the goals, objectives, policies and programs of the general plan;
- (b) The proposed Project complies with all applicable zoning and other regulations;
- (c) The proposed Project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity; and
- (d) The location, design and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity.

Section 5. Determination of Categorical Exemption

That the Planning Commission hereby determines, based on its independent judgment, that the proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 5301 for Existing Facilities.

Section 6. Notice of Exemption

That the Planning Division is hereby authorized and directed to prepare, execute, and file a Notice of Exemption as required by Section 5.2 (Noticing Requirements) of the City's Rules and Procedures for the Implementation of the California Environmental Quality Act and CEQA Guidelines Section 15062.

Section 7. Approval

That based on the foregoing Recitals, Administrative Record and Findings, the Planning Commission hereby approves Amended CUP PEN16-0034 subject to the Conditions of Approval for Amended CUP PEN16-0034, attached hereto as Exhibit A.

Section 8. Repeal of Conflicting Provisions

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

Section 9. Severability

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

Section 10. Effective Date

That this Resolution shall take effect immediately upon the date of adoption.

Section 11. Certification

That the Secretary of the Planning Commission shall certify to the passage of this Resolution.

PASSED AND ADOPTED THIS _____ day of _____, 2020.

CITY OF MORENO VALLEY
PLANNING COMMISSION

Patricia Korzec, Chairperson

ATTEST:

Patty Nevins,
Planning Official

APPROVED AS TO FORM:

Steven B. Quintanilla,
Interim City Attorney

Exhibits:
Exhibit A: Conditions of Approval

Attachment: Resolution 2020-41 [Revision 3] (4178 : PEN16-0034 A mended CUP for a Church)

Exhibit A

CONDITIONS OF APPROVAL

Attachment: Resolution 2020-41 [Revision 3] (4178 : PEN16-0034 A mended CUP for a Church)

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN16-0034)

Page 1

CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Conditional Use Permit (PEN16-0034)

EFFECTIVE DATE:

EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENT**Planning Division**

1. A change or modification to the land use or the approved site plans may require a separate approval. Prior to any change or modification, the property owner shall contact the City of Moreno Valley Community Development Department to determine if a separate approval is required.
2. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
3. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
4. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
5. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code.
6. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
7. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN16-0034)

Page 2

8. Any signs indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)
9. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

Special Conditions

10. The site has been approved for a new 5,776 square foot Sanctuary building, and use the existing 2,400 square foot Sanctuary building for Children's Sunday School. A change or modification shall require separate approval. For a Conditional Use Permit, violation may result in revocation of the Conditional Use Permit.
11. Prior to approval of any grading permit, the tree plan shall be submitted to and approved by the Planning Division. The plan shall identify all mature trees (4 inch trunk diameter or larger) on the subject property and City right-of-way. Using the grading plan as a base, the plan shall indicate trees to be relocated, retained, and removed. Replacement trees shall be shown on the plan, be a minimum size of 24 inch box, and meet a ratio of three replacement trees for each mature tree removed or as approved by the Planning Official. (GP Objective 4.4, 4.5, DG)

Prior to Building Permit

12. Prior to the issuance of building permits, proposed covered trash enclosure(s), including the roof materials, shall be compatible with the architecture, color and materials of the building(s) design. Trash enclosure areas shall include landscaping on three sides. Approved design plans shall be included in a Building submittal (Fence and Wall or building design plans). (GP Objective 43.6, DG)
13. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Requirements and shall include:
 - a. A three (3) foot high decorative wall, solid hedge or berm shall be placed in any setback areas between a public right of way and a parking lot for screening.
 - b. Drought tolerant landscape shall be used. Sod shall be limited to gathering

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN16-0034)

Page 3

areas if proposed.

- c. Street trees shall be provided every 40 feet on center in the right of way.
 - d. On-site trees shall be planted at an equivalent of one (1) tree per thirty (30) linear feet of the perimeter of a parking lot and per thirty linear feet of a building dimension for the portions of the building visible from a parking lot or right of way. Trees may be massed for pleasing aesthetic effects.
 - e. Enhanced landscaping shall be provided at all driveway entries and street corner locations. The review of all utility boxes, transformers etc. shall be coordinated to provide adequate screening from public view.
 - f. Landscaping on three sides of any trash enclosure.
 - g. All site perimeter and parking lot landscape and irrigation shall be installed prior to the release of certificate of any occupancy permits for the site.
14. Prior to issuance of building permits, the Planning Division shall review and approve the location and method of enclosure or screening of transformer cabinets, commercial gas meters and back flow preventers as shown on the final working drawings. Location and screening shall comply with the following criteria: transformer cabinets and commercial gas meters shall not be located within required setbacks and shall be screened from public view either by architectural treatment or landscaping; multiple electrical meters shall be fully enclosed and incorporated into the overall architectural design of the building(s); back-flow preventers shall be screened by landscaping. (GP Objective 43.30)
 15. Prior to issuance of a building permit, the developer/property owner or developer's successor-in-interest shall pay all applicable impact fees due at permit issuance, including but not limited to Multi-species Habitat Conservation Plan (MSHCP) mitigation fees. (Ord)
 16. Prior to building final, the developer/owner or developer's/owner's successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), and the City's adopted Development Impact Fees. (Ord)
 17. Prior to or at building plan check submittal, the elevation plans shall include decorative lighting sconces on all sides of the buildings of the complex facing a parking lot, courtyard or plaza, or public right of way or open space to provide up-lighting and shadowing on the structures. Include drawings of the sconce details for each building within the elevation plans.

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18. Prior to issuance of building permits, screening details shall be addressed on the building plans for roof top equipment submitted for Planning Division review and approval through the building plan check process. All equipment shall be completely screened so as not to be visible from public view, and the screening shall be an integral part of the building.
19. Prior to issuance of any grading permit, all Conditions of Approval shall be printed on the grading plans.
20. Prior to the issuance of grading permits, decorative (e.g. colored/scored concrete or as approve by the Planning Official) pedestrian pathways across circulation aisles/paths shall be provided throughout the development to connect dwellings with open spaces and/or recreational uses or commercial/industrial buildings with open space and/or parking, and/or the public right-of-way. The pathways shall be shown on the precise grading plan. (GP Objective 46.8, DG)
21. If potential historic, archaeological, Native American cultural resources or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area must cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be immediately submitted to the Planning Division for consideration, and implemented as deemed appropriate by the Community Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered during grading and other construction excavation, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be notified within 5-days of the published finding to be given a reasonable opportunity to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).

22. Prior to approval of any grading permits, plans for any security gate system shall be submitted to and approved by to the Planning Division.
23. Prior to the issuance of grading permits, the site plan and grading plans shall show decorative hardscape (e.g. colored concrete, stamped concrete, pavers or as

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approved by the Planning Official) consistent and compatible with the design, color and materials of the proposed development for all driveway ingress/egress locations of the project.

24. Prior to the issuance of grading permits, a temporary project identification sign shall be erected on the site in a secure and visible manner. The sign shall be conspicuously posted at the site and remain in place until occupancy of the project. The sign shall include the following:
 - a. The name (if applicable) and address of the development.
 - b. The developer's name, address, and a 24-hour emergency telephone number.
25. Prior to issuance of grading permits, the location of the trash enclosure shall be included on the plans.

Prior to Building Final or Occupancy

26. Prior to building final, all required landscaping and irrigation shall be installed per plan, certified by the Landscape Architect and inspected by the Planning Division. (MC 9.03.040, MC 9.17).
27. Prior to building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department – Planning Division on a CD disk.

Building Division

28. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
29. Prior to submittal, all new development, including residential second units, are required to obtain a valid property address prior to permit application. Addresses can be obtained by contacting the Building Safety Division at 951.413.3350.
30. Contact the Building Safety Division for permit application submittal requirements.
31. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m.(except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.

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32. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
33. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
34. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
35. All new structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2016 CBC.
36. The proposed non-residential project shall comply with 2016 California Green Building Standards Code, Section 5.106.5.3, mandatory requirements for Electric Vehicle Charging Station (EVCS).
37. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the 2016 California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
38. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

FIRE DEPARTMENT**Fire Prevention Bureau**

39. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height. (CFC 505.1, MVMC 8.36.060[1])
40. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire alarm system monitored by an approved

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Underwriters Laboratory listed central station based on a requirement for monitoring the sprinkler system, occupancy or use. Fire alarm panel shall be accessible from exterior of building in an approved location. Plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9 and MVMC 8.36.100)

41. Prior to issuance of Building Permits, the applicant/developer shall participate in the Fire Impact Mitigation Program. (Fee Resolution as adopted by City Council)
42. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
43. Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for Fire Lanes and signage. (CFC 501.3)
44. Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3) a - After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Moreno Valley Fire Department prior to beginning construction. They shall be maintained accessible.
45. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
46. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
47. Prior to issuance of a Certificate of Occupancy or Building Final, a "Knox Box Rapid Entry System" shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)
48. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with the C.F.C., MVMC, and NFPA 24. Fire hydrants

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shall be located no closer than 40 feet to a building. A fire hydrant shall be located within 50 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are (6" x 4" x 2 ½" x 2 ½") (CFC 507.5.1, 507.5.7, Appendix C, NFPA 24-7.2.3, MVMC 912.2.1)

PUBLIC WORKS DEPARTMENT**Land Development**

49. Aggregate slurry, as defined in Section 203-5 of Standard Specifications for Public Works Construction, shall be required prior to 90% security reduction or the end of the one-year warranty period of the public streets as approved by the City Engineer. If slurry is required, a slurry mix design shall be submitted for review and approved by the City Engineer. The latex additive shall be Ultra Pave 70 (for anionic) or Ultra Pave 65 K (for cationic) or an approved equal per the geotechnical report. The latex shall be added at the emulsion plant after weighing the asphalt and before the addition of mixing water. The latex shall be added at a rate of two to two-and-one-half (2 to 2½) parts to one-hundred (100) parts of emulsion by volume. Any existing striping shall be removed prior to slurry application and replaced per City standards.
50. The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]
51. The final approved conditions of approval (COAs) issued and any applicable Mitigation Measures by the Planning Division shall be photographically or electronically placed on mylar sheets and included in the Grading and Street Improvement plans.
52. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - (b) Observance of working hours as stipulated on permits issued by the Land Development Division.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.

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Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

53. Drainage facilities (e.g., catch basins, water quality basins, etc.) with sump conditions shall be designed to convey the tributary 100-year storm flows. Secondary emergency escape shall also be provided.
54. In the event right-of-way or offsite easements are required to construct offsite improvements necessary for the orderly development of the surrounding area to meet the public health and safety needs, the developer shall make a good faith effort to acquire the needed right-of-way in accordance with the Land Development Division's administrative policy. If unsuccessful, the Developer shall enter into an agreement with the City to acquire the necessary right-of-way or offsite easements and complete the improvements at such time the City acquires the right-of-way or offsite easements which will permit the improvements to be made. The developer shall be responsible for all costs associated with the right-of-way or easement acquisition. [GC 66462.5]
55. The developer shall protect downstream properties from damage caused by alteration of drainage patterns (i.e. concentration or diversion of flow, etc). Protection shall be provided by constructing adequate drainage facilities, including, but not limited to, modifying existing facilities or by securing a drainage easement. [MC 9.14.110]
56. The maintenance responsibility of the proposed storm drain line shall be clearly identified. Storm drain lines within private property will be privately maintained and those within public streets will be publicly maintained.
57. This project shall submit civil engineering design plans, reports and/or documents (prepared by a registered/licensed civil engineer) for review and approval by the City Engineer per the current submittal requirements, prior to the indicated threshold or as required by the City Engineer. The submittal consists of, but is not limited to, the following:
 - a. Rough grading w/ erosion control plan (prior to grading permit issuance);
 - b. Precise grading w/ erosion control plan (prior to grading permit issuance);
 - c. Public improvement plan (e.g., street/storm drain with striping, sewer/water, etc.) (prior to encroachment permit issuance);
 - d. Final drainage study (prior to grading plan approval);
 - e. Final WQMP (prior to grading plan approval);
 - f. Legal documents (e.g., dedications, etc.) prior to building permit issuance;

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h. As-Built revision for all plans (prior to Occupancy release);

Prior to Grading Plan Approval

58. Resolution of all drainage issues shall be as approved by the City Engineer.
59. A final detailed drainage study (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer. The study shall include, but not be limited to: existing and proposed hydrologic conditions as well as hydraulic calculations for all drainage control devices and storm drain lines. The study shall analyze 1, 3, 6 and 24-hour duration events for the 2, 5, 10 and 100-year storm events [MC 9.14.110(A.1)]. A digital (pdf) copy of the approved drainage study shall be submitted to the Land Development Division.
60. Emergency overflow areas shall be shown at all applicable drainage improvement locations in the event that the drainage improvement fails or exceeds full capacity.
61. The final project-specific Water Quality Management Plan (WQMP) shall be consistent with the approved P-WQMP, as well as in full conformance with the document: "Water Quality Management Plan - A Guidance Document for the Santa Ana Region of Riverside County" dated October 22, 2012. The F-WQMP shall be submitted and approved prior to application for and issuance of grading permits. At a minimum, the F-WQMP shall include the following: Site Design BMPs; Source Control BMPs, Treatment Control BMPs, Operation and Maintenance requirements for BMPs and sources of funding for BMP implementation.
- a. The Applicant has proposed to incorporate the use of bioretention. Final design and sizing details of all BMPs must be provided in the first submittal of the F-WQMP. The Applicant acknowledges that more area than currently shown on the plans may be required to treat site runoff as required by the WQMP guidance document.
- b. The Applicant shall substantiate the applicable Hydrologic Condition of Concerns (HCOC) in Section F of the F-WQMP, if applicable.
- c. All proposed LID BMP's shall be designed in accordance with the RCFC&WCD's Design Handbook for Low Impact Development Best Management Practices, dated September 2011.
- d. The proposed LID BMP's as identified in the project-specific P-WQMP shall be incorporated into the Final WQMP.
- e. The NPDES notes per City Standard Drawing No. MVFE-350-0 shall be included in the grading plans.
- f. Post-construction treatment control BMPs, once placed into operation for post-construction water quality control, shall not be used to treat runoff from construction sites or unstabilized areas of the site.
- g. Prior to precise grading plan approval, the grading plan shall show any proposed trash enclosure to include a cover (roof) and sufficient size for dual bin (1

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- for trash and 1 for recyclables). The architecture shall be approved by the Planning Division and any structural approvals shall be made by the Building and Safety Division.
62. The developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:
- a. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the City Engineer, lot lines shall be located at the top of slopes.
 - b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control, sight distance control, and slope easements as approved by the City Engineer.
 - c. All improvement plans are substantially complete and appropriate clearance letters are provided to the City.
 - d. A soils/geotechnical report (addressing the soil's stability and geological conditions of the site) shall be submitted to the Land Development Division for review. A digital (pdf) copy of the soils/geotechnical report shall be submitted to the Land Development Division.
63. Grading plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
64. The developer shall pay all remaining plan check fees.
65. A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared in conformance with the State's current Construction Activities Storm Water General Permit. A copy of the current SWPPP shall be kept at the project site and be available for review upon request.
66. For projects that will result in discharges of storm water associated with construction with a soil disturbance of one or more acres of land, the developer shall submit a Notice of Intent (NOI) and obtain a Waste Discharger's Identification number (WDID#) from the State Water Quality Control Board (SWQCB) which shall be noted on the grading plans.
67. Landscape & Irrigation plans (prepared by a registered/licensed landscape architect) for water quality BMPs shall be submitted for review and approved by the City Engineer per the current submittal requirements, if applicable.
68. Onsite surface runoff shall not be allowed to surface flow onto the public right-of-way. Instead, it shall be directed to flow away from the public right-of-way per City Standard MVIS-105A-1.

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Prior to Grading Permit

69. A receipt showing payment of the Area Drainage Plan (ADP) fee to Riverside County Flood Control and Water Conservation District shall be submitted, if applicable. [MC 9.14.100(O)]
70. A digital (pdf) copy of all approved grading plans shall be submitted to the Land Development Division.
71. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the implementation and maintenance of erosion control measures. At least twenty-five (25) percent of the required security shall be in the form of a cash deposit with the City. [MC 8.21.160(H)]
72. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project. [MC 8.21.070]
73. The developer shall pay all applicable inspection fees.

