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**PLANNING COMMISSIONERS**

PATRICIA KORZEC  
Chairperson

JEFFREY SIMS  
Commissioner



ALVIN DEJOHNETTE  
Commissioner

RAFAEL BRUGUERAS  
Commissioner

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# **PLANNING COMMISSION Regular Meeting**

## **Agenda**

**Thursday, April 8, 2021 at 7:00 PM**

### **TELECONFERENCED MEETING**

**[Pursuant to Governor Executive Order N-29-20]**

**There Will Not Be a Physical Location for Attending the Meeting**

**The Public May Observe the Meeting and Offer Public Comment As Follows:**

#### **STEP 1**

**Install the Free Zoom App or Visit the Free Zoom Website at [<https://zoom.us/>](https://zoom.us/)**

#### **STEP 2**

**Get Meeting ID Number, Password and On the List to Speak by emailing [zoom@moval.org](mailto:zoom@moval.org) or calling (951) 413-3206, no later than 6:00 p.m. on Thursday, April 8, 2021**

#### **STEP 3**

**Select Audio Source**

**Computer Speakers/Microphone or Telephone**

#### **STEP 4**

**Public Comments May be Made Via Zoom**

*During the Meeting, the Chairperson Will Explain the Process for Submitting Public Comments*

#### **ALTERNATIVE**

**If you do not wish to make public comments, you can view the meeting on Channel MVTV-3, the City's website at [www.moval.org](http://www.moval.org) or YouTube**

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*Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the ADA Coordinator, at 951.413.3120 at least 72 hours before the meeting. The 72-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF AGENDA**

**SELECTION OF CHAIRPERSON AND VICE CHAIRPERSON**

- 1. Accept Nominations for and elect a New Chairperson
- 2. Accept Nominations for and elect a New Vice-Chairperson

**PUBLIC COMMENTS PROCEDURE**

*During the public comment period for each item, as well as during the public comment period for items not on the agenda, the clerk will call upon each person who is on the Zoom application that has requested to speak. Each member of the public wishing to speak will have a maximum of 3 minutes to speak on any agenda item, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the staff, or the audience. Those wishing to speak should follow the teleconference procedures. If you are absent at the time your name is called, you will forfeit the opportunity to speak on the items.*

**PUBLIC COMMENTS**

**CONSENT CALENDAR**

*All matters listed under Consent Calendar are considered to be routine and non-controversial, and may be enacted by one roll call vote. There will be no discussion of these items unless a member of the Planning Commission requests that an item be removed for separate action.*

- 1. Planning Commission Minutes – Regular Meeting – March 11, 2021 7:00 PM

**NON-PUBLIC HEARING ITEMS**

No items for discussion.

**PUBLIC HEARING ITEMS**

- 1. Case: PEN20-0214 Amended Conditional Use Permit
- Applicant: Shannon Santa Ana LLC
- Property Owner: Moreno Valley Real Estate LLC
- Representative: Coston Architects Incorporated
- Location: 23031 Sunnymead Boulevard located on the south side of Sunnymead Boulevard east of Fredrick Street APN: 292-250-039

Case Planner: Julia Descoteaux  
Council District: 1  
Proposal Amended Conditional Use Permit to expand an approved Cannabis Dispensary from 1,400 square feet to 2,373 square feet.

2. Case: PEN19-0068 Conditional Use Permit  
Applicant: Black Creek LLC – DBA, The Greenery  
Property Owner: Carmela Rincon Loelkes  
Representative: Mark Douglas  
Location: 24515 Alessandro Boulevard, Suite B, on the southeast corner of Alessandro Boulevard and Indian Street. APN 482-520-002  
Case Planner: Sean Kelleher  
Council District: 1  
Proposal Conditional Use Permit for a 2,500 square foot retail cannabis Dispensary, “The Greenery,” located within an existing retail building at 24515 Alessandro Boulevard, Suite B.

## **OTHER COMMISSION BUSINESS**

No items for discussion.

## **STAFF COMMENTS**

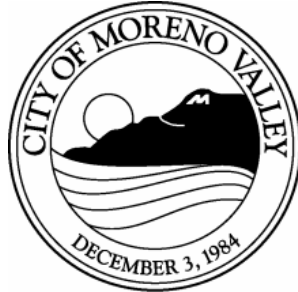
## **PLANNING COMMISSIONER COMMENTS**

## **ADJOURNMENT**

Planning Commission Regular Meeting, April 22, 2021 at 7:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

**OFFICIAL MINUTES OF THE  
PLANNING COMMISSION  
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 7:00 PM  
March 11, 2021**



**TELECONFERENCED MEETING**

**[Pursuant to Governor Executive Order N-29-20]**

**There Will Not Be a Physical Location for Attending the Meeting**

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**ALTERNATIVE**

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**Minutes Acceptance: Minutes of Mar 11, 2021 7:00 PM (CONSENT CALENDAR)**

## CALL TO ORDER

## ROLL CALL

Planning Commission:	Patricia Korzec	Chairperson	Present
	Ray L. Baker	Vice Chairperson	Present
	Robert Harris	Commissioner	Present
	JoAnn Stephan	Commissioner	Present
	Rafael Brugueras	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Alvin DeJohnette	Commissioner	Present

## PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Brugueras.

## APPROVAL OF AGENDA

Motion to approve the agenda was made by Commissioner Brugueras and seconded by Vice Chairperson Baker.

Vote: 7-0

Ayes: Commissioner Brugueras, Vice Chairperson Baker, Commissioner Stephan, Harris, DeJohnette, Sims, and Chairperson Korzec

Action: **Approved**

## PUBLIC COMMENTS PROCEDURE

### PUBLIC COMMENTS

No public comments.

## CONSENT CALENDAR

### 1. Planning Commission - Regular Meeting - February 11, 2021 7:00 PM

Motion to approve the minutes of February 11, 2021 was made by Vice Chairperson Baker and seconded by Commissioner Stephan.

Vote: 7-0

Ayes: Vice Chairperson Baker, Commissioner Stephan, Brugueras, Harris, DeJohnette, Sims, and Chairperson Korzec

Action: **Approved**

## NON-PUBLIC HEARING ITEMS

No items for discussion.

## PUBLIC HEARING ITEMS

1. Plot Plan for a 49 unit multiple-family residential development on 3.41 acres located on the north side of Dracaea Avenue west of Edgemont Street. (Report of Planning Commission)
  - A. That the Planning Commission **ADOPT** Resolution No. 2021-09, attached hereto, to:
    1. **APPROVE** the Initial Study/Mitigated Negative Declaration prepared for Plot Plan PEN20-0057 on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the proposed Project's potential environmental impacts; and
    2. **ADOPT** the Mitigation Monitoring and Reporting Program prepared for the Project, which consists of Plot Plan PEN20-0057 pursuant to CEQA and the CEQA Guidelines.
  - B. That the Planning Commission **APPROVE** Resolution No. 2021-10, attached hereto, and **THEREBY**:
    1. **APPROVE** PEN20-0057 Plot Plan based on the Recitals, Evidence contained in the Administrative Record and Findings as set forth in Resolution No. 2021-10.

**Public Hearing Opened:** 7:40 pm

Speakers

No public speakers.

**Public Hearing Closed:** 7:43 pm

Motion to approve Resolution Number 2021-09 and 2021-10 with modifications to Condition Numbers 68 and 112, was made by Commissioner Sims and seconded by Commissioner DeJohnette.

Vote: 7-0

Ayes: Commissioner Sims, DeJohnette, Bruguera, Stephan, Harris, Vice Chairperson Baker, and Chairperson Korzec

Action: **Approved**

## OTHER COMMISSION BUSINESS

No items for discussion.

**STAFF COMMENTS**

No items for discussion.

**PLANNING COMMISSIONER COMMENTS**

Commissioner Brugueras reminded residents to change their clocks forward with the upcoming time change.

Commissioner Sims stated that he had increased optimism with the County and State and hoping how he can enjoy a green beer at Chili's around the corner.

Commissioner DeJohnette stated that he still agrees with Commissioner Stephan with the parking calculations and formulas and that we have run into parking issues with past projects.

Commissioner Sims stated he has also run into this situation and feels that the parking and the clusters of cannabis projects is a recurring pattern and should be looked into.

Commissioner Stephan agreed with Commissioner Sims and stated that she receives calls about parking and the cannabis projects on Sunnymead Blvd.

Chairperson Korzec stated to the Commissioners that they need to be careful of what is discussed during this time as they have been previously advised about not discussing items not on the agenda. City Attorney, Michael Cobden, thanked Chairperson Korzec.

Commissioner Stephan stated they are asking how they need to move forward.

Planning Official, Patty Nevins, stated that these can be looked at during a future municipal code review.

**ADJOURNMENT**

There being no further business to come before the Planning Commission, Chairperson Korzec adjourned the meeting at 7:59 PM.

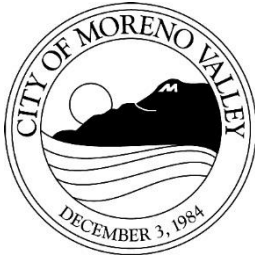
Submitted by:

Approved by:

\_\_\_\_\_  
Ashley Aparicio  
Planning Commission Secretary

\_\_\_\_\_  
Patricia Korzec  
Chairperson

Minutes Acceptance: Minutes of Mar 11, 2021 7:00 PM (CONSENT CALENDAR)



## PLANNING COMMISSION

### STAFF REPORT

Meeting Date: April 8, 2021

AMENDED CONDITIONAL USE PERMIT TO EXPAND AN APPROVED CANNABIS DISPENSARY FROM 1,400 SQUARE FEET TO 2,373 SQUARE FEET AND CLASS 32 CEQA EXEMPTION.

Case: PEN20-0214 Amended Conditional Use Permit

Applicant: Shannon Santa Ana LLC

Property Owner: Moreno Valley Real Estate LLC

Representative: Coston Architects Incorporated

Location: 23031 Sunnymead Boulevard located on the south side of Sunnymead Boulevard east of Fredrick Street  
APN: 292-250-039

Case Planner: Julia Descoteaux

Council District: 1

Proposal: Amended Conditional Use Permit to expand an approved Cannabis Dispensary from 1,400 square feet to 2,373 square feet.

#### **SUMMARY**

The Applicant, Shannon Santa Ana, LLC, (Applicant) is requesting approval of an Amended Conditional Use Permit (ACUP) to increase the square footage of an approved Cannabis Dispensary (Dispensary) located at 23031 Sunnymead Boulevard. The Dispensary was issued a CUP on March 14, 2019, for approximately 1,400 square feet. The Applicant is requesting an increase of 962 square feet, which will allow the Dispensary to be expanded to approximately 2,373 square feet. The Dispensary is a conditionally permitted use within the Community Commercial (CC) District and



therefore is also a conditionally permitted use in the Village Specific Plan SP 204, Village Community Commercial (CC) District. The Dispensary is used for commercial retail sales of cannabis and cannabis-related products sold to individuals who are a minimum of 21 years of age. This use will remain the same under the extension plans and all existing conditions of approval that apply to the existing facility shall remain in place under the ACUP.

## **Background**

### **City Regulations**

In November 2017, the City Council adopted Ordinance 926, which set the rules for the establishment, operation, and regulation of specific commercial cannabis uses. In March 2018, the City Council approved Resolution 2018-11 approving the initial procedure for permit applications. Land use regulations for the operation of cannabis uses were established in April 2018 with the adoption of Ordinance 932, which provided for the following cannabis uses: dispensaries, testing, cultivation, manufacturing, microbusinesses, and distribution.

The current Dispensary was approved pursuant to the City's multi-step process for approving commercial cannabis businesses as follows:

**Step 1 - Application Process.** Background checks of the business owner(s) and their employees were performed and interviews were conducted to determine eligibility.

**Step 2 - Provisional Commercial Cannabis Business Permit.** On August 20, 2018, the Applicant received a provisional Commercial Cannabis Business Permit (Permit Number MVCCBP-R0008) from the City. This required the Applicant to apply for and obtain the necessary State license once the Planning Commission approved the Applicant's CUP.

**Step 3 - Conditional Use Permit (CUP).** The Applicant was issued a CUP pursuant to Municipal Code Section 9.09.290(C)(2) which requires that commercial cannabis businesses obtain a CUP. The purpose of the CUP is to ensure that the proposed land use and site development elements would be consistent with City established development regulations as well as compatible with other land uses near the proposed facility.

**Step 4 - State License.** In addition to local permits, as required under the State's cannabis regulations, the Applicant obtained the applicable State of California cannabis license prior to commencing operation lawfully within the City.

**Step 5 - Certificate of Occupancy.** Before opening for business, the Applicant was required to obtain a Certificate of Occupancy ("C of O") from Building and Safety. The C of O was the final step in the process and documents that the Applicant has completed all required tenant improvements, parking lot improvements, etc., as required by the CUP's conditions of approval and that the Applicant paid all requisite City fees.

## **PROJECT DESCRIPTION**

### **Project**

The Applicant is requesting an amendment to the approved Conditional Use Permit (PEN18-0208) which included an approximate 1,400 square foot cannabis facility. The proposed amendment will increase the size of the dispensary by 962 square feet to a total of 2,373 square feet. There would be no exterior modifications to the building. The operation of the facility including the Safety and Security Plan and Odor Control Plan will remain as approved with PEN18-0208.

### **Surrounding Area**

The adjacent parcels to the north, east, and west are all located within the Community Commercial zone of Specific Plan 204 and are developed with a variety of uses which include a gas station and convenience store, car wash, restaurant, retail, and veterinarian. To the south are existing single family residences in the Residential 5 (R5) zone.

### **Access/Parking**

Access to the site is from Sunnymead Boulevard with a right in right out driveway. Reciprocal access is provided through the southerly parcel to Frederick Street.

The 3,600 square foot shopping center as designed includes ten parking spaces. The reciprocal parking and access agreement allows for the two parking stalls and trash enclosure in the rear of the building, which was included in the approval of PEN18-0208.

The required parking based on a retail standard of one space for every 225 square feet would require sixteen stalls, creating a legal non-conforming situation. A parking study completed for project PEN18-0208, determined that based on the operations of the existing demand, a minimum of four spaces were always available even at the peak demand hours. Based on operations at a similar facility in Santa Ana, California, the space turnover for this use would have an average demand of three spaces at the peak hours; the proposed location has four available parking spaces. Additionally, the Applicant will offer employees monthly bus passes or credit on Uber and Lyft ridesharing services to discourage them from parking on the site.

## **REVIEW PROCESS**

The proposed ACUP was reviewed by the Planning Division for consistency with the Municipal Code and routed to the Moreno Valley Police Department for their review. The Applicant has worked with staff, and modified the proposed plans to the satisfaction of all departments. Based on staff's review, it was determined that the project will be consistent with the City's requirements, subject to the conditions of approval in the attached Resolution.

## **ENVIRONMENTAL**

Staff recommends that the Planning Commission find that the proposed project (ACUP) is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 32 Exemption (Section 15332, In-Fill Development Projects). Pursuant to the California Code of Regulations a Class 32 exemption can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services. The proposed project(ACUP) has been found to meet all of the conditions of the Class 32 exemption as the project is consistent with the applicable General Plan designation and policies; is located on a site less than five acres in size; contains no valuable habitat; will not result in significant environmental effects; and is adequately served by utilities and public services.

### **NOTIFICATION**

Public notice was sent to all property owners of record within 600 feet of the project on March 25, 2021. The public hearing notice for this project was posted on the project site and published in the local newspaper on March 26, 2021.

### **REVIEW AGENCY COMMENTS**

The project application materials were circulated for review by all appropriate City departments and divisions as well as applicable outside agencies.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2021-12, and thereby:

1. **DETERMINE** that Amended Conditional Use Permit PEN20-0214 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development Projects); and
2. **APPROVE** Amended Conditional Use Permit PEN20-0214 subject to the attached Conditions of Approval as Exhibit A to the Resolution.

Prepared by:  
Julia Descoteaux  
Associate Planner

Approved by:  
Patty Nevins  
Planning Official

### **ATTACHMENTS**

1. Resolution No. 2021-12 Amended Conditional Use Permit

2. Exhibit A to Resolution No. 2021-12 Conditions of Approval
3. Aerial Map
4. Zoning Map
5. Project Plans
6. 600 Foot Mailing Notice
7. 600 Foot Radius Map

## RESOLUTION NUMBER 2021-12

### A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING AN AMENDED CONDITIONAL USE PERMIT (PEN20-0214) FOR A CANNABIS DISPENSARY EXPANSION LOCATED AT 23031 SUNNYMEAD BOULEVARD, ON THE SOUTH SIDE OF SUNNYMEAD BOULEVARD EAST OF FREDERICK STREET (APN 292-250-039)

**WHEREAS**, the City of Moreno Valley (“City”) is a general law city and a municipal corporation of the State of California; and

**WHEREAS**, Shannon Santa Ana LLC (“Applicant”) has filed an application for the approval of an Amended Conditional Use Permit PEN20-0214 (“Application”) for a 962 square foot expansion to the approved 1,400 square foot cannabis dispensary, PEN18-0208, approved on March 14, 2018, located at 23031 Sunnymead Boulevard (“Site”); and

**WHEREAS**, Section 9.09.290 (Commercial Cannabis Activities) provides that a limited number of commercial cannabis dispensaries may be allowed within the Community Commercial (CC), Neighborhood Commercial (NC) and Business Park-Mixed Use (BPX) zoning districts, with a properly secured conditional use permit approved through the Planning Commission; and

**WHEREAS**, Section 9.02.060 (Conditional Use Permits) of the Moreno Valley Municipal Code acknowledges that the purpose of conditional use permits is to allow the establishment of uses that may have special impacts or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location and that the conditional use permit application process involves the review of location, design and configuration of improvements related to the project, and the potential impact of the project on the surrounding area based on fixed and established standards; and

**WHEREAS**, the Application has been evaluated in accordance with Section 9.02.060 (Conditional Use Permits) of the Municipal Code with consideration given to the City’s General Plan, Zoning Ordinance, Specific Plan 204 and other applicable laws and regulations; and

**WHEREAS**, Section 9.02.060 of the Municipal Code imposes conditions of approval upon projects for which a CUP is required, which conditions may be imposed by the Planning Commission to address on-site improvements, off-site improvements, the manner in which the site is used and any other conditions as may be deemed necessary to protect the public health, safety and welfare to ensure that the proposed Project will be developed in accordance with the purpose and intent of Title 9 (Planning and Zoning) of the Municipal Code; and

**WHEREAS**, pursuant to the provisions of Section 9.02.200 (Public Hearing and Notification Procedures) of the Municipal Code and Government Code Section 65905, a

public hearing was scheduled for April 8, 2021, and notice thereof was duly published and posted, and mailed to all property owners of record within 600 feet of the Site; and

**WHEREAS**, on April 8, 2021, the public hearing to consider the Application was duly conducted by the Planning Commission at which time all interested persons were provided with an opportunity to testify and to present evidence; and

**WHEREAS**, consistent with the requirements of Section 9.02.060 (Conditional Use Permits) of the Municipal Code, at the public hearing the Planning Commission considered Conditions of Approval to be imposed upon Amended Conditional Use Permit PEN20-0214 (“ACUP”), which conditions were prepared by Planning Division staff who deemed said conditions to be necessary to protect the public health, safety and welfare and to ensure the proposed Project will be developed in accordance with the purpose and intent of Title 9 (“Planning and Zoning”) of the Municipal Code; and

**WHEREAS**, at the public hearing, the Planning Commission reviewed and considered the Planning Division’s recommendation that the proposed Project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth in Public Resources Code Sections 21000 – 21177 and the CEQA Guidelines as set forth in 14 California Code of Regulations Sections 15000-15387, under CEQA Guidelines<sup>1</sup> Section 15332 (In-Fill Development Projects) which can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services; and

**WHEREAS**, at the public hearing, the Planning Commission reviewed and considered whether each of the requisite findings specified in Section 9.02.060 of the Municipal Code and set forth herein could be made with respect to the proposed Project as conditioned by the Conditions of Approval.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:**

**Section 1. Recitals and Exhibits**

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

**Section 2. Notice**

That pursuant to Government Code section 66020(d)(1), notice is hereby given that the proposed project is subject to certain fees, dedications, reservations and other exactions as provided herein.