Prior to Improvement Plan Approval

74. The developer is required to bring any existing access ramps adjacent to and fronting the project to current ADA (Americans with Disabilities Act) requirements. However, when work is required in an intersection that involves or impacts existing access ramps, all access ramps in that intersection shall be retrofitted to comply with current ADA requirements, unless otherwise approved by the City Engineer.
75. All public improvement plans (prepared by a licensed/registered civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
76. Any missing or deficient existing improvements along the project frontage shall be constructed or secured for construction. This includes, but is not limited to the existing driveway approach on Ironwood Ave. The City Engineer may require the ultimate structural section for pavement to half-street width plus 18 feet or provide core test results confirming that existing pavement section is per current City Standards; additional signing & striping to accommodate increased traffic imposed by the development, etc.
77. The plans shall indicate any restrictions on trench repair pavement cuts to reflect the City's moratorium on disturbing newly-constructed pavement less than three (3) years old and recently slurry sealed streets less than one (1) year old, as applicable. Pavement cuts may be allowed for emergency repairs or as specifically approved in

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writing by the City Engineer. Special requirements shall be imposed for repaving, limits to be determined by the City Engineer.

78. All dry and wet utilities shall be shown on the plans and any crossings shall be potholed to determine actual location and elevation. Any conflicts shall be identified and addressed on the plans. The pothole survey data shall be submitted to Land Development with the public improvement plans for reference purposes only. The developer is responsible to coordinate with all affected utility companies and bear all costs of any utility relocation.

Prior to Encroachment Permit

79. A digital (pdf) copy of all approved improvement plans shall be submitted to the Land Development Division.
80. All applicable inspection fees shall be paid.
81. Any work performed within public right-of-way requires an encroachment permit.

Prior to Building Permit

82. An engineered-fill certification, rough grade certification and compaction report shall be submitted for review and approved by the City Engineer. A digital (pdf) copy of the approved compaction report shall be submitted to the Land Development Division. All pads shall meet pad elevations per approved grading plans as noted by the setting of "blue-top" markers installed by a registered land surveyor or licensed civil engineer.
83. For Commercial/Industrial projects, the owner may have to secure coverage under the State's General Industrial Activities Storm Water Permit as issued by the State Water Resources Control Board.

Prior to Occupancy

84. All outstanding fees shall be paid.
85. All required as-built plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
86. The final/precise grade certification shall be submitted for review and approved by the City Engineer.

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87. For commercial, industrial and multi-family projects, in compliance with Proposition 218, the developer shall agree to approve the City of Moreno Valley NPDES Regulatory Rate Schedule that is in place at the time of certificate of occupancy issuance. Under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (NPDES) as mandated by the Federal Clean Water Act, this project is subject to the following requirements:
- a. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.
 - i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process; or
 - ii. Establish an endowment to cover future City costs as specified in the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule.
 - b. Notify the Special Districts Division of the intent to request building permits 90 days prior to their issuance and the financial option selected. The financial option selected shall be in place prior to the issuance of certificate of occupancy. [California Government Code & Municipal Code]
88. The developer shall complete all public improvements in conformance with current City standards, except as noted in the Special Conditions, including but not limited to the following:
- a. Street improvements including, but not limited to: pavement, base, curb and/or gutter, cross gutters, spandrel, sidewalks, drive approaches, pedestrian ramps, street lights (SCE: LS-2), signing, striping, under sidewalk drains, landscaping and irrigation, medians, pavement tapers/transitions and traffic control devices as appropriate.
 - b. Storm drain facilities including, but not limited to: storm drain pipe, storm drain laterals, open channels, catch basins and local depressions.
 - c. City-owned utilities.
 - d. Sewer and water systems including, but not limited to: sanitary sewer, potable water and recycled water.
 - e. Under grounding of all existing and proposed utilities adjacent to and on-site. [MC 9.14.130]
 - f. Relocation of overhead electrical utility lines including, but not limited to: electrical, cable and telephone.
89. For commercial, industrial and multi-family projects, a “Stormwater Treatment Device and Control Measure Access and Maintenance Covenant” shall be recorded to provide public notice of the maintenance requirements to be implemented per the approved final project-specific WQMP. A boilerplate copy of the covenants and

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agreements can be obtained by contacting the Land Development Division.

90. The applicant shall ensure the following, pursuant to Section XII. I. of the 2010 NPDES Permit:
- a. Field verification that structural Site Design, Source Control and Treatment Control BMPs are designed, constructed and functional in accordance with the approved Final Water Quality Management Plan (WQMP).
 - b. Certification of best management practices (BMPs) from a state licensed civil engineer. An original WQMP BMP Certification shall be submitted for review and approved by the City Engineer.
91. The Developer shall comply with the following water quality related items:
- a. Notify the Land Development Division prior to construction and installation of all structural BMPs so that an inspection can be performed.
 - b. Demonstrate that all structural BMPs described in the approved final project-specific WQMP have been constructed and installed in conformance with the approved plans and specifications;
 - c. Demonstrate that Developer is prepared to implement all non-structural BMPs described in the approved final project-specific WQMP; and
 - d. Demonstrate that an adequate number of copies of the approved final project-specific WQMP are available for future owners/occupants.
 - e. Clean and repair the water quality BMP's, including re-grading to approved civil drawing if necessary.
 - f. Obtain approval and complete installation of the irrigation and landscaping.

Special Districts Division

92. NEW STREET LIGHT INSTALLATION FEES. Prior to the issuance of the first building permit for this project, the Developer shall pay New Street Light Installation Fees for all applicable Residential and Arterial Street Lights required for this development. Payment shall be made to the City of Moreno Valley and collected by the Land Development Division. Fees are based upon the Advanced Energy fee rate in place at the time of payment, as set forth in the current Listing of City Fees, Charges, and Rates adopted by City Council. The Developer shall provide a copy of the receipt to the Special Districts Division (specialdistricts@moval.org). Any change in the project which may increase the number of street lights to be installed will require payment of additional Advanced Energy fees at the then current fee. Questions may be directed to the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.
93. This project is conditioned for a proposed district to provide a funding source for the operation and maintenance of public improvements and/or services associated with new development in that territory. The Developer shall satisfy this condition with one of the options outlined below.

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a. Participate in a special election for maintenance/services and pay all associated costs of the election process and formation, if any. Financing may be structured through a Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or

b. Establish an endowment fund to cover the future maintenance and/or service costs.

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the district has been or is in the process of being formed the Developer must inform the Special Districts Division of its selected financing option (a. or b. above). The option for participating in a special election requires 90 days to complete the special election process. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project.

94. This project is conditioned to provide a funding source for the following special financing program(s):

a. Street Lighting Services for capital improvements, energy charges, and maintenance.

The Developer's responsibility is to provide a funding source for the capital improvements and the continued maintenance. The Developer shall satisfy this condition with one of the options below.

i. Participate in a special election (mail ballot proceeding) and pay all associated costs of the special election and formation, if any. Financing may be structured through a Community Services District zone, Community Facilities District, Landscape and Lighting Maintenance District, or other financing structure as determined by the City; or

ii. Establish a Property Owner's Association (POA) or Home Owner's Association (HOA) which will be responsible for any and all operation and maintenance costs

The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org of its selected financial option when submitting the application for building permit issuance. The option for participating in a special election requires approximately 90 days to complete the special election process.

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This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution.

The financial option selected shall be in place prior to the issuance of the first certificate of occupancy for the project.

95. Commercial (BP) If Land Development, a Division of the Public Works Department, requires this project to supply a funding source necessary to provide for, but not limited to, stormwater utilities services for the continuous operation, remediation and/or replacement, monitoring, systems evaluations and enhancement of on-site facilities and performing annual inspections of the affected areas to ensure compliance with state mandated stormwater regulations, a funding source needs to be established. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org of its selected financial option for the National Pollution Discharge Elimination System (NPDES) program when submitting the application for the first building permit issuance (see Land Development's related condition). Participating in a special election the process requires a 90 day period prior to the City's issuance of a building permit. This allows adequate time to be in compliance with the provisions of Article 13D of the California Constitution. (California Health and Safety Code Sections 5473 through 5473.8 (Ord. 708 Section 3.1, 2006) & City of Moreno Valley Municipal Code Title 3, Section 3.50.050.)
96. This project has been identified to be included in the formation of a Community Facilities District (Mello-Roos) for Public Safety services, including but not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. The property owner(s) shall not protest the formation; however, they retain the right to object to the rate and method of maximum special tax. In compliance with Proposition 218, the property owner shall agree to approve the mail ballot proceeding (special election) for either formation of the CFD or annexation into an existing district. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting the application for building permit issuance to determine the requirement for participation. If the first building permit is pulled prior to formation of the district, this condition will not apply. If the condition applies, the special election will require a minimum of 90 days prior to issuance of the first building permit. This allows adequate time to be in compliance with the provisions of Article 13C of the California Constitution. (California Government Code Section 53313 et. seq.)
97. The ongoing maintenance of any landscaping required to be installed behind the curb shall be the responsibility of the property owner.
98. Any damage to existing landscape areas maintained by the City of Moreno Valley due to project construction shall be repaired/replaced by the Developer, or

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN16-0034)

Page 18

Developer's successors in interest, at no cost to the City of Moreno Valley.

99. MAJOR INFRASTRUCTURE FINANCING DISTRICT. This project has been identified to potentially be included in the formation of a special financing district for the construction and maintenance of major infrastructure improvements which may include but are not limited to thoroughfares, bridges, and certain flood control improvements. The property owner(s) shall participate in such district and pay any special tax, assessment, or fee levied upon the project property for such district. At the time of the public hearing to consider formation of or annexation into the district, the qualified elector(s) will not protest the formation or annexation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property obtains from the improvements to be installed and/or maintained. The Developer must notify the Special Districts Division at 951.413.3480 or at specialdistricts@moval.org when submitting an application for the first building permit to determine whether the development will be subjected to this condition. If subject to the condition, the special election requires a minimum 90 day process in compliance with the provisions of Article 13C of the California Constitution.
100. Street Light Authorization forms for all street lights that are conditioned to be installed as part of this project must be submitted to the Special Districts Division for approval, prior to street light installation. The Street Light Authorization form can be obtained from the utility company providing electric service to the project, either Moreno Valley Utility or Southern California Edison. For questions, contact the Special Districts Division at 951.413.3480 or specialdistricts@moval.org.
101. The parcel(s) associated with this project have been incorporated into the Moreno Valley Community Services District Zone A (Parks & Community Services) and Zone C (Arterial Street Lighting). All assessable parcels therein shall be subject to annual parcel taxes for Zone A and Zone C for operations and capital improvements.

Transportation Engineering Division

102. Ironwood Avenue is classified as a Minor Arterial (88'RW/64'CC) per City Standard Plan No. MVSI-105A-0. Traffic Signal Interconnect along project frontage shall be required per City Standard Plan No. MVSI-186-0. Any improvements undertaken by this project shall be consistent with the City's standards for this facility.
103. Ironwood Avenue is classified as a Minor Arterial (88'RW/64'CC) per City Standard Plan No. MVSI-105A-0. Any improvements undertaken by this project shall be consistent with the City's standards for this facility.

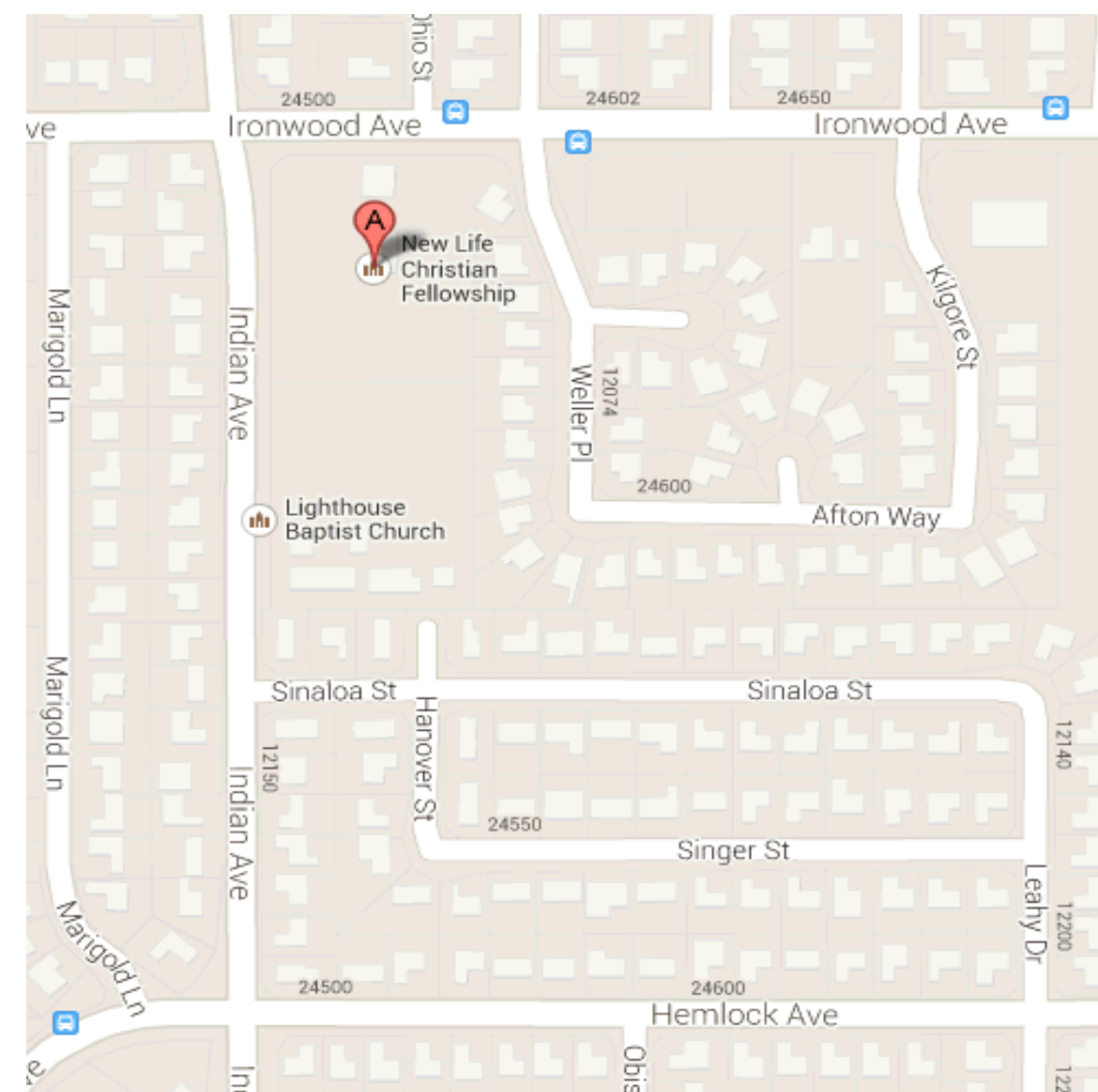
CONDITIONS OF APPROVAL

Conditional Use Permit (PEN16-0034)

Page 19

104. Driveways shall conform to City of Moreno Valley Standard No. MVSI-112C-0 for commercial driveway approach. The existing driveway on Ironwood Avenue shall be reconstructed to meet current City standards.
105. All proposed on-site traffic signing and striping should be accordance with the latest California Manual on Uniform Traffic Control Devices (CAMUTCD).
106. Conditions of approval may be modified or added if a phasing plan is submitted for this development.
107. Prior to final approval of any landscaping or monument sign plans, the project plans shall demonstrate that sight distance at the project driveways conforms to City Standard Plan No. MVSI-164A, B, C-0.
108. Prior to the final approval of the street improvement plans, a signing and striping plan shall be prepared per the latest edition of the California Manual on Uniform Traffic Control Devices (CAMUTCD) and City of Moreno Valley Standard Plans for Ironwood Avenue and Indian Street.
109. Prior to the final approval of the street improvement plans, a bus stop/bus bay shall be designed, per the latest City of Moreno Valley Standard Plans, for eastbound traffic and shall be located on the south side of Ironwood Avenue, just east of Indian Street. Sufficient right-of-way shall be dedicated to accommodate this bus stop/bus bay per the latest City of Moreno Valley Standard Plans.
110. Prior to issuance of a construction permit, construction traffic control plans prepared by a qualified, registered Civil or Traffic engineer may be required for plan approval or as required by the City Traffic Engineer.
111. Prior to issuance of a Building Final or Certificate of Occupancy, all approved signing and striping shall be installed per current City Standards
112. Prior to issuance of a Building Final or Certificate of Occupancy, all approved street improvements shall be installed to the satisfaction of the City Engineer.

PROPOSED SANCTURAY FOR: NEW LIFE CHRISTIAN FELLOWSHIP



VICINITY MAP
N.T.S.

24551 IRONWOOD AVENUE
MORENO VALLEY, CA 92551
951/242-7226

SCOPE OF PROPOSED WORK:

EXISTING:
PROPERTY HAS ALWAYS BEEN USED FOR RELIGIOUS SERVICES BY NEW LIFE CHRISTIAN FELLOWSHIP. THE PRESENT FACILITY CONSISTS OF A 2400 SF SINGLE STORY BUILDING LOCATED ON THE CENTER NORTH OF PROPERTY USED AS A SANCTUARY AND OFFICE WITH A KITCHEN. A 1440 SF MODULAR TRAILER IS USED FOR CHILDREN'S SUNDAY SCHOOL AND LOCATED AT THE CENTER OF THE PROPERTY. EXISTING PARKING PROVIDES 30 SPACES WITH 2 HANDICAP SPACES ON WEST SIDE OF PROPERTY WITH ENTRANCES FRO IRONWOOD AVENUE TO THE NORTH AND INDIAN STREET FROM THE WEST. SOUTH END OF PROPERTY IS VACANT WITH SOME LANDSCAPING AND TREES. FACILITY HAS USED ON SUNDAY MORNINGS WITH 30 MINUTES BETWEEN FROM 8AM TO 12PM, A SINGLE SUNDAY NIGHT SERVICE FROM 1PM TO 8:30PM AND A MAIN WEEKNIGHT STUDY ON WEDNESDAYS FROM 1PM TO 8:30PM. ALL OTHER MEETINGS ARE SMALL DURING VARIOUS TIMES.

PROPOSED:
A NEW 5716 SF BUILDING WITH A SINGLE STORY 300 SEAT SANCTUARY, LOBBY, OFFICES, AND RESTROOMS TO BE BUILT ON THE NORTH WEST CORNER OF THE PROPERTY WHERE THERE IS PRESENTLY LAWN. A COVERED ENTRY WILL BE ON THE EAST SIDE OF THE BUILDING FACING THE EXISTING BUILDING NOW USED AS SANCTUARY AND OPEN COURTYARD.

ADDITIONAL PARKING TO BE ADDED TO THE SOUTH OF PROPERTY. PARKING WILL INCREASE TO 93 STANDARD SPACES WITH 4 HANDICAP SPACES. ACCESS TO PARKING FROM INDIAN ST. WILL BE MODIFIED TO ACCOMMODATE THE EXPANDED PARKING. AMPLE TIME WILL BE ALLOWED BETWEEN SUNDAY SERVICES TO MINIMIZE CONGESTION.

NEW LANDSCAPING TO BE ADDED ALONG SOUTH PROPERTY LINE WITH NEW TREES ADDED ALONG IRONWOOD AND INDIAN TO MEET CITY REQUIREMENTS. SOUTH OF THE NEW SANCTUARY BUILDING WILL REMAIN OPEN LAWN AND LANDSCAPING. EXISTING SANCTUARY BUILDING WILL BE USED FOR YOUTH AND CHILDREN'S SUNDAY SCHOOL THAT WILL RUN SIMULTANEOUSLY WITH ADULT SERVICES IN SANCTUARY.

EXISTING MODULAR WILL CONTINUE TO BE USED FOR CHILDREN'S SUNDAY SCHOOL DURING REGULAR SERVICES. FACILITY WOULD CONTINUE TO BE USED ON SUNDAY MORNINGS WITH TWO SERVICES AND A SINGLE SERVICE AT NIGHT, WEEKNIGHT WEDNESDAY SERVICE AND VARIES SMALL GROUP MEETINGS THROUGHOUT THE WEEK.

FUTURE PHASES:
THE EXISTING MODULAR WILL BE REMOVED TO MAKE WAY FOR A 2-STORY 8400 SF EDUCATION BUILDING TO BE LOCATED CENTER OF PROPERTY. THIS WILL BE USED DURING REGULAR SERVICES FOR SUNDAY SCHOOL AND DURING THE WEEK FOR A PRIVATE ELEMENTARY SCHOOL.

CHILDREN'S SUNDAY SCHOOL BUILDING TO RECEIVE AN EXTERIOR REMODEL TO COMPLEMENT NEW CONSTRUCTION

SOUTH OF THE SANCTUARY AND ON THE EAST SIDE OF PROPERTY A 8025 SF SINGLE STORY GYMNASIUM IS TO BE BUILT TO ACCOMMODATE SUNDAY SCHOOL DURING REGULAR SUNDAY AND WEDNESDAY NIGHT SERVICES AND DURING THE WEEKDAYS FOR ELEMENTARY SCHOOL INDOOR ACTIVITIES. GYMNASIUM WILL NOT BE USED FOR ADULTS DURING REGULAR SUNDAY AND WEDNESDAY NIGHT SERVICES.

PARKING USE:
BASED ON SANCTUARY SEATING PARKING IS ADEQUATE AT 1 SPACE PER 35 SF OF SANCTUARY AREA. SUNDAY SCHOOL BUILDINGS AND FUTURE EDUCATION BUILDINGS ARE USED FOR YOUTH AND CHILDREN DURING REGULAR SERVICES IN SANCTUARY SO WILL NOT ADD THE THE PARKING REQUIREMENT. USES OF GYMNASIUM AND EDUCATION BUILDINGS WILL NOT INCREASE NEED FOR ADDED PARKING.

SERVICE SCHEDULE

SERVICE	HOURS
SUNDAY MORNING WORSHIP	8AM TO 2PM
SUNDAY EVENING WORSHIP	6PM TO 8PM
WEDNESDAY NIGHT	6PM TO 8PM
REGULAR OFFICE USE MONDAY TO FRIDAY	9AM TO 5PM

SHEET INDEX

SHEET #	SHEET TITLE
A.0	COVER SHEET
A.1	SITE PLAN, PROJECT DATA
A.2	FLOOR PLAN, ROOF LAYOUT
A.3	EXTERIOR ELEVATIONS, ISOMETRIC

IRONWOOD AVENUE

PROJECT DATA

CITY CASE NUMBER: P15-050
 LEGAL DESCRIPTION: RECORDED BOOK/PAGE: MB 9/11 SUBDIVISION NAME: SUNNYMEAD ORCHARD TR LOT/PARCEL: 1, BLOCK: P
 ASSESSOR'S PARCEL #: 481-341-020-1
 ZONE: R-5
 OCCUPANCY (EXISTING): A-3
 TYPE: V-B
 THIS NEW BUILDING SHALL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM
 USE: CHURCH FACILITY
 THOMAS BROS. MAP: PAGE: 111, GRID: F1/F2
 FEMA FLOOD ZONE: X
 STORIES (EXISTING): ONE
 AREA BREAKDOWN: LOT SIZE: 102068 SQ. FT., 2.34 ACRES, 43 %
 LOT COVERAGE: SF
 BUILDING AREA NEW: NEW SANCTUARY: 5116 SQ. FT.
 BUILDING AREA EXISTING: EXISTING SANCTUARY REUSED FOR SUNDAY SCHOOL: 2400 SQ. FT.
 EXISTING SUNDAY SCHOOL TRAILER: 1440 SQ. FT.
 BUILDING AREA FUTURE: FUTURE SCHOOL BUILDING: 4200 SQ. FT., FUTURE GYMNASIUM: 8025 SQ. FT.
 TOTAL BUILDING AREA: 21841 SQ. FT.
 PARKING AREA: EXISTING PARKING: 21326 SQ. FT., PROPOSED PARKING: 20794 SQ. FT., TOTAL: 171604 SQ. FT.
 OPEN LANDSCAPE AREA: 24300 SQ. FT.

REVISIONS			
1	8/11/17	4	
2	10/30/17	5	
3		6	

BOB YBARRA
 Building Designer
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 Moreno Valley, CA
 92552-9382
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 Fax: (951) 231-9295

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Project: **NEW LIFE FELLOWSHIP**
 Job Site: **24551 IRONWOOD AVE**
MORENO VALLEY CA 92551

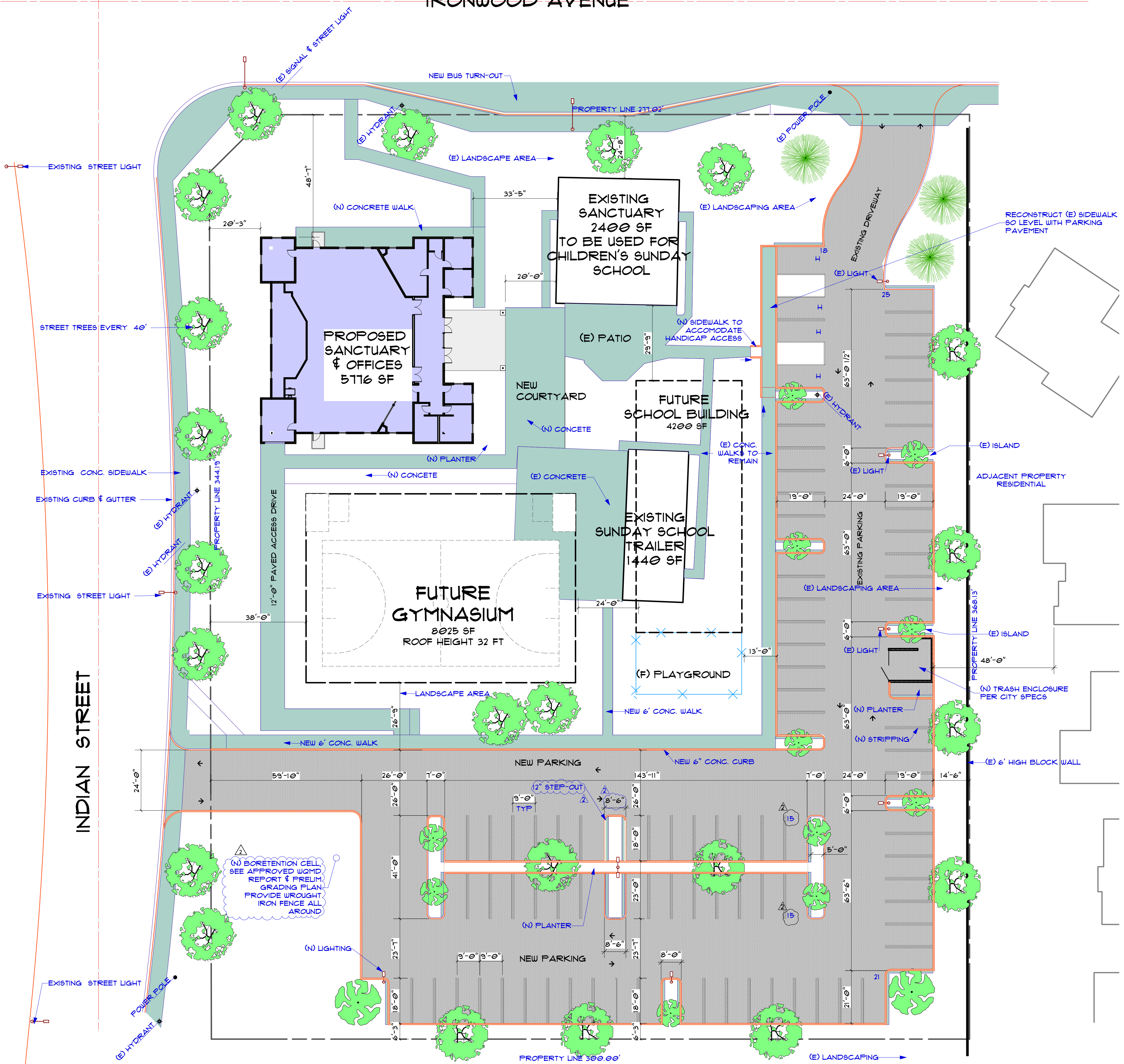
sheet description:

SITE PLAN SITE INFORMATION

NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND SHALL BE VERIFIED AT THE JOB SITE. ANY DISCREPANCIES SHALL BE BRING TO THE ATTENTION OF BOB YBARRA PRIOR TO COMMENCEMENT OF ANY WORK.

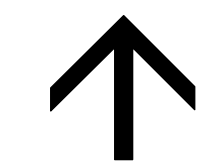
date:	01/29/13
scale:	AS NOTED
drawn by:	B. YBARRA
job number:	12-11
sheet:	

A.1



SITE PLAN

SCALE: 1" = 20'-0"



PARKING REQUIREMENTS

EXISTING PARKING	STD	HC	TOTAL
REQUIRED PARKING AREA	35	2	38
SANCTUARY	1/35	3121.6	85
PROVIDED PARKING	90	4	94

OCCUPANCY LOADS

AREA	GROUP	NET SF	LOAD FACTOR	LOAD
PROPOSED SANCTUARY				
SANCTUARY	A-3	2848	1 SF PER PERSON	401
PLATFORM	A-3	395	15 SF PER PERSON	26
PARENT'S ROOM	A-3	221	1 SF PER PERSON	32
LOBBY	A-3	601	15 SF PER PERSON	40
OFFICE	A-3	519	100 SF PER PERSON	6
RESTROOMS & STORAGE	A-3	389		0
TOTAL SANCTUARY BUILDING				511
SUNDAY SCHOOL BUILDING (PRESENT SANCTUARY)				
SUNDAY SCHOOL	A-3	1100	20 SF PER PERSON	85
OFFICE	A-3	144	100 SF PER PERSON	2
KITCHEN	A-3	264	200 SF PER PERSON	3
STORAGE & RESTROOMS	A-3	280		0
TOTAL SANCTUARY BUILDING				90
SUNDAY SCHOOL MODULAR	A-3	1440	20 SF PER PERSON	12
COMBINED OCCUPANCY				673

LANDSCAPE NOTES

- STREET TREES SHALL BE PLANTED 30 FT. ON VENTER
- STREET TREES ARE TO BE INSTALLED 1 FT. AND A MAX. OF 2 FT. ON THE PRIVATE SIDE OF THE PROPERTY LINE (SINGLE-FAMILY RESIDENTIAL LOTS) OR IN THE PUBLIC RIGHT-OF-WAY FOR ALL OTHER PROJECTS. CARE SHOULD BE TAKEN TO AVOID UTILITY LATERALS.
- ENTRY DRIVES SHALL INCORPORATE ENHANCED LANDSCAPING.
- PARKING AREAS SHALL BE SCREENED FROM STREETS THROUGH A COMBINATION OF MOUNDING LANDSCAPING, LOW PROFILE WALLS AND/OR GRADING SEPARATIONS
- TRANSFORMER CABINETS & COMMERCIAL GAS METERS SHALL NOT BE LOCATED WITHIN REQUIRED SETBACKS AND SHALL BE SCREENED FROM PUBLIC VIEW EITHER BY ARCHITECTURAL TREATMENT OR WITH LANDSCAPING; MULTIPLE ELECTRICAL METERS SHALL BE FULLY ENCLOSED AND INCORPORATED INTO THE OVERALL ARCHITECTURE DESIGN OF THE BUILDING(S). BACK-FLOW PREVENTERS SHALL BE SCREENED BY LANDSCAPING THAT WILL PROVIDE COMPLETE SCREENING UPON MATURITY.