<sup>1</sup> 14 California Code of Regulations §§15000-15387

### **Section 3. Evidence**

That the Planning Commission has considered all of the evidence submitted into the administrative record for the proposed CUP (Amended), including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;
- (c) Specific Plan 204 and all relevant provisions referenced therein;
- (d) Application for the approval of Amended Conditional Use Permit (ACUP) PEN20-0214 and all documents, records and references contained therein;
- (e) Conditions of Approval for ACUP PEN20-0214, attached hereto as Exhibit A;
- (f) Staff Report prepared for the Planning Commission's consideration and all documents, records and references related thereto, and Staff's presentation at the public hearing;
- (g) Staff's determination that the proposed Project is categorically exempt in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- (h) Testimony and/or comments from Applicant and its representatives during the public hearing; and
- (i) Testimony and/or comments from all persons that was provided in written format or correspondence, at, or prior to, the public hearing.

### **Section 4. Findings**

That based on the content of the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission makes the following findings:

- (a) The proposed Project is consistent with the goals, objectives, policies and programs of the General Plan;
- (b) The proposed Project complies with all applicable zoning and other regulations;
- (c) The proposed Project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity; and
- (d) The location, design and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity.

### **Section 5. Determination of Categorical Exemption**

That the Planning Commission hereby determines that the proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 (In-Fill Development Projects).

### **Section 6. Notice of Exemption**

That the Planning Division is hereby directed to prepare, execute, and file a Notice of Exemption as required by Section 5.2 (Noticing Requirements) of the City's Rules and

Procedures for the Implementation of the California Environmental Quality Act and CEQA Guidelines Section 15062.

**Section 7. Approval**

That based on the foregoing Recitals, Administrative Record and Findings, the Planning Commission hereby approves ACUP PEN20-0214 subject to the Conditions of Approval for ACUP PEN20-0214, attached hereto as Exhibit A.

**Section 8. Repeal of Conflicting Provisions**

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

**Section 9. Severability**

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

**Section 10. Effective Date**

That this Resolution shall take effect immediately upon the date of adoption.

**PASSED AND ADOPTED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2021.**

CITY OF MORENO VALLEY  
PLANNING COMMISSION

\_\_\_\_\_  
Patricia Korzec, Chairperson

ATTEST:

\_\_\_\_\_  
Patty Nevins,  
Planning Official

APPROVED AS TO FORM:

\_\_\_\_\_  
Steven B. Quintanilla,  
Interim City Attorney

Exhibits:  
Exhibit A: Conditions of Approval

Attachment: Resolution No. 2021-12 Amended Conditional Use Permit [Revision 2] (4333 : Amended Conditional Use Permit)



Exhibit A

CONDITIONS OF APPROVAL

Attachment: Resolution No. 2021-12 Amended Conditional Use Permit [Revision 2] (4333 : Amended Conditional Use Permit)

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 1

CITY OF MORENO VALLEY  
 CONDITIONS OF APPROVAL  
 Conditional Use Permit (PEN20-0214)

EFFECTIVE DATE:

EXPIRATION DATE:

**COMMUNITY DEVELOPMENT DEPARTMENT**Planning Division

1. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
2. These conditions of approval supersede the final conditions of approval for approved project PEN18-0208.
3. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code.
4. This project is located within Specific Plan 204. The provisions of the specific plan, the design manual, their subsequent amendments, and the Conditions of Approval shall prevail unless modified herein. (MC 9.13)
5. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
6. All signs indicated on the submitted plans are not included with this approval and shall be renewed under separate permit.
7. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
8. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
9. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

Special Conditions

10. The commercial cannabis dispensary shall be consistent with all other applicable federal, state and local requirements including the Moreno Valley Municipal Code Title 5 and Title 9, and all related Municipal Code sections.
11. The site has been approved for a 962 square feet expansion to the approved retail Cannabis Dispensary located at 23031 Sunnymead Boulevard for an approximate total of 2,373 square feet. A change or

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 2

modification shall require separate approval. For a Conditional Use Permit, violation may result in revocation of the Conditional Use Permit.

12. The cannabis license and the Conditional Use Permit, apply only to the 2,373 square foot suite at 23031 Sunnymead Boulevard, Suites B and C. No use of any other tenant space, outside of the 2,373 square foot suite is allowed per Conditional Use Permit PEN20-0214.
13. Daily hours of operation for the dispensary may start no earlier than 6:00 am and end no later than 10:00 pm, Sunday through Saturday.
14. A copy of all pages of these conditions shall be included in the construction drawing package.
15. A licensee conducting a commercial cannabis dispensary shall meet all applicable operational requirements for retail/commercial cannabis dispensaries. (MC 9.09.290 (E)(4))
16. The commercial cannabis operation shall have a valid Commercial Cannabis Business Permit and shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.
17. The cannabis licensee shall display its current valid Commercial Cannabis Business Permit under Chapter 5.05 of this Code and a Conditional Use Permit issued in accordance with this chapter inside the lobby or waiting area of the main entrance to the site. The permits shall be displayed at all times in a conspicuous place so that it may be readily seen by all persons entering the site. (MC 9.09.290 (D)(2)(c))
18. All City Fire, Police and Code personnel shall have unlimited and unrestricted property access for inspections of commercial cannabis businesses and facilities during business hours. (MC 9.09.290 (D)(2)(g))
19. No person associated with this commercial cannabis dispensary shall cause or permit the sale, dispensing or consumption of alcoholic beverages or the sale of tobacco products on or within 50 feet of the premises of a cannabis business. (MC 9.09.290 (D)(2)(b))
20. No person shall smoke, ingest, or otherwise consume cannabis in any form on, or within twenty (20) feet of, the dispensary site. (MC 9.09.290 (E)(4)(f))
21. No commercial cannabis dispensary owner or employee shall: (i) cause or permit the sale, distribution, or consumption of alcoholic beverages on the dispensary property (ii) hold or maintain a license from the State Division of Alcoholic Beverage Control for the sale of alcoholic beverages; or (iii) operate a business on or adjacent to the dispensary property that sells alcoholic beverages. No alcoholic beverages shall be allowed or stored on the dispensary property. (MC 9.09.290 (E) (4)(g))
22. No cannabis or marijuana materials or products shall be visible from the exterior of any structure, facility, or building in which commercial cannabis dispensaries are being conducted. All commercial cannabis dispensaries must take place within a fully enclosed, secured and permanent structure (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(6)(c))
23. The applicant shall provide frosted glass or solid walls to separate the exterior of the building and the interior lobby area from the retail/mercantile area to ensure that no cannabis or marijuana materials or products are visible.

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 3

24. The commercial cannabis dispensary shall have designated locked storage on the dispensary property for after-hours storage of medical and adult use recreational cannabis and cannabis infused products. All cannabis and cannabis infused products shall be stored at the dispensary property in secured rooms that are completely enclosed or in a safe that is bolted to the floor (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(4)(c))
25. All operations conducted and equipment used must be in compliance with all applicable state and local regulations, including all building, electrical and fire codes. (MC 9.09.290 (E)(7)(b))
26. Security surveillance cameras and a video recording system must be installed to monitor all doors into and out of the buildings on the site, the parking lot, loading areas, and all exterior sides of the property adjacent to the public rights -of-way. The camera and recording systems must be of adequate quality, color rendition, and resolution to allow the identification of any individual present on the site. The recording system must be capable of exporting the recorded video in standards MPEG formats to another common medium, such as a DVD or USB drive. (MC 9.09.290 (E)(12)(a))
27. All windows on the building that houses the Cannabis Facility shall be appropriately secured and all cannabis and marijuana securely stored.
28. Professionally and centrally monitored fire, robbery, and burglar alarm systems must be installed and maintained in good working condition. The alarm system must include a private security company that is required to respond to every alarm. (MC 9.09.290 (E)(12)(b))
29. Waste and storage and disposal of all cannabis and marijuana products shall meet all applicable state and local health regulation. (MC 9.09.290 (E)(13))
30. The premises must be equipped with an odor absorbing ventilation and exhaust system so that odor generated inside the Cannabis Business that is distinctive to its operation is not detected outside the Cannabis Business, anywhere on adjacent property or public rights-of-way, on or about any exterior or interior common area walkways, hallways, breeze-ways, foyers, lobby areas, or any other areas available for common use by tenants or the visiting public, or within any other unit located within the same building as the Cannabis Business. As such, Cannabis Businesses must install and maintain the following equipment or any other equipment which the Local Licensing Authority determines has the same or better effectiveness:
  - a. An exhaust air filtration system with odor control that prevents internal odors from being emitted externally; or
  - b. An air system that creates negative air pressure between the Cannabis Businesses' interior and exterior so that the odors generated inside the Cannabis Business are not detectable outside the Cannabis Business.
31. All Cannabis heating, ventilation, air conditioning and odor control plans and blue prints shall be stamped by a Licensed HVAC Mechanical Engineer.
32. All window arrays, doors and associated framing systems shall be renovated to install new glazing compounds and seals.
33. Automatic closures on all interior and exterior doors shall be installed.
34. All interior and exterior door seals shall be replaced and adjusted.
35. All roof venting, wall penetrations, panel joints etc. shall be sealed.