REVISIONS	
1	4
2	5
3	6

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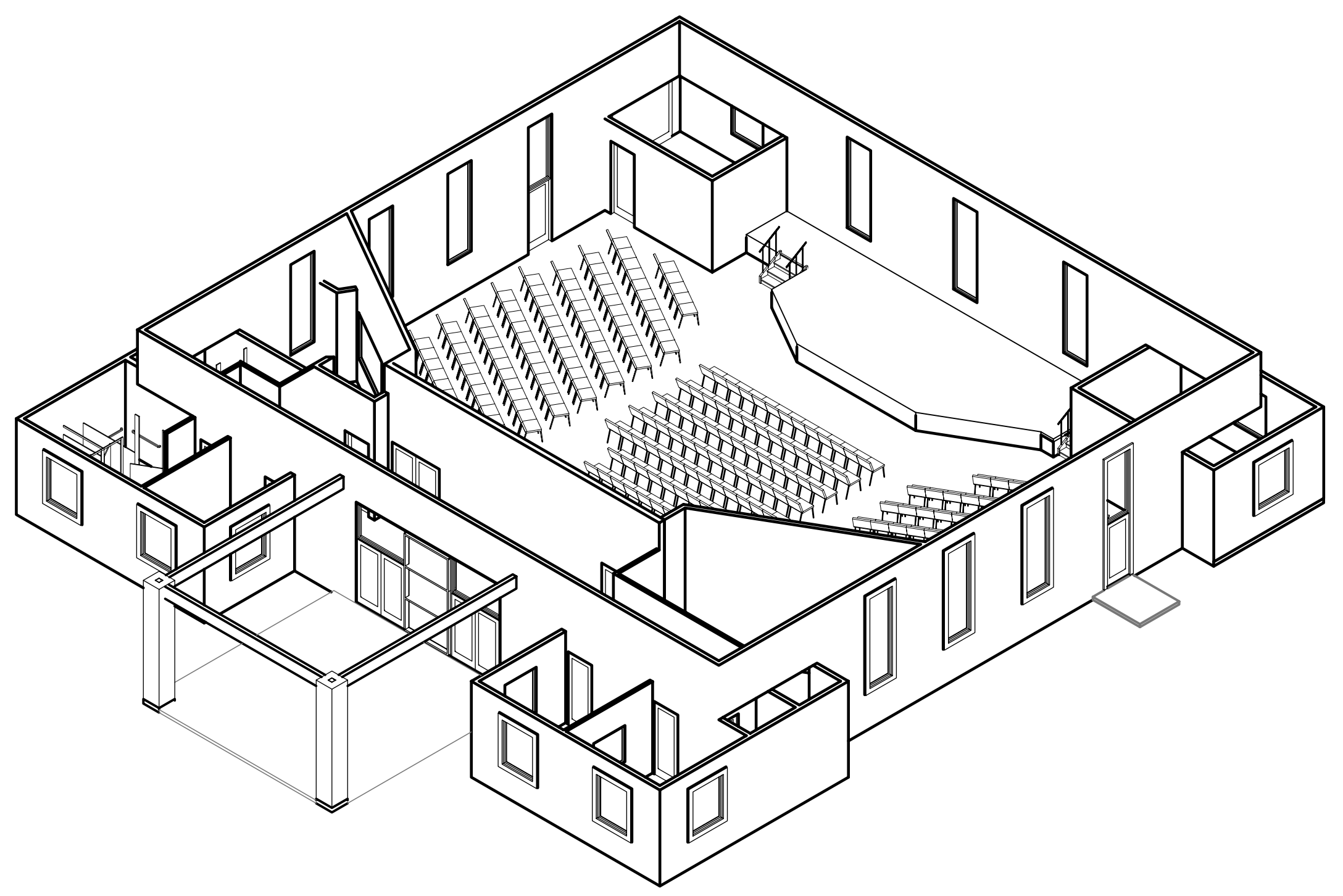
sheet description:

FLOOR PLAN
ROOF PLAN
ISOMETRIC OPEN PLAN

NOTE: WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER DIMENSIONS SHOWN AND SHALL BE VERIFIED AT THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOB YBARRA PRIOR TO COMMENCEMENT OF ANY WORK.

date:	01/29/13
scale:	AS NOTED
drawn by:	B. YBARRA
job number:	12-11
sheet:	

A.2



PLAN NOTES

1. WATER FOUNTAINS
2. DISPLAY CABINETRY
3. HANDICAP WHEELCHAIR ACCESS 5' x CIRCLE
4. HANDICAP WHEELCHAIR SEATING AREA, 5 PROVIDED, SEE DETAILS SHEET H.1
5. UTILITY SINK
6. FIRE MAIN
7. STACKABLE CHAIRS
8. SOUND BOOTH
9. NEW WHEELCHAIR LIFT, MANUF.: HAMER LIFT MODEL: CLF400 OR EQUAL STANDARDS ETL LISTED 3148125: C&A B44.1/ANSI A115 - ELEVATOR & ESCALATOR EQUIP
10. CUSTOM PREFABRICATED PORTABLE PLATFORM 24" HIGH W/STAIRS MANUF.: THE STAGE DEPOT, 21102 CROWN VALLEY PKWY, SUITE D-4 #114, LADERA RANCH, CA 92694, 811-804-3426 OR EQ.
11. CUSTOM PREFABRICATED PORTABLE STAIRS WITH HANDRAILS BOTH, 42" WIDE, 3-TREADS @ 11" & 4-RISERS @ 6" SIDES, MANUF.: THE STAGE DEPOT OR EQ.
12. FOLD DOWN CHANGING TABLE
13. 400 AMP ELECTRICAL PANEL
14. PHONE PANEL
15. PROVIDE TACTILE EXIT SIGNS, SEE SHEET H.1
16. SEMI-AMBULATORY SEATING, 3 REQUIRED PER 2013 CBC SEC. 1104.3.3

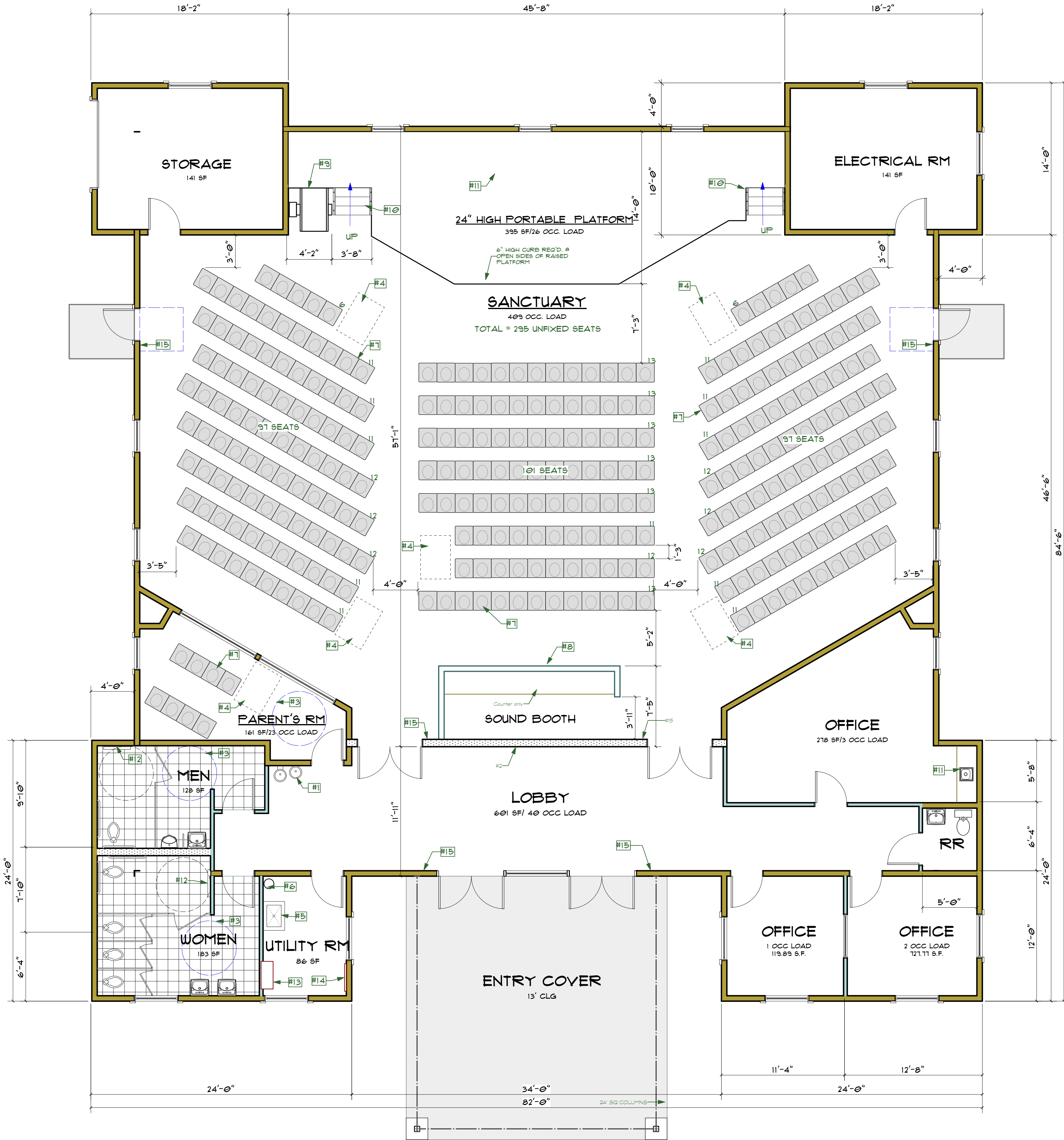
OCCUPANCY LOADS

AREA	GROUP	NET SF	LOAD FACTOR	LOAD
PROPOSED SANCTUARY				
SANCTUARY	A-3	2848	1 SF PER PERSON	401
PLATFORM	A-3	395	15 SF PER PERSON	26
PARENT'S ROOM	A-3	221	1 SF PER PERSON	32
LOBBY	A-3	601	15 SF PER PERSON	40
OFFICE	A-3	519	100 SF PER PERSON	6
RESTROOMS & STORAGE	A-3	389	N/A	
TOTAL SANCTUARY BUILDING				511
SUNDAY SCHOOL BUILDING (PRESENT SANCTUARY)				
SUNDAY SCHOOL	A-3	1700	20 SF PER PERSON	85
OFFICE	A-3	144	100 SF PER PERSON	2
KITCHEN	A-3	264	200 SF PER PERSON	3
STORAGE & RESTROOMS	A-3	280	N/A	
TOTAL SANCTUARY BUILDING				90
SUNDAY SCHOOL MODULAR	A-3	1440	20 SF PER PERSON	72
COMBINED OCCUPANCY				673

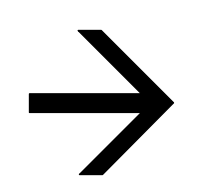
PLUMBING FACILITIES

* BASED ON 2016 CFC, TABLE 422.1 FOR MIN. FIXTURE & TABLE 'A' FOR OCCUPANCY LOAD
 5716 GROSS SF / 30=193 PER 2016 CFC TABLE 'A.3'

AREA	GROUP	LOAD*	SEX	W/C	LAVT	URNAL	FOUNTAIN
SANCTUARY-WORSHIP PLACE	A-3	193/50 PER	M	2	1	1	1
& WORSHIP EDUCATIONAL		SEX	F	3		N/A	



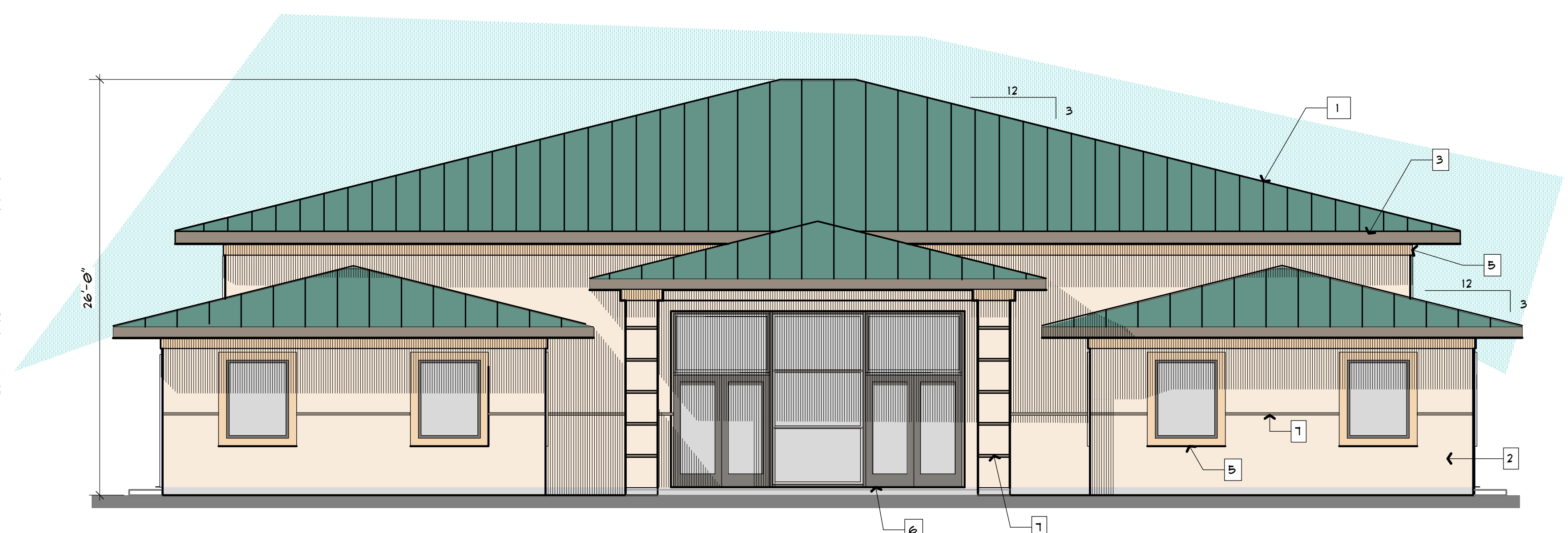
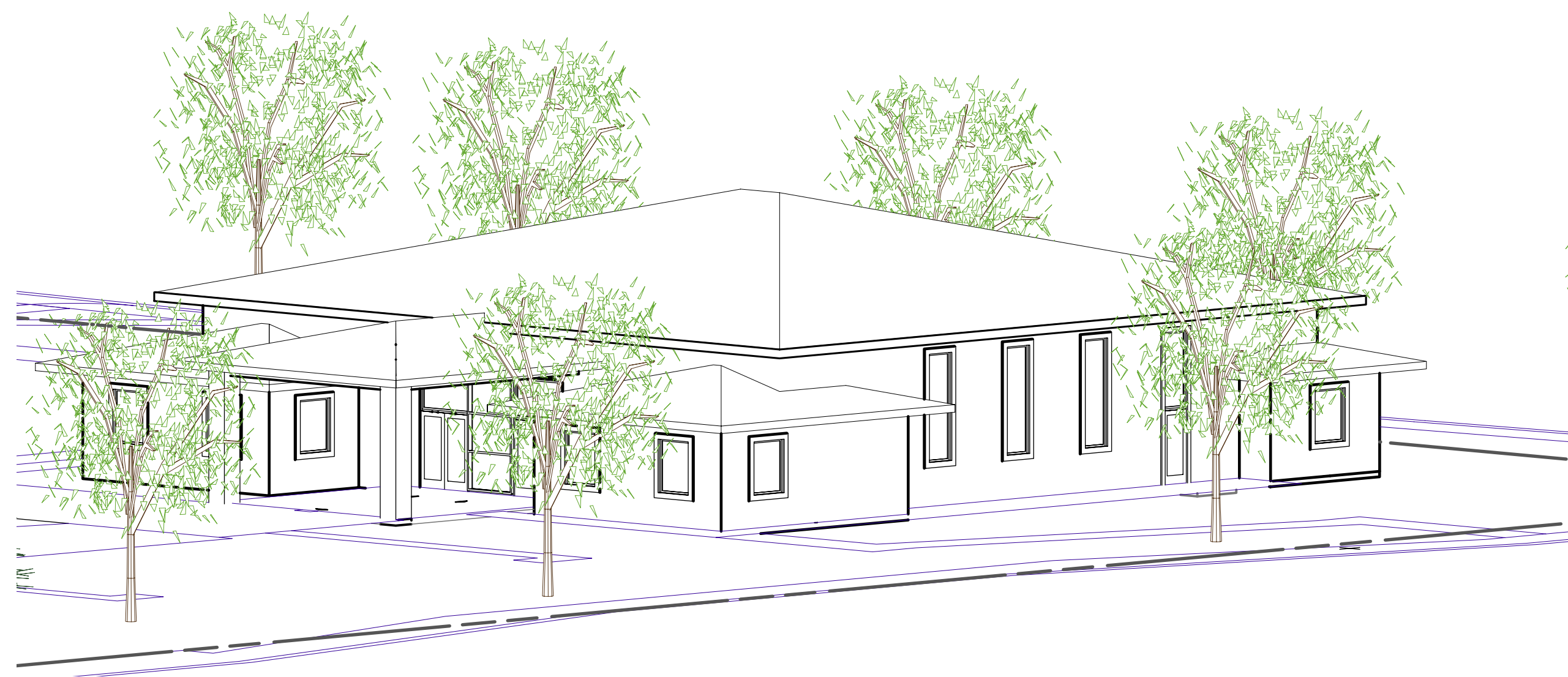
FLOOR PLAN
 SCALE: 3/16" = 1'-0"



REVISIONS	
1	A
2	B
3	C

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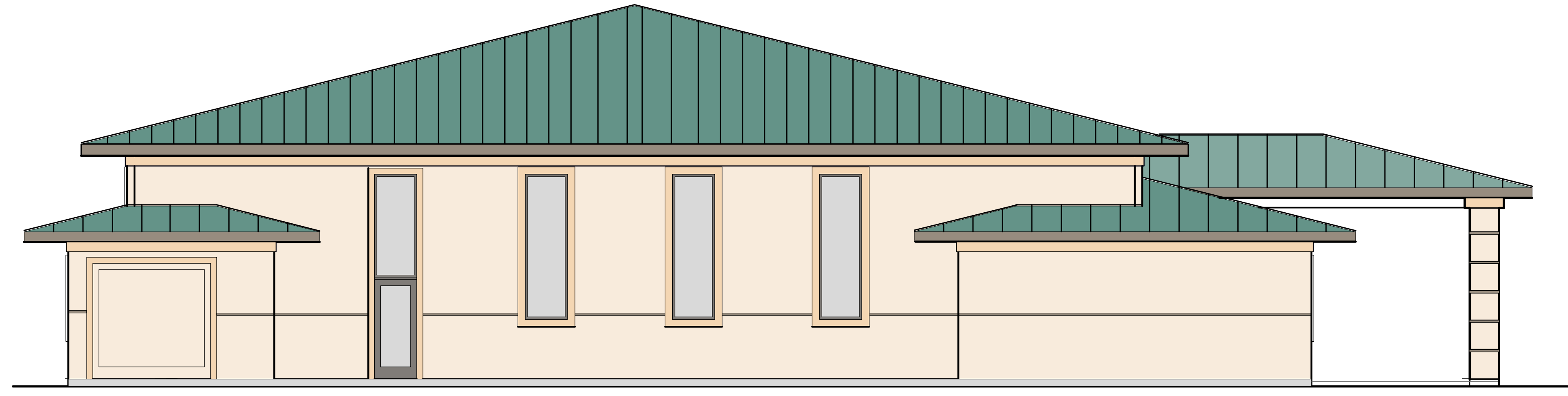
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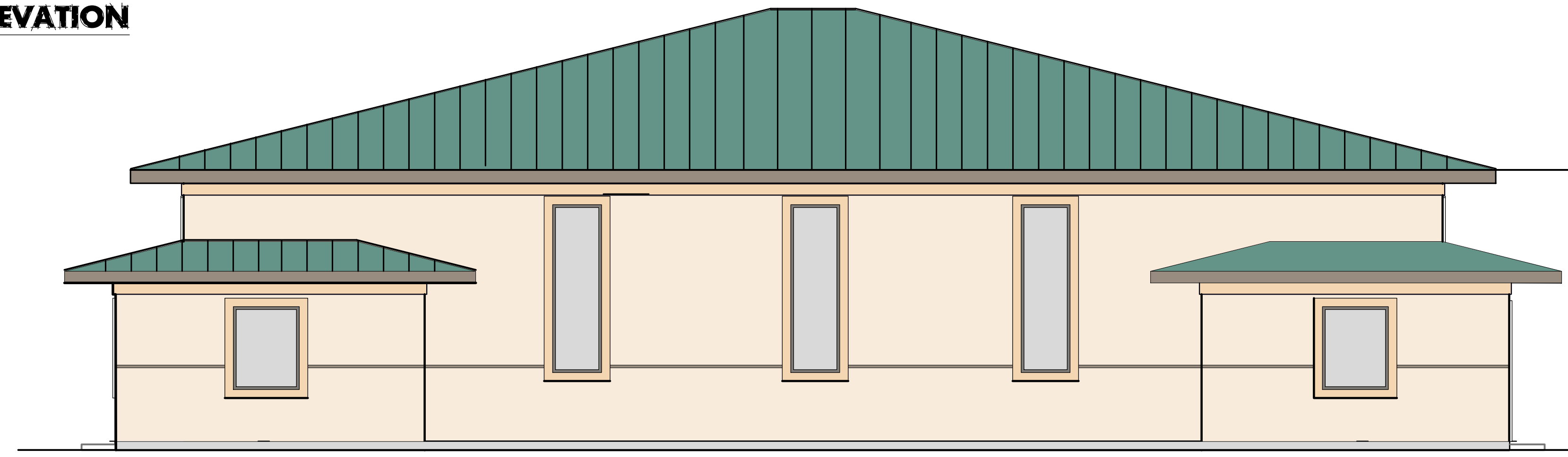
EAST ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATION NOTES

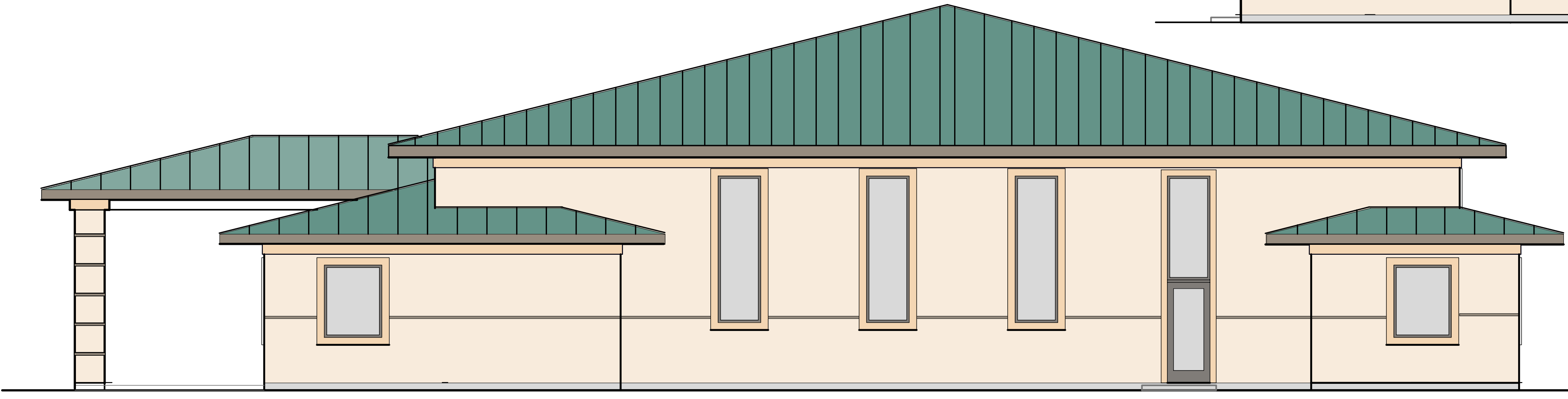
- 1 ROOF MATERIAL - CLASS A METAL RIB ROOFING. REFER TO COLOR CHART
- 2 EXTERIOR WALL COVERING - 1/8" PLASTER O/ GRADE "D" BUILDING PAPER. USE (2) LAYERS GRADE "D" PAPER AT WOOD BASE SHEATHING. MIN. 60 MINUTE BUILDING PAPER FOR STUCCO W/ NO PLYWOOD BACKING. EXTERIOR STUCCO SHALL COMPLY WITH CBC 2013 CHAPTER 25. PROVIDE 26 GA. FLASHING. REFER TO COLOR CHART
- 3 FASCIA OR BARGE DETAIL - REFER TO COLOR CHART
- 4 CONCRETE WALK OR LANDING. LANDINGS AT DOORS TO BE MIN. 36" BY WIDTH OF DOOR.
- 5 STUCCO TRIM - REFER TO COLOR CHART
- 6 WINDOW AND DOOR TRIM - REFER TO COLOR CHART
- 7 2" GALV. CHANNEL - REFER TO COLOR CHART



SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



WEST ELEVATION
 SCALE: 3/16" = 1'-0"



NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

project: **NEW LIFE FELLOWSHIP**
 JOB SITE: **24551 IRONWOOD AVE**
MORENO VALLEY CA 92551

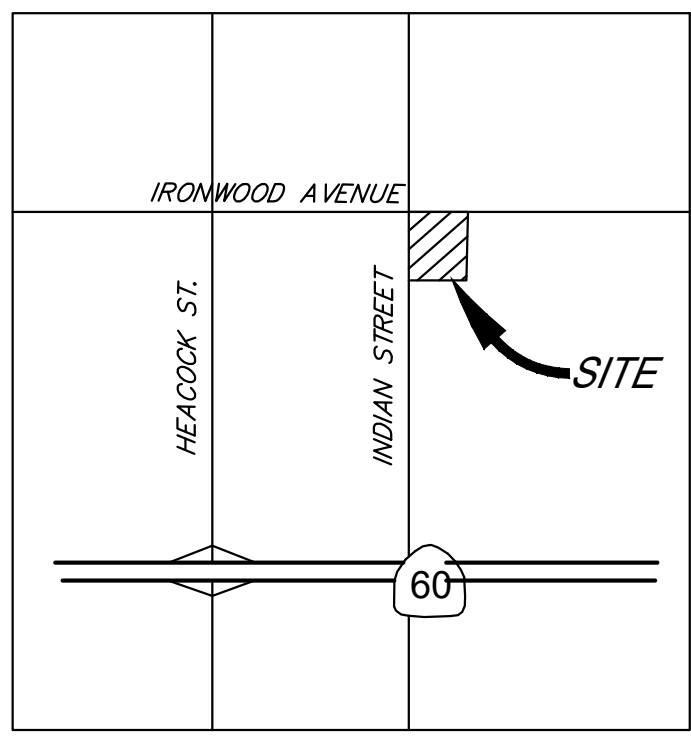
sheet description:
EXTERIOR ELEVATIONS
EXTERIOR ISOMETRIC

NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED AT THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOB YBARRA PRIOR TO COMMENCEMENT OF ANY WORK.

date: 01/29/13
 scale: AS NOTED
 drawn by: B. YBARRA
 job number: 12-11
 sheet:

A.3 of XX

NEW LIFE FELLOWSHIP PRELIMINARY GRADING PLAN 24551 IRONWOOD AVENUE AUGUST 2019



OWNER
PASTOR JIM SAMPLES
NEW LIFE FELLOWSHIP
24551 IRONWOOD AVENUE
MORENO VALLEY, CA. 92557
PASTOR.JIM@NEWLIFEWOALV.ORG

ENGINEER
SDH & ASSOCIATES INC.
5225 CANYON CREST DRIVE 71-439
RIVERSIDE, CA. 92507
PHONE (951) 683-3691
FAX (951) 788-2314
ROB@SDHINC.NET

SITE ADDRESS
24551 IRONWOOD AVENUE
MORENO VALLEY, CA. 92557

SOURCE OF TOPOGRAPHY
FIELD TOPO BY RALSTON SURVEYING ON
APRIL 1 2015. R.V. CO. B.M. H-127-68
PER CITY IMP. PLAN 89-22 90-1273
ELEV.: 1678.40

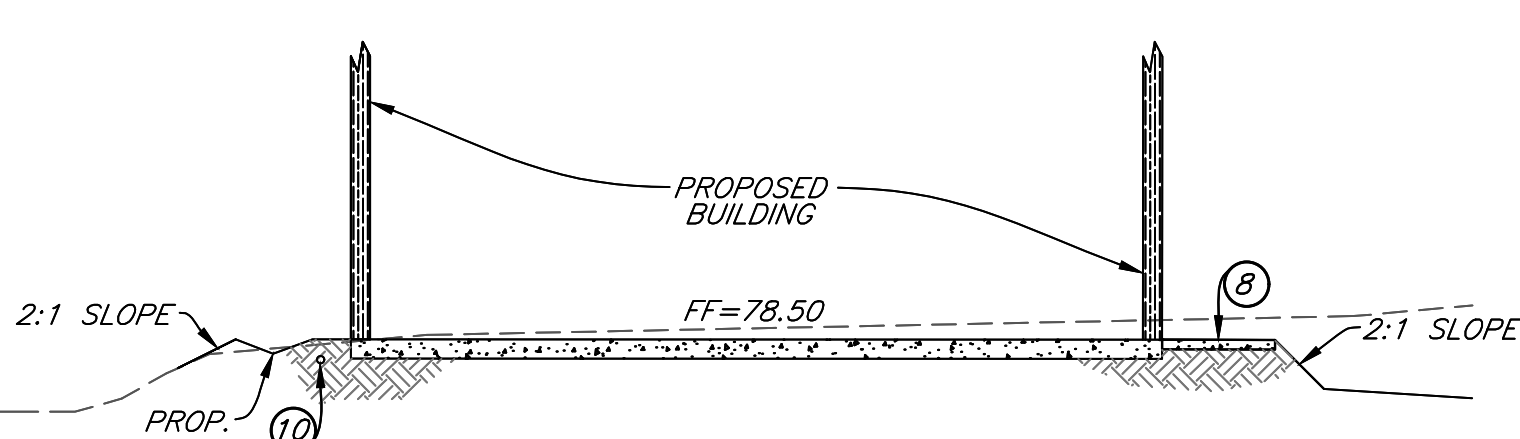
LEGAL DESCRIPTION
PORTION OF LOT 1, BLK 3, M.B.
009/017 SUNNYMEAD ORCHARD
TRACT

ASSESSORS PARCEL NO.
481-341-020

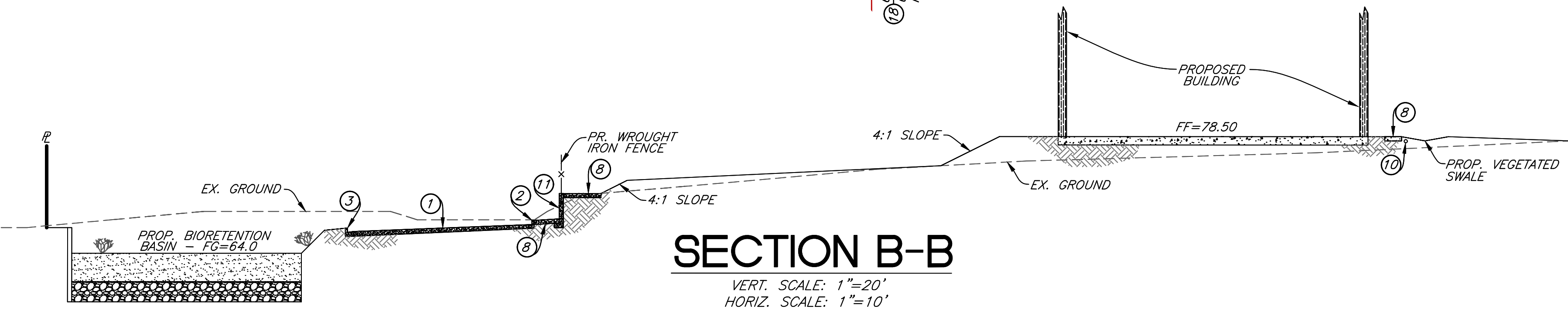
PROJECT INFORMATION
PARCEL SIZE: 2.53 AC
PROPOSED AREA OF DISTURBANCE: 31,928 S.F.
EXISTING IMPERVIOUS COVERAGE: 29,459 S.F.
PROPOSED IMPERVIOUS COVERAGE: 61,387 S.F.
APPROXIMATE EARTHWORK:
CUT:
FILL:
EXISTING LAND USE: INSTITUTIONAL
PROPOSED LAND USE: INSTITUTIONAL
EXISTING GEN. PLAN DES.:
PROP. GEN. PLAN DES.:
EXISTING ZONING: R5
PROPOSED ZONING: R5
FLOOD ZONE: X