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 4

36. Air curtains shall be installed on all exterior doors.
37. Two secured parking spaces, identified on a plot plan shall be located convenient to the required secured area of each facility to be used by secured transfer vehicles involved in the couriering or dispensing of cannabis materials products to and from the facility and for use by any secured vehicle commissioned for the transfer of currency to and from the facility. (MC 9.09.290 (E)(9)(f))
38. Licensee shall prohibit loitering by individuals outside the licensed premises or anywhere on the property. (MC 9.09.290 (E) (14) (c))
39. Licensee shall remove any graffiti from the licensed premises within twenty-four (24) hours of its occurrence, or as requested by the city. (MC 9.09.290 (E) (14) (d))
40. Exterior landscaping within ten (10) feet of a licensed premises shall be designed, installed and maintained free of locations which could reasonably be used by persons to conceal themselves and/or to enable undesirable activity. The design and maintenance practices shall give appropriate consideration to both natural and artificial illumination. (MC 9.09.290 (E)(8)(c))
41. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approval of any new or repaired landscaping by the Planning Division designed per the City's Municipal Code 9.17.
42. Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation improvements shall be installed, and inspected and approved by the Planning Division. (DC 9.03.040)
43. The parking lot lighting shall be maintained in good repair and shall comply with the Municipal Code lighting standards and the Security Plan at all times.
44. Prior to approval of tenant improvement plans, a detailed, on -site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted as part of the Building and Safety Plan Check submittal for review and approval. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall include style, illumination, location, height and method of shielding. The lighting shall be designed in such a manner so that it meets the lighting standards in the Cannabis Ordinance 932. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, DG) Lighting shall comply with the provisions of MC Section 9.08.100 including fixture type, wattage illumination levels and shielding. (MC 9.09.290 (E)(10))
45. The commercial cannabis operation shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.
46. Prior to Building Permit or Certificate of Occupancy, the process for any transfer of product or currency shall be identified in an updated Security Plan to be reviewed and approved by the Planning Division. (MC 9.09.290 (D)(2)(f))
47. The Security Plan on file with the City of Moreno Valley shall remain in effect as long as the established use is in operation. Any changes, additions, removal or modifications to the plan shall be submitted to the City for review and inclusion in the Conditional Use Permit file.
48. Prior to approval of tenant improvement plans, the applicant shall submit plans detailing provisions for controlled/secured access into and out of the dispensary area.

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 5

49. Persons under the age of twenty-one (21) years shall not be allowed on the premises. It shall be unlawful and a violation of this chapter for any person to employ any person at a commercial cannabis business who is not at least twenty-one (21) years of age.
50. The applicant shall replace any dead landscaping within the portion of the center median in Sunnymead Boulevard along the frontage site.

**Building Division**

51. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
52. Contact the Building Safety Division for permit application submittal requirements.
53. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m. (except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.
54. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
55. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
56. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
57. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
58. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc.
59. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

**ECONOMIC DEVELOPMENT DEPARTMENT (EDD)**

60. New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.
61. New Moreno Valley businesses may adopt a "First Source" approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of the public recruitment.
62. New Moreno Valley businesses are encouraged to hire local residents.

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN20-0214)

Page 6

63. New Moreno Valley businesses are encouraged to provide a job fair flyer and/or web announcement to the City in advance of job recruitments, so that the City can assist in publicizing these events.
64. New Moreno Valley businesses may utilize the workforce recruitment services provided by the Moreno Valley Business & Employment Resource Center (“BERC”).  
The BERC offers no cost assistance to businesses recruiting and training potential employees. Complimentary services include:
- Job Announcements
  - Applicant testing / pre-screening
  - Interviewing
  - Job Fair support
  - Training space

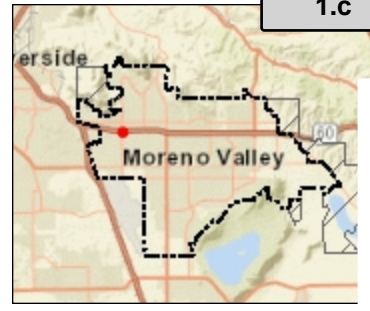
**FIRE DEPARTMENT**Fire Prevention Bureau

65. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height.(CFC 505.1, MVMC 8.36.060[I])
66. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
67. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
68. Prior to issuance of a Certificate of Occupancy or Building Final, a “Knox Box Rapid Entry System” shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)
69. All restricted access and egress devices shall be approved by the Building and Fire Departments and be in compliance with the 2016 CBC.

**PUBLIC WORKS DEPARTMENT**Special Districts Division

70. Any damage to existing landscape areas maintained by the City of Moreno Valley due to project construction shall be repaired/replaced by the Developer, or Developer’s successors in interest, at no cost to the City of Moreno Valley.

# PEN20-0214 Aerial Photograph



**Legend**

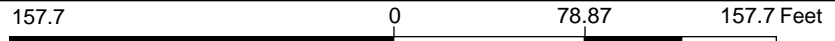
- Road Labels
- Parcels

Attachment: Aerial Map (4333 : Amended Conditional Use Permit)

Image Source: Nearmap

**Notes:**

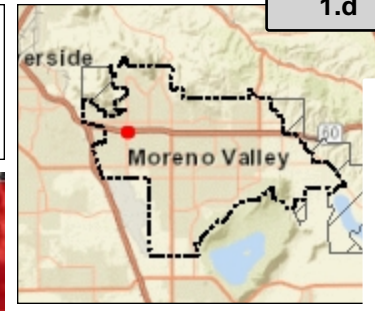
23031 Sunnymead Blvd



*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*



# PEN20-0214 Zoning



### Legend

#### Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

#### Road Labels

- Parcels

Image Source: Nearmap

### Notes:

23031 Sunnymead Blvd

308.0 0 154.01 308.0 Feet

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Attachment: Zoning Map (4333 : Amended Conditional Use Permit)

### Notes

- 1. DELAYED EGRESS SHALL NOT AND WILL NOT BE INSTALLED AT THIS FACILITY AT ANY TIME. In accordance with the California Building and Fire Code Chapters 9 and 10, buildings with delayed egress locks shall be equipped throughout with an automatic sprinkler system and an approved automatic smoke detection system. INSTALLATION OF DELAYED EGRESS AT THIS FACILITY WITHOUT SPRINKLERS AND DETECTION WILL RESULT IN IMMEDIATE BUSINESS CLOSURE
- 2. Egress Doors with electric card access to have Panic Hardware on egress side for emergency exit per CBC 1010.1.9.10

### Area Analysis

Name	Area
Adjacent Dining- Little Caesars	1302 SF
Adjacent Suite	1302 SF
(E) Dispensary	1411 SF
(N) Expansion (Existing Smoke Shop)	962 SF
Dispensary	2373 SF
Grand total	3675 SF

# Sunnymead Dispensary

## 23031 Sunnymead Blvd. Unit B&C Moreno Valley CA 92553

### Parking Analysis

#### Parking Required

Name	Area	Spaces per GFA	Spaces Required
(E) Dispensary	1411 SF	1 per 225 SF	6
(N) Expansion (Existing Smoke Shop)	962 SF	1 per 225 SF	4
Adjacent Dining- Little Caesars	1302 SF	1 per 225 SF	6
			16

#### Parking Provided

Accessible- Van	1
Standard- 9x19	9
	10

Parking Required reduced from 22 spaces w/ Existing Smoke Shop at 1 space per 100 SF to 16 spaces with New Dispensary at 1 space per 225 SF

All parking existing, non-conforming as shown in approved CUP PEN18-0208

### Parcel Information

Project Address 23031 Sunnymead Blvd. Unit B&C  
Moreno Valley CA 92553

Assessors Parcel Number 292-250-039-2

Site Area 0.34 acres 14,812.00 SF

Legal Description .34 Acres In Par 1 Pm 235/096 Pm 36511

Existing Building 19xx

Construction Type VB

### Sheet Index

	Sheet Name	Issue Date	Revision	
			#	Issue Date
	Architecture			
A0	Cover Sheet	10/16/2020	A	01/25/2021
A1	Plans	10/16/2020	A	01/25/2021
	Cannabis Pacakge			
1a	Site Plan- Plan & Photos	10/23/20		
1b	Site Plan- Elevations	10/23/20		
2	Floor Plan	10/23/20		
4	Neighborhood Compatibility	10/23/20		
6	Parking Plan	10/23/20		
10	Signage Plan	11/23/20		

### Zoning Analysis

Per San Diego Municipal Code

Zone SP204CC

Planned District SP 204- The Village

Max. Allowable Height N/A

Setbacks  
Front 10.0'  
Side 10.0'  
Street Side 10.0'  
Rear 0.0'

Allowable FAR 0.25

Existing Use:  
Suite B: Tobacco Shop  
Suite C: Marijuana Dispensary

Proposed Use:  
Suite B/C: Marijuana Dispensary

FEMA Flood Zone: Minimal Hazard (X)

Utilities  
Water: EMWD  
Sewer: EMWD  
Electricity: SCE

School District: Moreno Valley Unified

### Site Analysis

Total Site Area: 14,812 SF  
Building Footprint: 3,768 SF  
Other Impervious Area: 9,434 SF  
Existing Landscape Area: 1,610 SF

No Changes to Site Proposed.

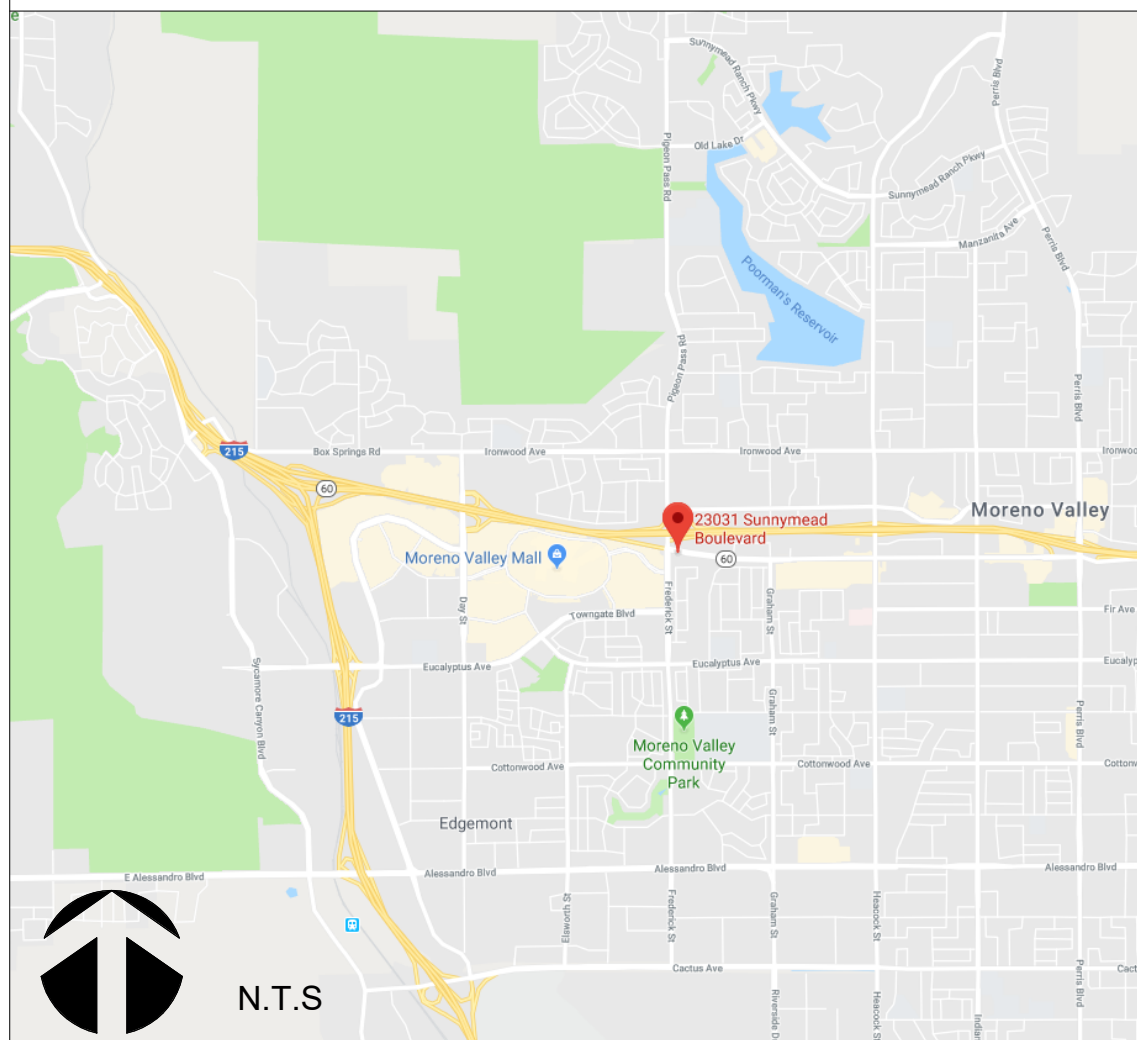
DELAYED EGRESS SHALL NOT AND WILL NOT BE INSTALLED AT THIS FACILITY AT ANY TIME. In accordance with the California Building and Fire Code Chapters 9 and 10, buildings with delayed egress locks shall be equipped throughout with an automatic sprinkler system and an approved automatic smoke detection system. INSTALLATION OF DELAYED EGRESS AT THIS FACILITY WITHOUT SPRINKLERS AND DETECTION WILL RESULT IN IMMEDIATE BUSINESS CLOSURE

### Scope of Work

- 1. 940 SF Expansion of existing 1,400 SF dispensary under CUP PEN18-0208 within existing 3,768 SF building.
- 2. Proposed construction modifications limited to interior improvements. No exterior work proposed.



### Vicinity Map



### Project Team

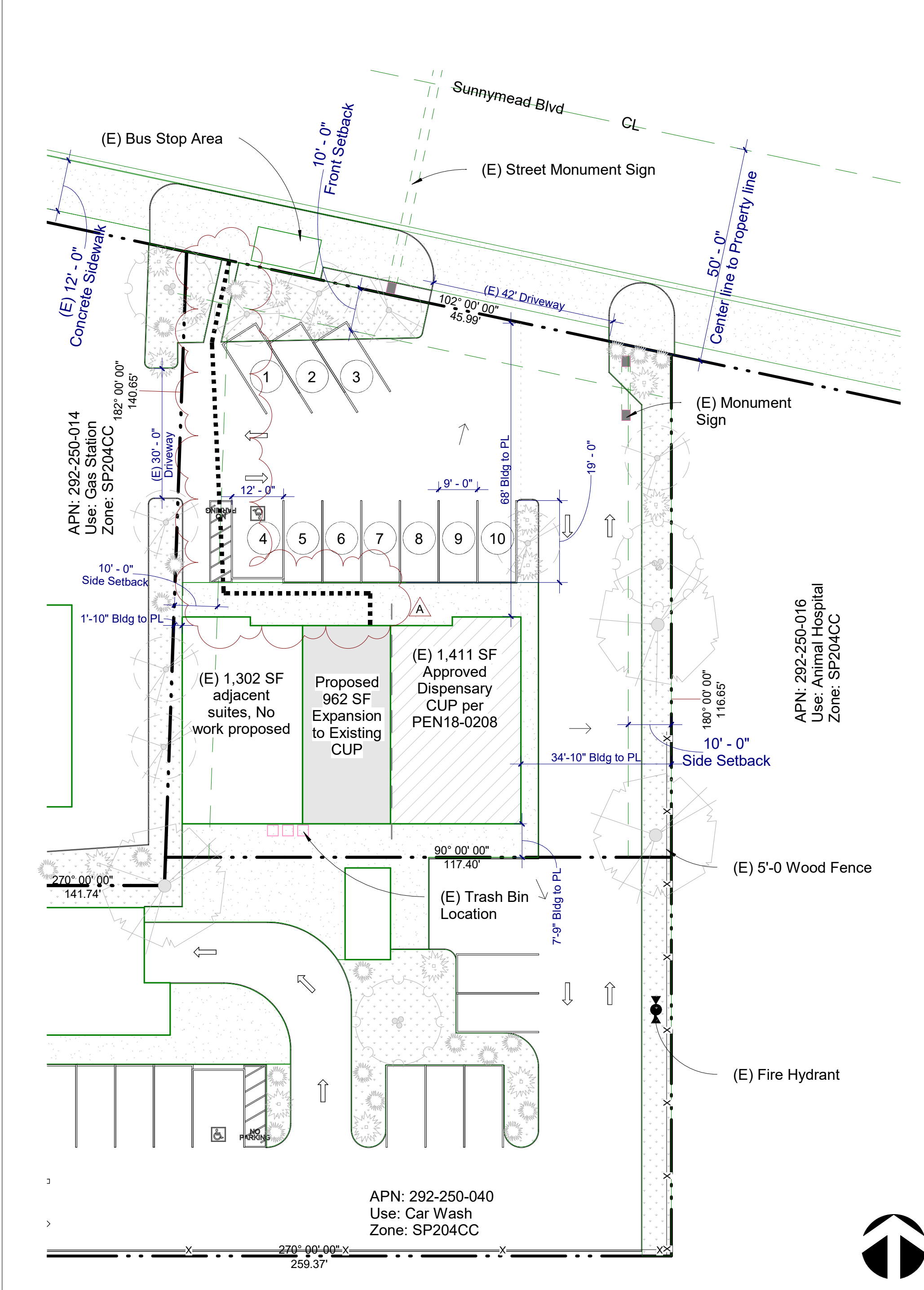
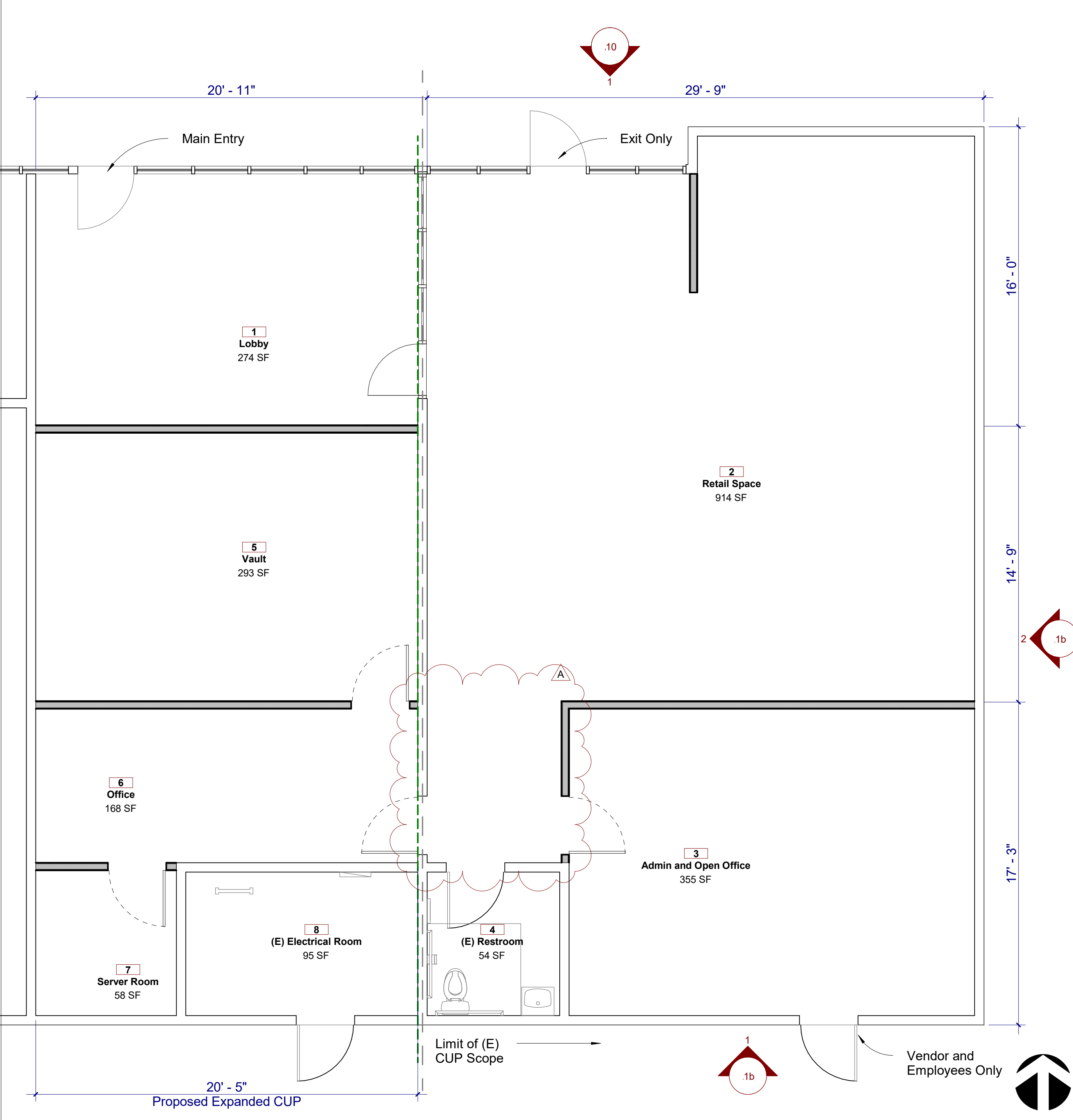
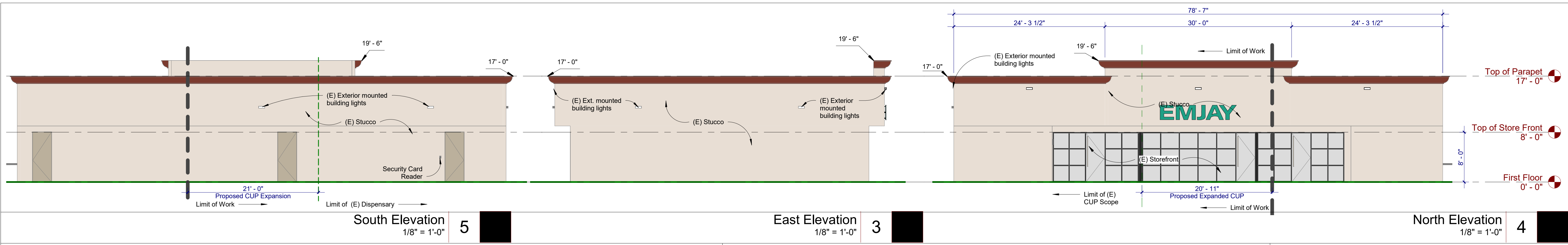
**Owner/ Applicant:**  
**Shannon Santa Ana, LLC, dba Emjay**  
15 Mac Arthur Pl. Unit 2106  
Santa Ana CA 92707  
Contact: Michael Steinberg  
michael@inceptioncos.com  
310-948-5542