LEGEND

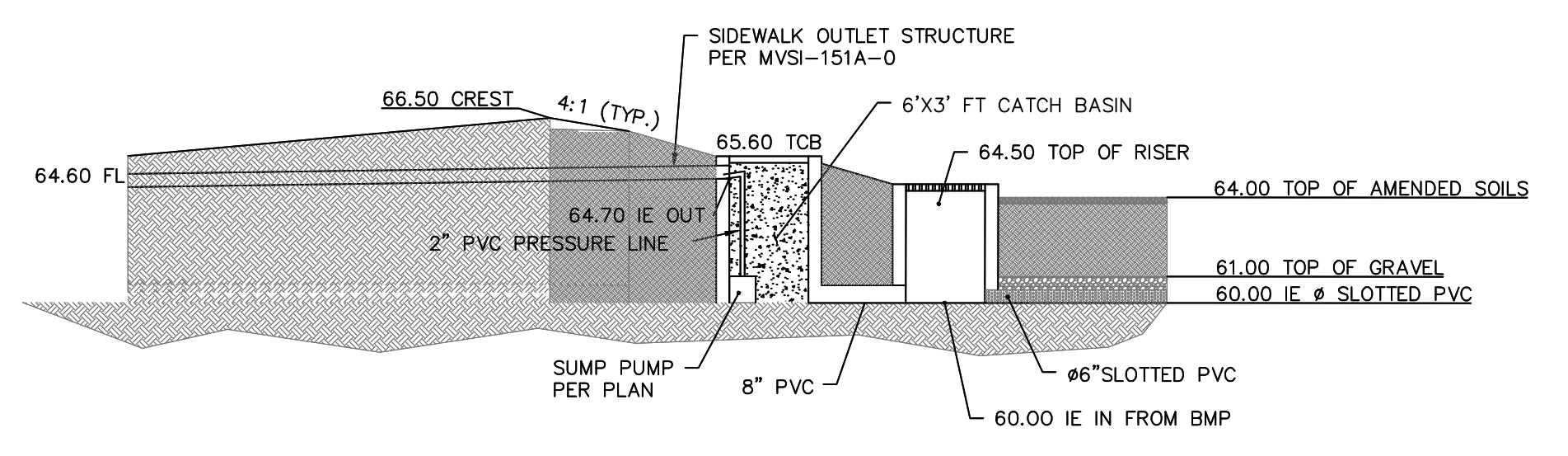
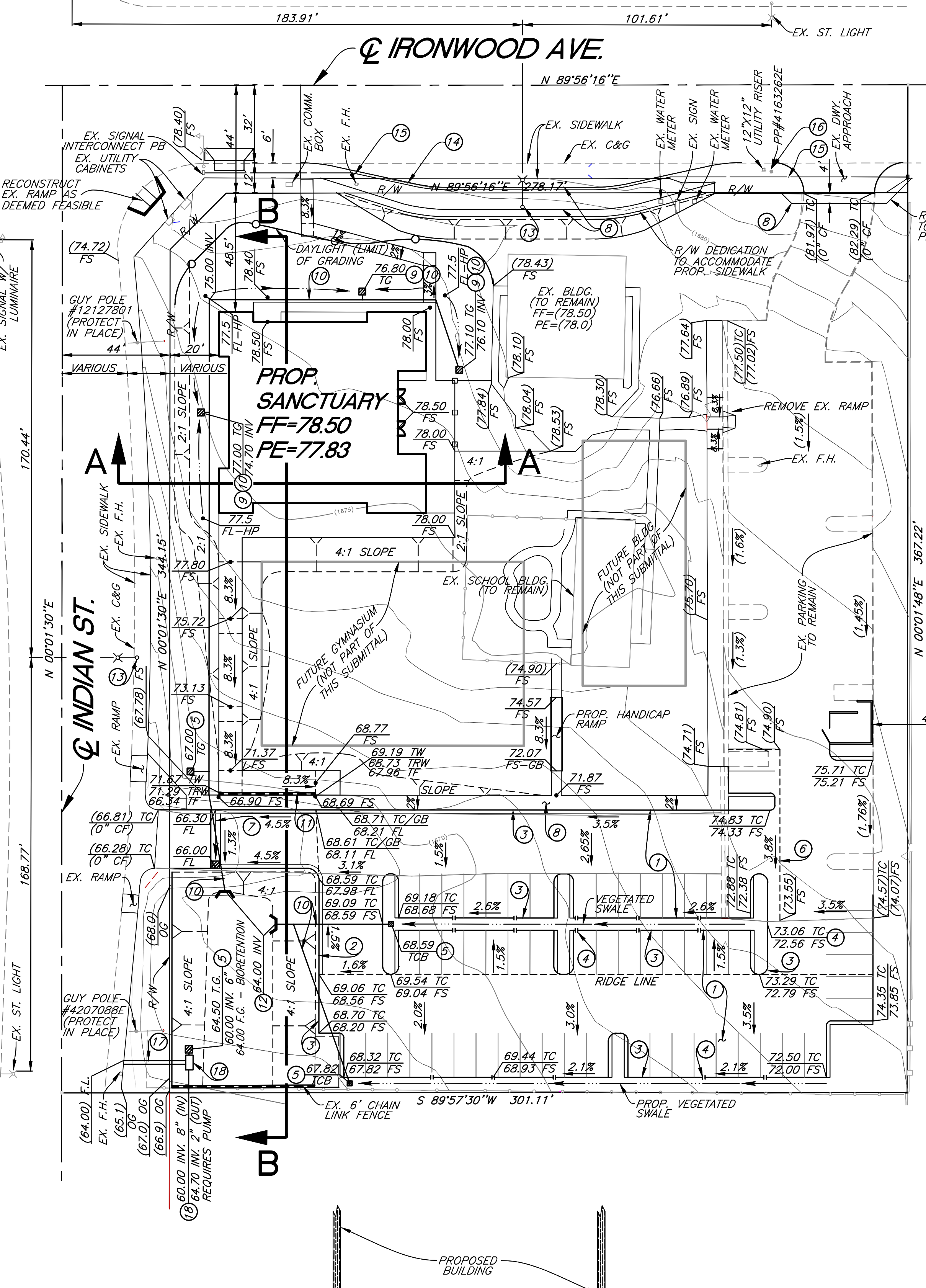
BSL - BUILDING SETBACK LINE	1280	EXISTING CONTOUR LINE
INV. - INVERT	85	PROPOSED CONTOUR LINE
F.F. - FINISHED FLOOR		EXISTING RIGHT OF WAY
F.S. - FINISHED SURFACE		PROPERTY LINE
F.G. - FINISHED GRADE		CENTERLINE
F.L. - FLOW LINE		CURB AND GUTTER
L.P. - LOW POINT		FLOWLINE
H.P. - HIGH POINT		RIDGELINE
PROP. - PROPOSED		SLOPE
EXIST. - EXISTING		RETAINING WALL
P.E. - PAD ELEVATION		BLOCK WALL
G.B. - GRADE BREAK		SCREEN WALL
L.S. - LANDSCAPE		STEM WALL
TG - TOP OF GRATE		



SECTION A-A
VERT. SCALE: 1"=20'
HORIZ. SCALE: 1"=10'



SECTION B-B
VERT. SCALE: 1"=20'
HORIZ. SCALE: 1"=10'



OUTLET STRUCTURE DETAIL
NOT TO SCALE

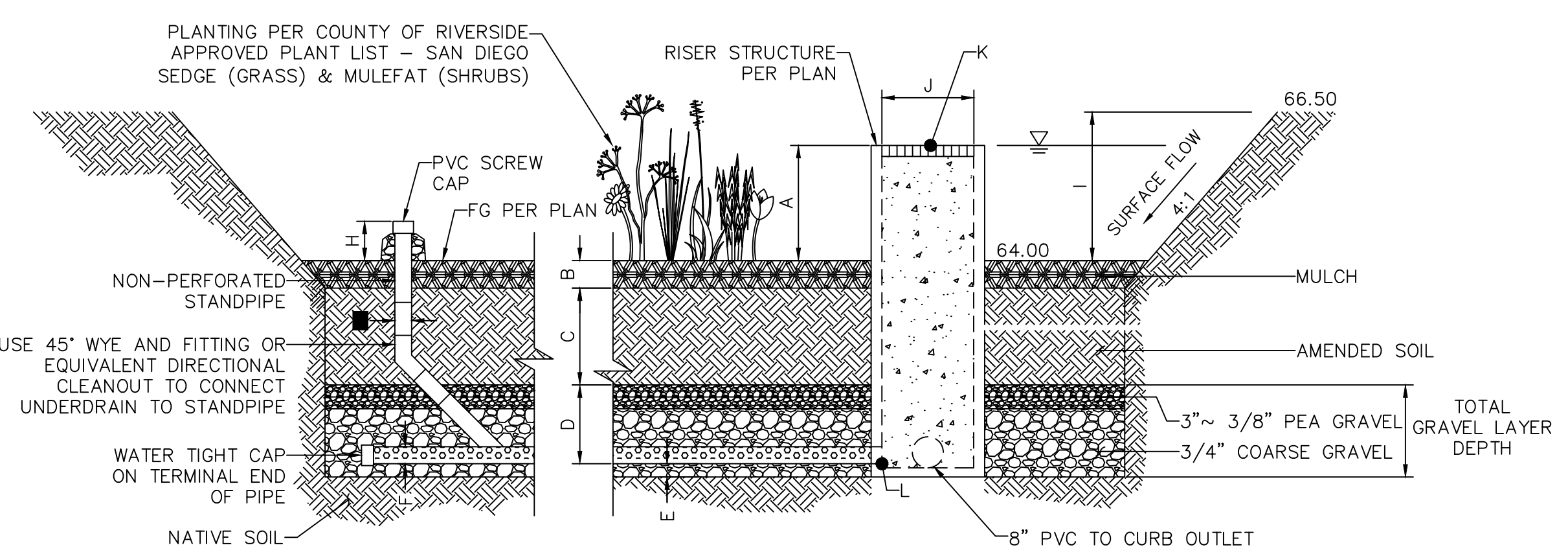
CONSTRUCTION NOTES

- 1) CONSTRUCT A.C. PAVING
- 2) CONSTRUCT 6" CURB AND GUTTER PER CITY STANDARD MVS1-120A-0
- 3) CONSTRUCT 6" CURB ONLY
- 4) CONSTRUCT 12" GAP IN CURB TO CONVEY DRAINAGE TO BIO SWALE (APPROXIMATELY 25' O.C.)
- 5) CONSTRUCT 18" DRAIN BOX
- 6) SAWCUT AND JOIN EX. PAVEMENT
- 7) CONSTRUCT 5' WIDE CROSS GUTTER
- 8) CONSTRUCT CONCRETE SIDEWALK PER CITY STANDARD MVS1-115A-0
- 9) CONSTRUCT 12" CATCH BASIN
- 10) CONSTRUCT PVC/ADS DRAIN PIPE
- 11) CONSTRUCT RETAINING WALL
- 12) CONSTRUCT HEADWALL PER CALTRANS STD. D-86B
- 13) INSTALL PUBLIC STREET LIGHT PER CITY STANDARD MVL1-400B-1
- 14) CONSTRUCT BUS TURNOUT PER CITY STANDARD MVS1-161-0
- 15) INSTALL TRAFFIC SIGNAL INTERCONNECT PER CITY STANDARD MVS1-186-0
- 16) REMOVE EXISTING P.P. AND UNDERGROUND EXISTING FACILITIES.
- 17) CONSTRUCT MODIFIED UNDER-SIDEWALK DRAIN PER MVS1-151A-0
- 18) CONSTRUCT 6' X 3' CONCRETE OVERFLOW VAULT

TABULATED DATA

	BMP 1
A	6"
B	3"
C	33"
D	12"
E	3"
F	6"
G	6"
H	3"
I	30"
J ⁽¹⁾	36"X36"
K = TOP OF GRATE ELEV. 64.5	
L = IE (UNDERDRAIN AND OUTFLOW) 60.0	

NOTES:
(1) INTERNAL DIMENSIONS OF RISER STRUCTURE.



BIORETENTION CELL DETAIL
NOT TO SCALE

- NOTES:
1. SOIL MIX PER COUNTY OF RIVERSIDE LID HANDBOOK
 2. "WELL DRAINED SOIL" SHALL BE "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL.

SEAL: 	PREPARED BY: SDH AND ASSOCIATES INC. 5225 CANYON CREST DRIVE 71439 RIVERSIDE, CALIFORNIA 92507 TEL: (951) 683-3691 FAX: (951) 788-2314	CITY OF RIVERSIDE PRELIMINARY GRADING PLAN NEW LIFE FELLOWSHIP 24551 IRONWOOD AVENUE	1 OF 1 SHEETS
	SCALE: 1"=30' DATE: JULY 2019		

Color Chart

Project:
New Life Fellowship
P15-050

Location
24551 Ironwood Ave
Moreno Valley CA 92557

<p>Roofing: STANDING SEAM METAL Manuf.: Petersen Aluminum Corporation Color: Arcadia Green</p>	
<p>Exterior Body: STUCCO Manuf.: La Habra Stucco Color: Silverado</p>	
<p>Exterior Trim: STUCCO Manuf.: La Habra Stucco Color: Adobe</p>	
<p>Fascia: REGAL RED Manuf.: Behr Color: #790B-4 Puddle</p>	

Attachment: Project Plans [Revision 1] (4178 : PEN16-0034 Amended CUP for a Church)

Aerial Map



Legend

- Public Facilities
 - Public Facilities
 - ★ Fire Stations
- Parcels
- ⊞ City Boundary
- ⊞ Sphere of Influence

Image Source: Nearmap

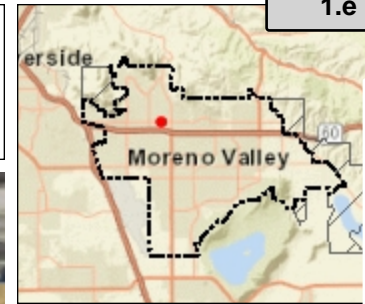
Notes:

PEN16-0034 Amended Conditional Us Permit

157.7 0 78.87 157.7 Feet

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Residential 5 (R5) District



Legend

Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

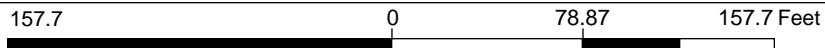
Road Labels

- Parcels
- City Boundary
- Sphere of Influence

Image Source: Nearmap

Notes:

PEN16-0034 Amended Conditional Use Permit



DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Attachment: Zoning Map [Revision 1] (4178 : PEN16-0034 Amended CUP for a Church)



City of Moreno Valley
 Community Development Department
 Planning Division
 City Hall Council Chamber
 14177 Frederick Street
 Moreno Valley, CA 92553

NOTICE OF PUBLIC HEARING (VIA TELECONFERENCE ONLY)

PURSUANT TO COVID-19 GOVERNOR EXECUTIVE ORDER N-29-20



Notice of Teleconferenced Public Hearing before the Planning Commission of City of Moreno Valley:

DATE & TIME: October 22, 2020 at 7:00 P.M. **VIA TELECONFERENCE ONLY**

COVID-19 TELECONFERENCE INSTRUCTIONS:

For Teleconference Meeting public participation instructions please see agency website at: <http://morenovalleyca.igam2.com/Citizens/default.aspx>

PROJECT LOCATION: 24551 Ironwood Avenue (APN: 481-341-020), District 1

CASE NUMBER(s): PEN16-0034

CASE PLANNER: Gabriel Diaz, Associate Planner
 (951) 413-3226 or gabrield@moval.org

<APN>
 <Property Owner>
 <Street Address>
 <City, State, Zip>

NOTICE OF PUBLIC HEARING

1.f

PROPOSAL: A proposal for an Amended Conditional Use Permit for a new 5,776 square foot Sanctuary building, and use the existing 2,400 square foot Sanctuary building for Children's Sunday School. The property is zoned Residential 5 (R5) District.

ENVIRONMENTAL DETERMINATION: This project is an existing church facility that the applicant is proposing to expand by less than 10,000 square feet. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 for Existing Facilities.

PUBLIC HEARING: All interested parties will be provided an opportunity to submit oral testimony during the teleconferenced Public Hearing and/or provide written testimony during or prior to the teleconferenced Public Hearing. The application file and related environmental documents may be inspected by appointment at the Community Development Department at 14177 Frederick Street, Moreno Valley, California by calling (951) 413-3206 during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday).