**Architect:**  
**Coston Architects Incorporated**  
8415 La Mesa Blvd, Suite #4  
La Mesa, CA 91942  
Contact: Kent Coston  
kc@costonarchitects.com  
619-518-8071

**Sunnymead Dispensary**  
**CUP Expansion**  
23031 Sunnymead Blvd. Unit B&C  
Moreno Valley CA 92553

### Cover Sheet

DATE	Revision Schedule
10/16/2020	A 01/25/2021
	CAI
PROJECT 1949	<b>A0</b>
	OF



### Legend

- (E) Building- Approved Dispensary Suite
- (E) Building- Proposed Dispensary Expansion
- (E) Building- Adjacent Suite (no work proposed)
- (E) Landscape Area
- (E) Concrete Walkway
- Fire Hydrant
- Drainage Slope
- Setback Line
- Accessible Path of Travel to Public Right of Way
- Existing Wall to Remain
- New Wall per plan

**COSTON ARCHITECTS INCORPORATED**  
 Kent Coston  
 Licensed Architect  
 C-29877  
 Exp: 08/2021  
 STATE OF CALIFORNIA

## Sunnymead Dispensary CUP Expansion

23031 Sunnymead Blvd. Unit B&C  
 Moreno Valley CA 92553

Plans		Revision Schedule	
DATE	10/16/2020	A	01/25/2021
DRAWN	CAI		
PROJECT	1949		
<b>A1</b>			
OF			



City of Moreno Valley  
 Community Development Department  
 Planning Division  
 City Hall Council Chamber  
 14177 Frederick Street  
 Moreno Valley, CA 92553

## **NOTICE OF PUBLIC HEARING (VIA TELECONFERENCE ONLY)**

**PURSUANT TO COVID-19 GOVERNOR EXECUTIVE ORDER N-29-20**



Notice of Teleconferenced Public Hearing before the Planning Commission of the City of Moreno Valley:

**DATE & TIME:** April 8, 2021 at 7:00 P.M. **VIA TELECONFERENCE ONLY**

**COVID-19 TELECONFERENCE INSTRUCTIONS:**

For Teleconference Meeting public participation instructions please agenda at <http://morenovalleyca.igmp2.com/Citizens/default.aspx>

**PROJECT LOCATION:** 23031 Sunnymead Boulevard

**CASE NUMBER(s):** PEN20-0214

**CASE PLANNER:** Julia Descoteaux, Associate Planner (951) 413 3209  
[juliad@moval.org](mailto:juliad@moval.org)

<APN>

<Property Owner>

<Street Address>

<City, State, Zip>

Attachment: 600 Foot Mailing Notice (4333 : Amended

# NOTICE OF PUBLIC HEARING

1.f

**PROPOSAL:** Applicant is requesting approval of an Amended Conditional Use Permit for an expansion to an approved commercial cannabis dispensary.

**ENVIRONMENTAL DETERMINATION:** This project is a retail use within an existing single story building. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 for In-Fill Development Projects.

**PUBLIC HEARING:** All interested parties will be provided an opportunity to submit oral testimony during the teleconferenced Public Hearing and/or provide written testimony during or prior to the teleconferenced Public Hearing. The application file and related environmental documents may be inspected by appointment at the Community Development Department at 14177 Frederick Street, Moreno Valley, California by calling (951) 413-3206 during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday).

**COVID-19 – IMPORTANT NOTICES:** Please note that due to the COVID-19 pandemic situation, staff will attempt to make reasonable arrangements to ensure accessibility to inspect the aforementioned records. **In addition, special instructions on how to effectively participate in the teleconferenced Public Hearing, as approved by Governor Executive Order N-29-20, will be posted at <http://morenovalleyca.igm2.com/Citizens/default.aspx> and will be described in the Planning Commission agenda.**

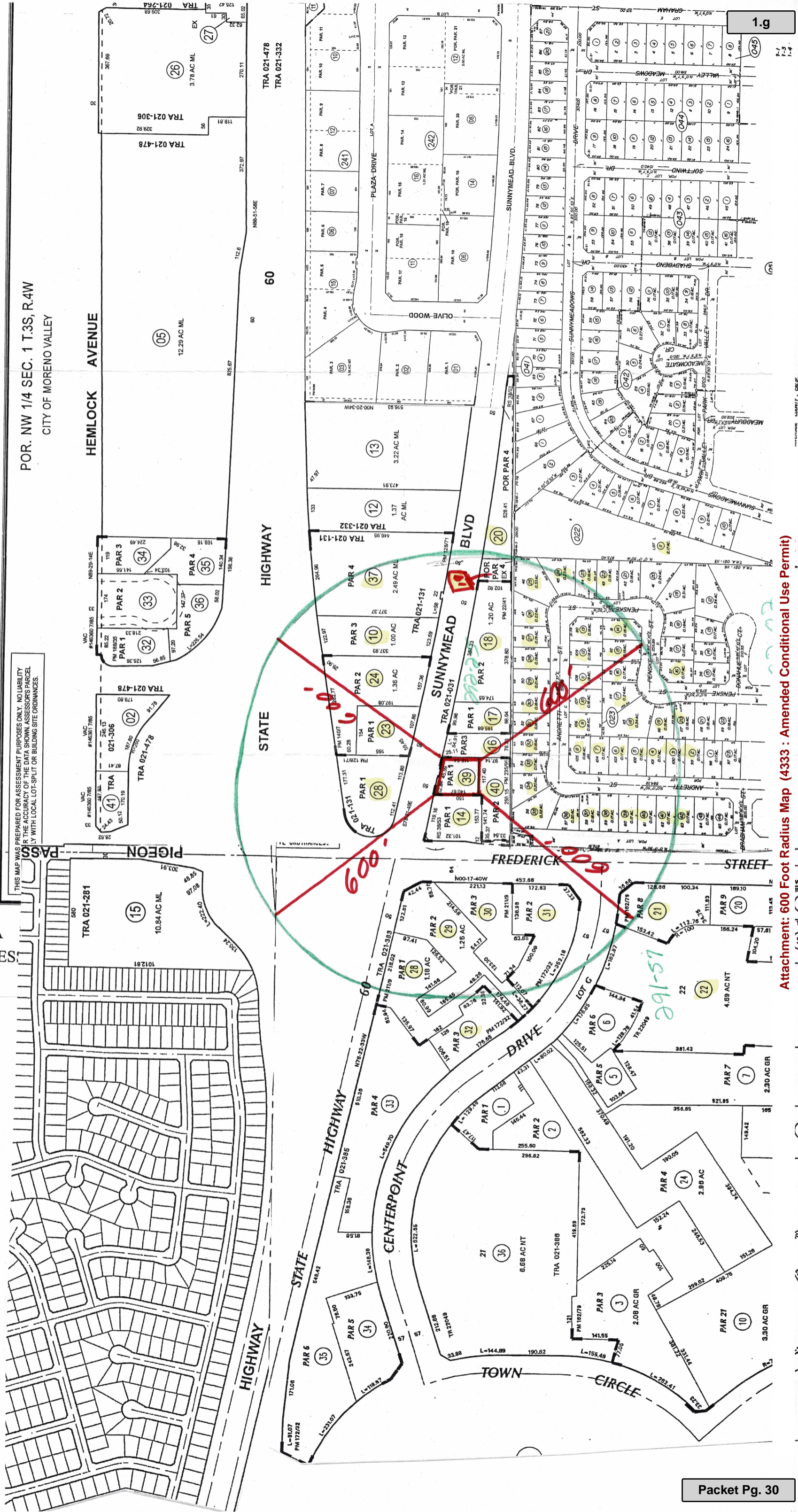
**PLEASE NOTE:** The Planning Commission may consider and approve changes to the proposed items under consideration during the teleconferenced Public Hearing.

**GOVERNMENT CODE § 65009 NOTICE:** If you challenge any of the proposed actions taken by the Planning Commission in court, you may be limited to raising only those issues you or someone else raised during the teleconferenced Public Hearing described in this notice, or written correspondence delivered to the Planning Division of the City of Moreno Valley during or prior to, the teleconferenced Public Hearing.

*Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to James Verdugo, ADA Coordinator, at 951.413.3350 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

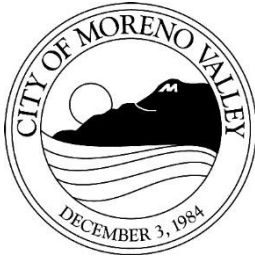
RIVERSIDE, CA  
Document: ASSES

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY FOR THE ACCURACY OF THE DATA SHOWN. ASSESSORS PARCEL ID'S WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.



1.9

Attachment: 600 Foot Radius Map (4333 : Amended Conditional Use Permit)



## PLANNING COMMISSION

### STAFF REPORT

Meeting Date: April 8, 2021

CONDITIONAL USE PERMIT FOR A 2,500 SQUARE FOOT RETAIL CANNABIS DISPENSARY LOCATED WITHIN AN EXISTING 7,000 SQUARE FOOT RETAIL BUILDING AT 24515 ALESSANDRO BOULEVARD, SUITE B AND CLASS 32 CEQA EXEMPTION

Case: PEN19-0068 Conditional Use Permit

Applicant: Black Creek LLC – DBA, The Greenery

Property Owner: Carmela Rincon Loelkes

Representative: Mark Douglas

Location: 24515 Alessandro Boulevard, Suite B, on the southeast corner of Alessandro Boulevard and Indian Street. APN 482-520-002

Case Planner: Sean Kelleher

Council District: 1

Proposal: Conditional Use Permit for a 2,500 square foot retail cannabis Dispensary, “The Greenery,” located within an existing retail building at 24515 Alessandro Boulevard, Suite B.

#### **SUMMARY**

The applicant, Black Creek LLC, is requesting approval of a Conditional Use Permit (CUP) to allow a 2,500 square foot retail cannabis dispensary within an existing 7,000 square foot retail building. The site is within the Community Commercial (CC) zone and the proposed use of commercial retail sales of cannabis is a conditionally permitted use within the Community Commercial (CC) zone. The proposed use is for commercial retail

sales of cannabis and cannabis products sold to individuals who are 21 years of age or older.

## **Background**

### **City Regulations**

In November 2017, the City Council adopted Ordinance 926, which set rules for the establishment, operation, and regulation of specific commercial cannabis uses. In March 2018, the City Council approved Resolution 2018-11 approving the initial procedure for permit applications. Land use regulations for the operation of cannabis uses were established in April 2018 with the adoption of Ordinance 932, which provided for the following cannabis uses: dispensaries, testing, cultivation, manufacturing, microbusinesses, and distribution.

Additionally, in December 2018, the City Council adopted Resolution No. 2018-94, establishing a maximum of 43 commercial cannabis permits. The table below identifies the various types of commercial cannabis permit types, the number of permits allowed, and the number and status of permits submitted.

<b>Commercial Cannabis Permit Types</b>	<b>Number of Permits Allowed</b>	<b>Number of Provisional Business Permits Issued</b>	<b>Number of Conditional Use Permit Applications Submitted</b>	<b>Number of Conditional Use Permit Applications In Review</b>	<b>Number of Conditional Use Permit Applications Approved</b>
<b>Dispensaries</b>	23	23*	22*	2	18
<b>Manufacturing</b>	5	2	2	2	0
<b>Cultivation</b>	8	2	2	2	0
<b>Distribution (of products from licensee to licensee only)</b>	2	2	2	1	1
<b>Microbusinesses</b>	3	3*	3*	0	2
<b>Testing Facilities</b>	2	0	0	0	0

\*Note: The Provisional Business License for one Microbusiness and one Dispensary have been revoked; therefore, the associated Conditional Use Permit Applications were closed.

The City's multi-step process for selecting commercial cannabis businesses that can legally operate in the City is as follows:

**Step 1 – Application Process.** Commercial Cannabis Business Permit applications were reviewed, and a background check of business owner(s) and their employees, was conducted. Applications with a minimum overall score of 80% were interviewed by staff to establish a candidate pool, and applications were required to be submitted through an online (PlanetBids) system. The City issued provisional Commercial Cannabis Business Permits to 32 successful applicants. Only those commercial cannabis businesses with provisional permits are eligible to proceed to the subsequent steps in the process.



**Step 2 – Obtain a Conditional Use Permit.** Municipal Code Section 9.09.290(C)(2) requires that commercial cannabis businesses must obtain a Conditional Use Permit, which is a land use entitlement process to confirm the proposed land use and site development elements will be consistent with City established development regulations as well as compatible with other land uses near the proposed project.

**Step 3 – State approval.** In addition to local permits, each commercial cannabis business must also obtain applicable State of California cannabis permits prior to commencing operation lawfully within the City.

**Step 4 – Obtain a Certificate of Occupancy.** Lastly, all commercial cannabis businesses must obtain a Certificate of Occupancy (“C of O”) from the Building and Safety Division prior to opening for business. The C of O is the final step in the process and documents that the Applicant has completed all required tenant improvements to the building and modifications to the parking lot, as required by conditions of approval in the CUP Resolution, and have paid all requisite City fees.

#### Provisional Commercial Cannabis Business Permit

On December 20, 2020, Black Creek LLC received a provisional Commercial Cannabis Business Permit (Permit Number MVCCBP-R0014) from the City of Moreno Valley. The applicant represents that they will apply for the necessary state permits once the Planning Commission approves the CUP application.

#### PROJECT

The applicant is requesting approval to establish a commercial cannabis dispensary (retail sales only) within an existing building at 24515 Alessandro Boulevard, on the southeast corner of Alessandro Boulevard and Indian Street (APN 482-520-002). The project site includes an existing one-story, 7,000 square foot, U-shaped building in which the dispensary will occupy approximately 2,500 square feet. The applicant is proposing hours of operation between 9:00 a.m. and 9:00 p.m. Monday through Sunday.

Proposed tenant improvements include modifications to the floor plan by adding new walls to establish a new check in area, retail sales area, secure storage area, office area, break room, and an accessible restroom. The entrance includes the check-in area with secured access to the retail area. The retail and dispensary area would provide for the sale of cannabis products, and the remainder of the building would include a hallway, a restroom, a break area, an employee and security office, and a secured storage area. Exterior improvements will be limited to the installation of new lighting. Associated site improvements will include a new trash enclosure, lighting, and accessible pathways to parking and to the public street.

#### Safety and Security Plan

The applicant will implement similar security measures to other cannabis retail businesses, as required by Moreno Valley Municipal Code Section 9.09.290. The section requires a Safety and Security Plan, which has been provided to the City and

identifies methods to address site security for employees, customers, and the public as well as fire prevention methods that comply with local and state laws and include provisions for on-site security guards, fire alarm system, on-site safety and security signage, parking lot lighting, and required secured parking for deliveries, a video surveillance system, the transfer of product and currency. A condition of approval requires the applicant to provide all video to the Police and Fire Departments upon their request.

### Odor Control Plan

An Odor Control Plan has been prepared for the project in conformance with City requirements to ensure abatement of all potential odors that could emanate from the dispensary. This plan states that the dispensary will utilize an activated carbon filter system. Filters will be replaced as necessary to ensure there will be no odor nuisance emitted from the operation. The air filtration system will be designed by a licensed Mechanical Engineer and reviewed and permitted by the Building & Safety Division staff as part of the tenant improvement plans for the heating, ventilation and air conditioning (HVAC) systems for the proposed dispensary. In addition, staff is requiring that automatic closures shall be installed on all interior and exterior doors and that all roof venting, wall penetrations panel joints, etc., be sealed to prevent odors from migrating outside of the dispensary.

### Surrounding Area

The proposed retail cannabis dispensary will occupy a 2,500 square foot portion of an existing 7,000 square foot retail building within the Sunnymead Village Center, in the Community Commercial (CC) zone. Uses to the north of the project site across Alessandro Boulevard include a gas station and auto parts store within the Neighborhood Commercial (NC) zone; uses to the south and east include a combination of retail, restaurant, personal service, and religious uses within the Sunnymead Village Center; and uses to the west across Indian Street include a commercial strip center and vacant land within the Neighborhood Commercial (NC) zone.

### Access/Parking

Vehicle access to the Sunnymead Village Center is provided by two existing driveways located on Alessandro Boulevard and two existing driveways on Indian Street. The proposed suite was previously utilized as a retail use; therefore, because the proposed use is also for a retail business no additional analysis of parking is required. As the applicant is installing a new trash enclosure which will result in the loss of two parking spaces within the center, staff has reviewed the mix of uses within the center and found that the loss of the two spaces will not negatively impact the parking needs of the center.