COVID-19 – IMPORTANT NOTICES: Please note that due to the COVID-19 pandemic situation, staff will attempt to make reasonable arrangements to ensure accessibility to inspect the aforementioned records. **In addition, special instructions on how to effectively participate in the teleconferenced Public Hearing, as approved by Governor Executive Order N-25-20, will be posted at <http://morenovalleyca.igam2.com/Citizens/default.aspx> and will be described in the Planning Commission agenda.**

PLEASE NOTE: The Planning Commission may consider and approve changes to the proposed items under consideration during the teleconferenced Public Hearing.

GOVERNMENT CODE § 65009 NOTICE: If you challenge any of the proposed actions taken by the Planning Commission in court, you may be limited to raising only those issues you or someone else raised during the teleconferenced Public Hearing described in this notice, or in written correspondence delivered to the Planning Division of the City of Moreno Valley during or prior to, the teleconferenced Public Hearing.

Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility.

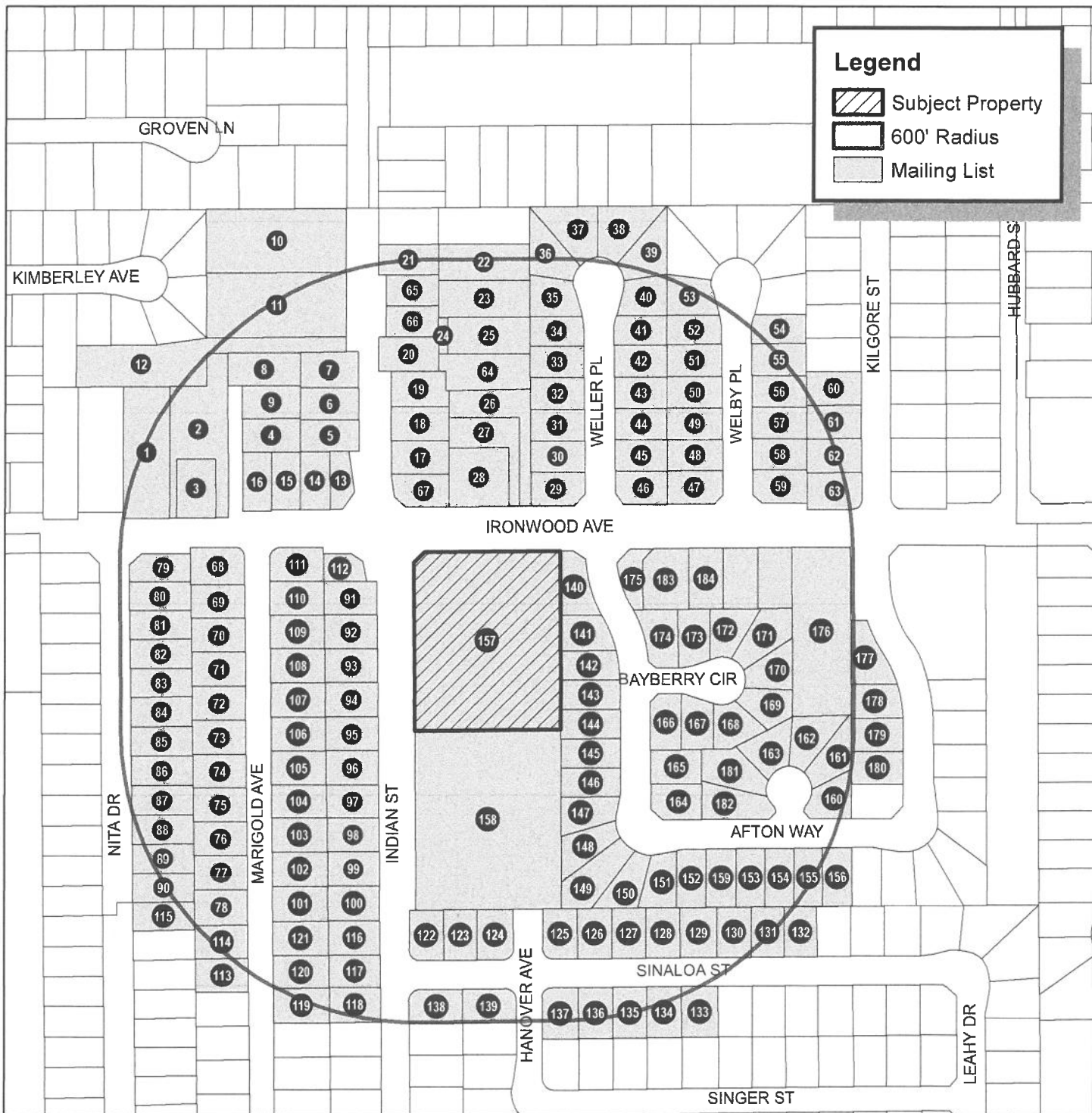
RADIUS MAP 600'

SUBJECT PROPERTY

ADDRESS: 24551 IRONWOOD AVE., MORENO VALLEY, CA 92557
APN: 481-341-020

Graphic Data Source

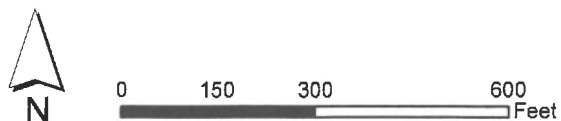
Riverside County Geographic Information System
Base Parcel Database (Derived from APN Maps)
Coordinate System: NAD 1983 StatePlane California V FIPS 0405 Feet
Datum: North American 1983



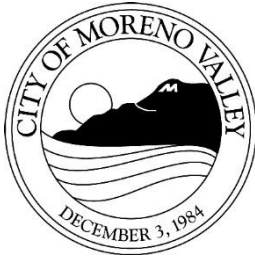
Attachment: 600 Foot Radius Map (4178 : PEN16-0034 Amended CUP for a Church)

Latest equalized assessment rolls obtained from the Riverside County Assessor's Office through ParcelQuest, a vendor service on 4/24/2020

ORDER NO. 2020-60



www.radiusmaps4less.com | (909) 997-9357



PLANNING COMMISSION

STAFF REPORT

Meeting Date: October 22, 2020

CONDITIONAL USE PERMIT FOR A 900 SQUARE FOOT SMOKE SHOP NAMED "SMOKE N CELL"

Case:	PEN20-0091 Conditional Use Permit
Applicant:	Gazi Amir
Property Owner	Moreno Valley Plaza Ltd.
Representative	Gazi Amir
Location:	23819 Sunnymead Boulevard, Suite B, on the south side of Sunnymead Boulevard approximately 1,000 feet west of Heacock Street Assessor's Parcel Number 292-100-016
Case Planner:	Julia Descoteaux
Council District:	1
Proposal	Conditional Use Permit for a 900 square foot smoke shop named "Smoke N Cell"

SUMMARY

The applicant, Gazi Amir, is requesting approval of a Conditional Use Permit (CUP) to allow for a 900 square foot smoke shop named "Smoke N Cell" in the Moreno Valley Plaza in the Village Specific Plan SP 204, Community Commercial zoning district.

PROJECT DESCRIPTION

Project

The applicant is proposing to relocate his existing smoke shop to the proposed site at 23819 Sunnymead Boulevard from its existing location at 23031 Sunnymead Boulevard. Smoke shops are generally defined in Section 9.15.030 (Definitions) of the Moreno Valley Municipal Code as establishments selling products intended or designed for use in ingesting or inhaling tobacco, including but not limited to tobacco products, electronic cigarettes, and smoking accessories. The applicant will continue the same operations of the existing smoke shop at the new location with the sales of tobacco and related products between the hours of 9:00 am to 9:00 pm. There are no cannabis sales associated with smoke shop operations. The applicant is not proposing any exterior modifications to the building or site as part of the proposed project.

Site and Surrounding Area

The proposed smoke shop will be located within the existing Moreno Valley Plaza on the south side of Sunnymead Boulevard west of Heacock Street. The site is located in the Sunnymead Village Specific Plan 204 Community Commercial land use district. The Sunnymead Village Specific Plan 204 Community Commercial land use district is subject to the development standards and permitted uses table of the City's Municipal Code Community Commercial (CC) District. A smoke shop is a conditionally permitted use in the Community Commercial (CC) District. The proposed location meets the separation requirements for smoke shops from various uses including schools, churches, and other smoke shops.

The surrounding parcels to the north, east and west are located within the Specific Plan 204 Community Commercial land use district and are developed with a combination of retail and service uses. To the south are existing single family residences within the Residential 5 (R5) District.

Access/Parking

The project is accessible from existing driveways along Sunnymead Boulevard and Heacock Street.

Existing parking spaces within the Moreno Valley Plaza will adequately serve the proposed use and all existing uses, as the proposed smoke shop requires the same number of parking spaces (4 spaces) as the previous retail use within the suite.

REVIEW PROCESS

The project was reviewed by the Planning Division for consistency with the Municipal Code and routed to the Moreno Valley Police Department for their review.

ENVIRONMENTAL

Staff recommends that the Planning Commission find that the proposed Project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 32 Exemption (Section 15332, In-Fill Development

Projects). Pursuant to the California Code of Regulations a Class 32 Exemption can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services. The proposed Project has been found to meet all of the conditions of the Class 32 exemption as the Project is consistent with the applicable General Plan designation and policies; is associated with the reuse of an existing 900 square foot tenant space; contains no valuable habitat for rare or endangered species; will not result in significant environmental effects; and is adequately served by utilities and public services.

NOTIFICATION

Public notice was sent to all property owners of record within 600' of the Project on October 8, 2020. The public hearing notice for this project was posted on the Project site and published in the local newspaper on October 9, 2020.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2020-40:

1. DETERMINING that Conditional Use Permit PEN20-0091 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development Projects); and
2. APPROVE Conditional Use Permit PEN20-0091 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Prepared by:
Julia Descoteaux
Associate Planner

Approved by:
Patty Nevins
Planning Official

ATTACHMENTS

1. Resolution 2020-40
2. Exhibit A to Resolution 2020-40
3. Project Plans
4. Aerial Map
5. Zoning Map
6. Mailing Notice - PEN20-0091
7. Radius Map

RESOLUTION NUMBER 2020-40

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT PEN20-0091 FOR A SMOKE SHOP LOCATED AT 23819 SUNNYMEAD BOULEVARD AND A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

WHEREAS, the City of Moreno Valley (“City”) is a general law city and a municipal corporation of the State of California; and

WHEREAS, Gazi Amir (“Applicant”) has filed an application for the approval of Conditional Use Permit PEN20-0091 (“Application”) for the development of a Smoke Shop named “Smoke N Cell” in an existing 900 square foot suite within the Moreno Valley Plaza (“Project”) located at 23819 Sunnymead Boulevard, Suite B (“Site”); and

WHEREAS, Section 9.02.060 (“Conditional Use Permits”) of the Moreno Valley Municipal Code acknowledges that the purpose of conditional use permits is to allow the establishment of uses that may have special impacts or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location and that the conditional use permit application process involves the review of location, design and configuration of improvements related to the project, and the potential impact of the project on the surrounding area based on fixed and established standards; and

WHEREAS, the Application has been evaluated in accordance with Section 9.02.060 (“Conditional Use Permits”) of the Municipal Code with consideration given to the City’s General Plan, Zoning Ordinance, Specific Plan 204 and other applicable laws and regulations; and

WHEREAS, Section 9.02.060 of the Municipal Code imposes conditions of approval upon projects for which a CUP is required, which conditions may be imposed by the Planning Commission to address on-site improvements, off-site improvements, the manner in which the site is used and any other conditions as may be deemed necessary to protect the public health, safety and welfare to ensure that the proposed Project will be developed in accordance with the purpose and intent of Title 9 (“Planning and Zoning”) of the Municipal Code; and

WHEREAS, pursuant to the provisions of Section 9.02.200 (“Public hearing and notification procedures”) of the Municipal Code and Government Code Section 65905, a public hearing was scheduled for October 22, 2020, and notice thereof was duly published and posted, and mailed to all property owners of record within 600 feet of the Site; and

WHEREAS, on October 22, 2020, the public hearing to consider the Application was duly conducted by the Planning Commission at which time all interested persons were provided with an opportunity to testify and to present evidence; and

WHEREAS, consistent with the requirements of Section 9.02.060 (“Conditional Use Permits”) of the Municipal Code, at the public hearing the Planning Commission considered Conditions of Approval Nos. 1 through 16 to be imposed upon Conditional Use Permit PEN20-0091 (“CUP”), which conditions were prepared by Planning Division staff who deemed said conditions to be necessary to protect the public health, safety and welfare and to ensure the proposed Project will be developed in accordance with the purpose and intent of Title 9 (“Planning and Zoning”) of the Municipal Code; and

WHEREAS, at the public hearing, the Planning Commission reviewed and considered the Planning Division’s recommendation that the proposed Project is Categorical Exempt from the provisions of the California Environmental Quality Act (CEQA¹) under CEQA Guidelines² Section 15332 (In-Fill Development Projects) which can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services; and

WHEREAS, at the public hearing, the Planning Commission reviewed and considered whether each of the requisite findings specified in Section 9.02.060 of the Municipal Code and set forth herein could be made with respect to the proposed Project as conditioned by Conditions of Approval Nos.1 through 16

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. Recitals and Exhibits

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

Section 2. Notice

That pursuant to Government Code section 66020(d)(1), notice is hereby given that the proposed project is subject to certain fees, dedications, reservations and other exactions as provided herein.

Section 3. Evidence

That the Planning Commission has considered all of the evidence submitted into the administrative record for the proposed CUP, including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;

¹ Public Resources Code §§ 21000-21177

² 14 California Code of Regulations §§15000-15387

- (c) Application for the approval of Conditional Use Permit (CUP) PEN20-0091 and all documents, records and references contained therein;
- (d) Conditions of Approval for CUP PEN20-0091, attached hereto as Exhibit A;
- (e) Staff Report prepared for the Planning Commission's consideration and all documents, records and references related thereto, and Staff's presentation at the public hearing;
- (f) Staff's determination that the proposed Project is categorically exempt in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- (g) Testimony and/or comments from Applicant and its representatives during the public hearing; and
- (h) Testimony and/or comments from all persons that was provided in written format or correspondence, at, or prior to, the public hearing.

Section 3. Findings

That based on the content of the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission makes the following findings:

- (a) The proposed Project is consistent with the goals, objectives, policies and programs of the General Plan;
- (b) The proposed Project complies with all applicable zoning and other regulations;
- (c) The proposed Project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity; and
- (d) The location, design and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity.

Section 4. Determination of Categorical Exemption

That the Planning Commission hereby determines that the proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 (In-Fill Development Projects).

Section 4. Notice of Exemption

That the Planning Division is hereby directed to prepare, execute, and file a Notice of Exemption as required by Section 5.2 (Noticing Requirements) of the City's Rules and Procedures for the Implementation of the California Environmental Quality Act and CEQA Guidelines Section 15062.

Section 5. Approval

That based on the foregoing Recitals, Administrative Record and Findings, the Planning Commission hereby approves CUP PEN20-0091 subject to the Conditions of Approval for CUP PEN20-0091, attached hereto as Exhibit A.

Section 6. Repeal of Conflicting Provisions

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

Section 7. Severability

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

Section 8. Effective Date

That this Resolution shall take effect immediately upon the date of adoption.

Section 9. Certification

That the Secretary of the Planning Commission shall certify to the passage of this Resolution.

PASSED AND ADOPTED THIS _____ day of _____, 2020.

CITY OF MORENO VALLEY
PLANNING COMMISSION

Patricia Korzec, Chairperson

ATTEST:

Patty Nevins,
Planning Official

APPROVED AS TO FORM:

Steven B. Quintanilla,
Interim City Attorney

Exhibits:
Exhibit A: Conditions of Approval

Attachment: Resolution 2020-40 [Revision 6] (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)

Exhibit A

CONDITIONS OF APPROVAL

Attachment: Resolution 2020-40 [Revision 6] (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)

CONDITIONS OF APPROVAL

Exhibit A

Conditional Use Permit (PEN20-0091)

Page 1

CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Conditional Use Permit (PEN20-0091)

EFFECTIVE DATE:

EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENT**Planning Division**

1. A change or modification to the land use or the approved site plans may require a separate approval. Prior to any change or modification, the property owner shall contact the City of Moreno Valley Community Development Department to determine if a separate approval is required.
2. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
3. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
4. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (applicable to CUP's)
5. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
6. This project is located within Sunnymead Village Specific Plan 204. The provisions of the specific plan, the design manual, their subsequent amendments, and the Conditions of Approval shall prevail unless modified herein. (MC 9.13)
7. Any signs indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)

Attachment: Exhibit A to Resolution 2020-40 [Revision 1] (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN20-0091)

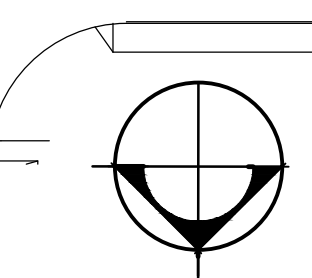
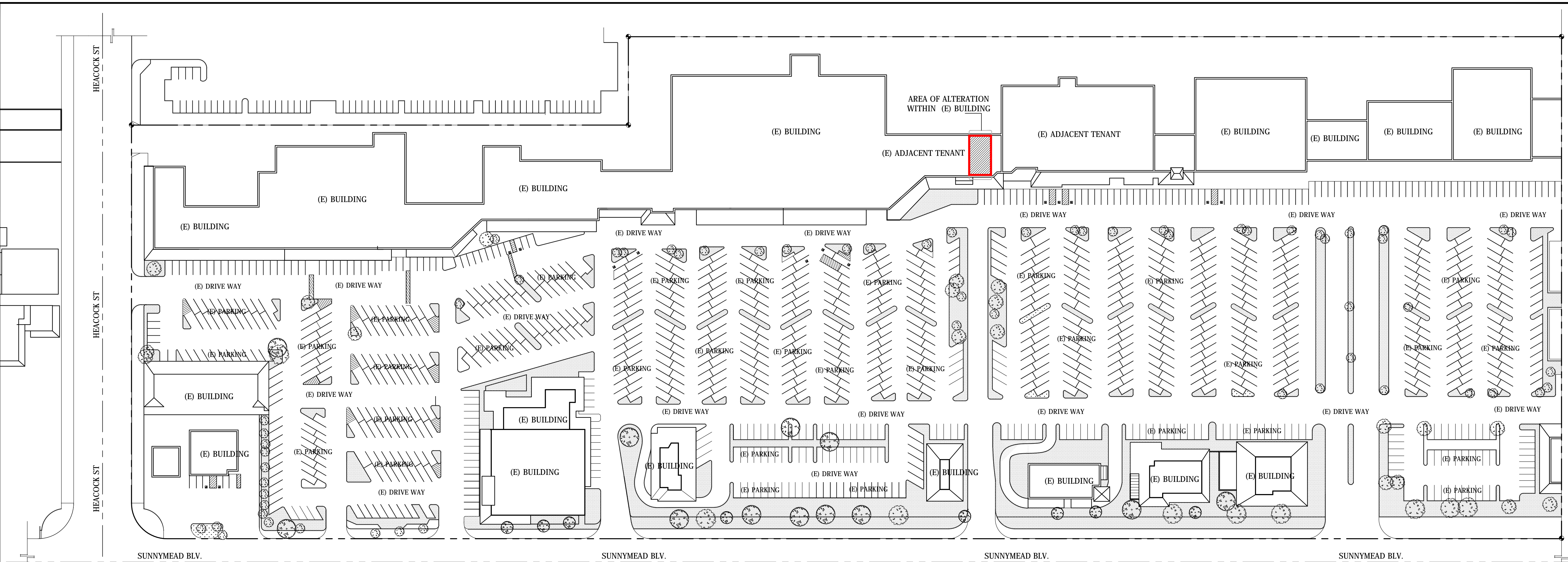
Page 2

Special Conditions

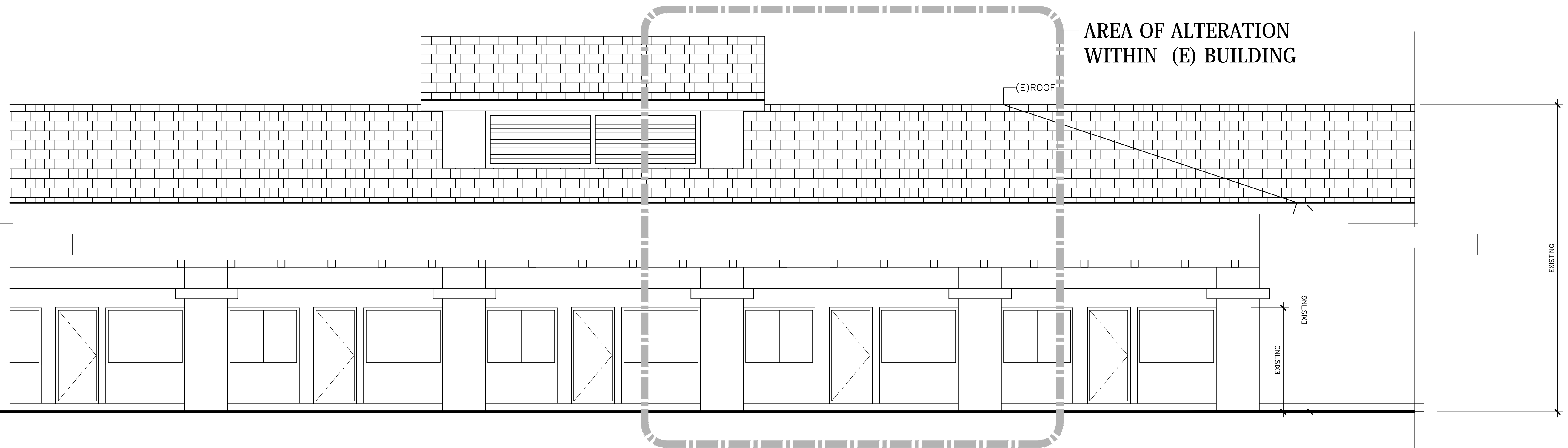
8. The owner or owner's representative shall establish and maintain a relationship with the City of Moreno Valley and cooperate with the Problem Oriented Policing (POP) program, or its successors.
9. The site has been approved for Conditional Use Permit PEN20-0091 for a smoke shop within an existing tenant space (900 square feet) at 23819 Sunnymead Boulevard, Suite B. A change or modification shall require separate approval. Violation may result in revocation of the Conditional Use Permit.

Building Division

10. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
11. Contact the Building Safety Division for permit application submittal requirements. Certificate of Occupancy permits and approvals will be required prior to business operations.
12. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
13. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
14. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
15. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the 2019 California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
16. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2016 CBE.



EXISTING SITE PLAN FOR REFERENCE
SCALE: 1/64"=1'-0"



EXISTING FRONT ELEVATION REMAIN UNCHANGED
SCALE: 1/4"=1'-0"

RAHMAN ENGINEERING
15611 12TH STREET -CHINO, CA 91710
TEL. 213-400-8078

Project:
23819 SUNNYMEAD BOULEVARD, MORENO VALLEY, CA 92553

Contractor:

Stamp:

REVISIONS:
MARK DATE DES./BY:

MARK	DATE	DES./BY

DRAWN BY: SI

DS. BY:
CHK BY: M.R.
DATE:

TITLE:

PAGE NO:

Aerial Map



Legend

Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

Road Labels

- Parcels
- City Boundary
- Sphere of Influence

Image Source: Nearmap

Notes:

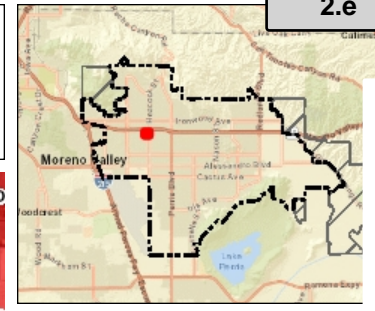
PEN20-0091 Conditional Use Permit

315.5 0 157.74 315.5 Feet

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.

Attachment: Aerial Map [Revision 1] (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)

Zoning Map



Legend

- Zoning**
- Commercial
 - Industrial/Business Park
 - Public Facilities
 - Office
 - Planned Development
 - Large Lot Residential
 - Residential Agriculture 2 DU/AC
 - Residential 2 DU/AC
 - Suburban Residential
 - Multi-family
 - Open Space/Park

Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

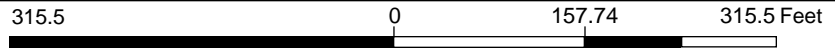
Road Labels

- Parcels
- City Boundary
- Sphere of Influence

Image Source: Nearmap

Notes:

PEN20-0091 Conditional Use Permit



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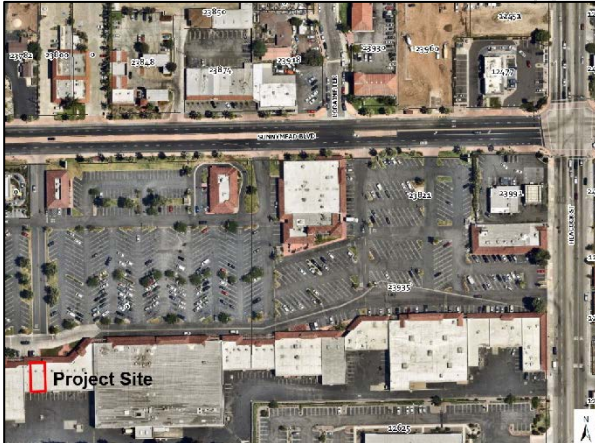
Attachment: Zoning Map [Revision 1] (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)



City of Moreno Valley
 Community Development Department
 Planning Division
 City Hall Council Chamber
 14177 Frederick Street
 Moreno Valley, CA 92553

NOTICE OF PUBLIC HEARING (VIA TELECONFERENCE ONLY)

PURSUANT TO COVID-19 GOVERNOR EXECUTIVE ORDER N-29-20



Notice of Teleconferenced Public Hearing before the Planning Commission of City of Moreno Valley:

DATE & TIME: October 22, 2020 at 7:00 P.M. **VIA TELECONFERENCE ONLY**

COVID-19 TELECONFERENCE INSTRUCTIONS:

For Teleconference Meeting public participation instructions please see agency <http://morenovalleyca.iqm2.com/Citizens/default.aspx>

PROJECT LOCATION: 23819 Sunnymead Boulevard, Suite (APN: 292-100-016), District 1.

CASE NUMBER(s): PEN20-0091

CASE PLANNER: Julia Descoteaux, Associate Planner
 (951) 413 3209 or juliad@moval.org

<APN>
 <Property Owner>
 <Street Address>
 <City, State, Zip>

Attachment: Mailing Notice - PEN20-0091 (4167 : PEN20-

NOTICE OF PUBLIC HEARING

2.f

PROPOSAL: Conditional Use Permit for a smoke shop within an existing tenant space in the Moreno Valley Plaza. The project is in the Specific Plan 204 Community Commercial zoning district.

ENVIRONMENTAL DETERMINATION: This project is a retail use within an existing single story building. As designed and conditioned this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 1533 for In-Fill Development Projects.

PUBLIC HEARING: All interested parties will be provided an opportunity to submit oral testimony during the teleconferenced Public Hearing and/or provide written testimony during or prior to the teleconferenced Public Hearing. The application file and related environmental documents may be inspected by appointment at the Community Development Department at 14177 Frederick Street, Moreno Valley, California by calling (951) 413-3206 during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday).

COVID-19 – IMPORTANT NOTICES: Please note that due to the COVID-19 pandemic situation, staff will attempt to make reasonable arrangements to ensure accessibility to inspect the aforementioned records. **In addition, special instructions on how to effectively participate in the teleconferenced Public Hearing, as approved by Governor Executive Order N-25-20, will be posted at <http://morenovalleyca.igm2.com/Citizens/default.aspx> and will be described in the Planning Commission agenda.**

PLEASE NOTE: The Planning Commission may consider and approve changes to the proposed items under consideration during the teleconferenced Public Hearing.

GOVERNMENT CODE § 65009 NOTICE: If you challenge any of the proposed actions taken by the Planning Commission in court, you may be limited to raising only those issues you or someone else raised during the teleconferenced Public Hearing described in this notice, or in written correspondence delivered to the Planning Division of the City of Moreno Valley during or prior to, the teleconferenced Public Hearing.

Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to Guy Pegan, ADA Coordinator, at 951.413.3120 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility.

SH-60

SH-60

SH-60 EBOFF

RW

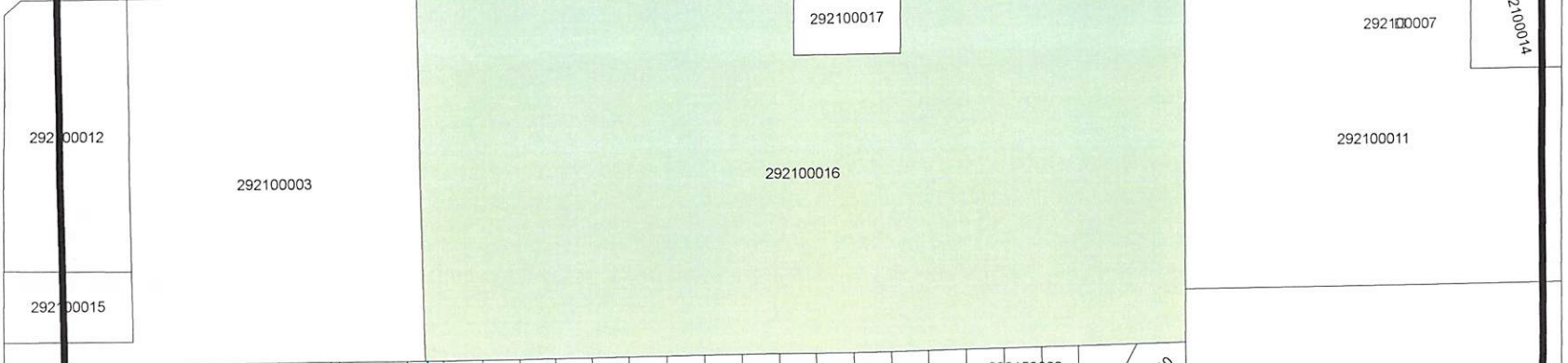


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RW

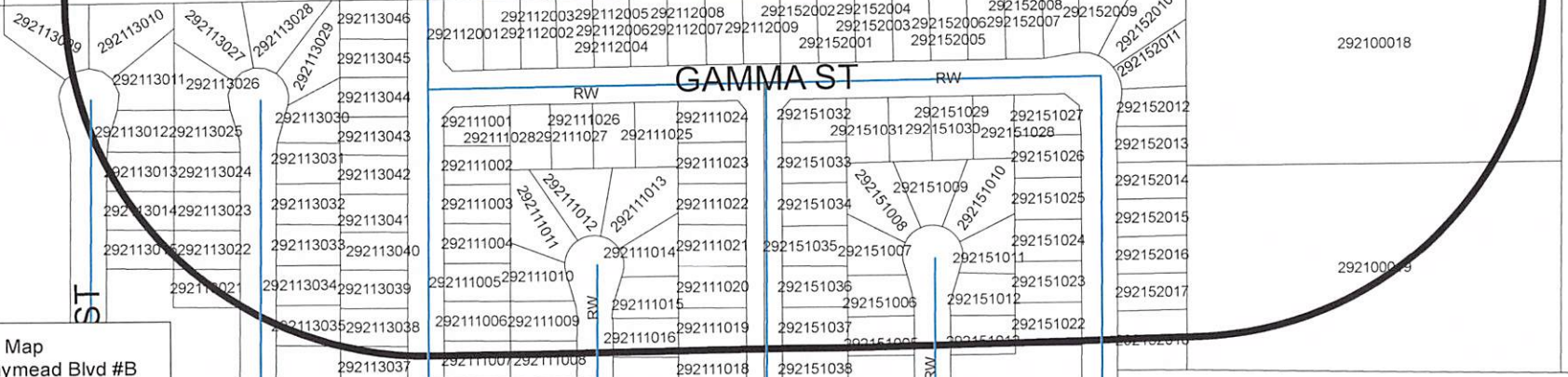
SUNNYMEAD BLVD

GRAHAM ST



HEACOCK ST


GAMMA ST



DAMIAN ST

FIR A

600' Radius Map
 23819 Sunnymead Blvd #B
 Moreno Valley CA
 APN(s) 292100016
 Prepared 9/23/2020
 by Express Mapping
 1 inch = 300 feet



Attachment: Radius Map (4167 : PEN20-0091 Conditional Use Permit for a Smoke Shop)