### Design/Landscaping

The applicant has proposed to upgrade the project site with the installation of new exterior lighting on the exterior of the suite, a trash enclosure, and accessible pathways to parking and to the public street.

### **REVIEW PROCESS**

In compliance with the Municipal Code, the Project Review Staff Committee (PRSC) reviewed this project on April 10, 2020. The applicant has worked with staff, and modified the proposed plans to the satisfaction of all departments. Based on staff's review, it was determined that the project will be consistent with the City's requirements, subject to the conditions of approval in the attached Resolution.

### **ENVIRONMENTAL**

Staff recommends that the Planning Commission find that the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 32 Exemption (Section 15332, In-Fill Development Projects). Pursuant to the California Code of Regulations a Class 32 exemption can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services. The proposed project has been found to meet all of the conditions of the Class 32 exemption as the project is consistent with the applicable General Plan designation and policies; is located on a site less than five acres in size; contains no valuable habitat; will not result in significant environmental effects; and is adequately served by utilities and public services.

### **NOTIFICATION**

Public notice was sent to all property owners of record within 600' of the project on March 25, 2021. The public hearing notice for this project was posted on the project site and published in the local newspaper on March 26, 2021. As of the preparation of the staff report the City had received two inquiries regarding the project; the first person requested additional information and the second expressed their opposition to the project.

### **REVIEW AGENCY COMMENTS**

The project application materials were circulated for review by all appropriate City departments and divisions as well as applicable outside agencies.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission **APPROVE** Resolution No. 2021-23, thereby:

1. **DETERMINING** that Conditional Use Permit PEN19-0068 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development Projects); and
2. **APPROVING** Conditional Use Permit PEN19-0068 subject to the attached Conditions of Approval included as Exhibit A to the Resolution.

Prepared by:  
Sean P Kelleher

Approved by:  
Patty Nevins  
Planning Official

### **ATTACHMENTS**

1. Resolution No. 2021-23 Conditional Use Permit
2. Exhibit A to Resolution No. 2021-23 Conditions of Approval
3. Aerial Map
4. Zoning Map
5. Project Plans
6. 600 Foot Mailing Notice
7. 600 Foot Radius Map

## RESOLUTION NUMBER 2021-23

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING A CONDITIONAL USE PERMIT (PEN19-0068) FOR A CANNABIS DISPENSARY, “THE GREENERY” LOCATED AT 24515 ALESSANDRO BOULEVARD SUITE B, AT THE SOUTHEAST CORNER OF ALESSANDRO BOULEVARD AND INDIAN STREET (APN 482-520-002)**

**WHEREAS**, the City of Moreno Valley (“City”) is a general law city and a municipal corporation of the State of California; and

**WHEREAS**, Black Creek LLC (“Applicant”) has filed an application for the approval of Conditional Use Permit PEN19-0068 (“Application”) for the development of a new commercial (retail) cannabis dispensary (“Project”) located at 24515 Alessandro Boulevard, Suite B (“Site”); and

**WHEREAS**, Section 9.09.290 (Commercial Cannabis Activities) provides that a limited number of commercial cannabis dispensaries may be allowed within the Community Commercial (CC), Neighborhood Commercial (NC) and Business Park-Mixed Use (BPX) zoning districts, with a properly secured conditional use permit approved through the Planning Commission; and

**WHEREAS**, Section 9.02.060 (Conditional Use Permits) of the Moreno Valley Municipal Code acknowledges that the purpose of conditional use permits is to allow the establishment of uses that may have special impacts or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location and that the conditional use permit application process involves the review of location, design and configuration of improvements related to the project, and the potential impact of the project on the surrounding area based on fixed and established standards; and

**WHEREAS**, the Application has been evaluated in accordance with Section 9.02.060 (Conditional Use Permits) of the Municipal Code with consideration given to the City’s General Plan, Zoning Ordinance, and other applicable laws and regulations; and

**WHEREAS**, Section 9.02.060 of the Municipal Code imposes conditions of approval upon projects for which a CUP is required, which conditions may be imposed by the Planning Commission to address on-site improvements, off-site improvements, the manner in which the site is used and any other conditions as may be deemed necessary to protect the public health, safety and welfare to ensure that the proposed Project will be developed in accordance with the purpose and intent of Title 9 (Planning and Zoning) of the Municipal Code; and

**WHEREAS**, pursuant to the provisions of Section 9.02.200 (Public Hearing And Notification Procedures) of the Municipal Code and Government Code Section 65905, a public hearing was scheduled for April 8, 2021, and notice thereof was duly published and posted, and mailed to all property owners of record within 600 feet of the Site; and

**WHEREAS**, on April 8, 2021, the public hearing to consider the Application was duly conducted by the Planning Commission at which time all interested persons were provided with an opportunity to testify and to present evidence; and

**WHEREAS**, consistent with the requirements of Section 9.02.060 (Conditional Use Permits) of the Municipal Code, at the public hearing the Planning Commission considered Conditions of Approval to be imposed upon Conditional Use Permit PEN19-0068 (“CUP”), which conditions were prepared by Planning Division staff who deemed said conditions to be necessary to protect the public health, safety and welfare and to ensure the proposed Project will be developed in accordance with the purpose and intent of Title 9 (“Planning and Zoning”) of the Municipal Code; and

**WHEREAS**, at the public hearing, the Planning Commission reviewed and considered the Planning Division’s recommendation that the proposed Project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) as set forth in Public Resources Code Sections 21000 – 21177 and the CEQA Guidelines as set forth in 14 California Code of Regulations Sections 15000-15387, under CEQA Guidelines<sup>1</sup> Section 15332 (In-Fill Development Projects) which can be applied to a project when the project is 1) consistent with the applicable General Plan designation and applicable policies; 2) occurs on a site that is less than five acres in size; 3) the site has no valuable habitat for rare or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site is adequately served by utilities and public services; and

**WHEREAS**, at the public hearing, the Planning Commission reviewed and considered whether each of the requisite findings specified in Section 9.02.060 of the Municipal Code and set forth herein could be made with respect to the proposed Project as conditioned by the Conditions of Approval.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:**

**Section 1. Recitals and Exhibits**

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

**Section 2. Notice**

That pursuant to Government Code section 66020(d)(1), notice is hereby given that the proposed project is subject to certain fees, dedications, reservations and other exactions as provided herein.

**Section 3. Evidence**

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<sup>1</sup> 14 California Code of Regulations §§15000-15387

That the Planning Commission has considered all of the evidence submitted into the administrative record for the proposed CUP, including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;
- (c) Application for the approval of Conditional Use Permit (CUP) PEN19-0068 and all documents, records and references contained therein;
- (d) Conditions of Approval for CUP PEN19-0068, attached hereto as Exhibit A;
- (e) Staff Report prepared for the Planning Commission's consideration and all documents, records and references related thereto, and Staff's presentation at the public hearing;
- (f) Staff's determination that the proposed Project is categorically exempt in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- (g) Testimony and/or comments from Applicant and its representatives during the public hearing; and
- (h) Testimony and/or comments from all persons that was provided in written format or correspondence, at, or prior to, the public hearing.

#### **Section 4. Findings**

That based on the content of the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission makes the following findings:

- (a) The proposed Project is consistent with the goals, objectives, policies and programs of the General Plan;
- (b) The proposed Project complies with all applicable zoning and other regulations;
- (c) The proposed Project will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity; and
- (d) The location, design and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity.

#### **Section 5. Determination of Categorical Exemption**

That the Planning Commission hereby determines that the proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 (In-Fill Development Projects).

#### **Section 6. Notice of Exemption**

That the Planning Division is hereby directed to prepare, execute, and file a Notice of Exemption as required by Section 5.2 (Noticing Requirements) of the City's Rules and Procedures for the Implementation of the California Environmental Quality Act and CEQA Guidelines Section 15062.

#### **Section 7. Approval**

That based on the foregoing Recitals, Administrative Record and Findings, the Planning Commission hereby approves CUP PEN19-0068 subject to the Conditions of Approval for CUP PEN19-0068, attached hereto as Exhibit A.

**Section 8. Repeal of Conflicting Provisions**

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

**Section 9. Severability**

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

**Section 10. Effective Date**

That this Resolution shall take effect immediately upon the date of adoption.

**PASSED AND ADOPTED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2021.**

CITY OF MORENO VALLEY  
PLANNING COMMISSION

\_\_\_\_\_  
Patricia Korzec, Chairperson

ATTEST:

\_\_\_\_\_  
Patty Nevins,  
Planning Official

APPROVED AS TO FORM:

\_\_\_\_\_  
Steven B. Quintanilla,  
Interim City Attorney

Exhibits:  
Exhibit A: Conditions of Approval

Attachment: Resolution No. 2021-23 Conditional Use Permit (4368 : Black Creek Properties (PEN19-0068))



Exhibit A

CONDITIONS OF APPROVAL

Attachment: Resolution No. 2021-23 Conditional Use Permit (4368 : Black Creek Properties (PEN19-0068))

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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CITY OF MORENO VALLEY  
 CONDITIONS OF APPROVAL  
 Conditional Use Permit (PEN19-0068)

EFFECTIVE DATE:  
 EXPIRATION DATE:

**COMMUNITY DEVELOPMENT DEPARTMENT**Planning Division

1. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
2. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code. (applicable to CUP's)
3. All landscaped areas and parking lots shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
4. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
5. All signs indicated on the submitted plans are not included with this approval and shall be renewed under separate permit.
6. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

Special Conditions

8. The commercial cannabis dispensary shall be consistent with all other applicable federal, state and local requirements including the Moreno Valley Municipal Code Title 5 and Title 9, and all related Municipal Code sections.
9. The cannabis licensee shall display its current valid Commercial Cannabis Business Permit under Chapter 5.05 of this Code and a Conditional Use Permit issued in accordance with this chapter inside the lobby or waiting area of the main entrance to the site. The permits shall be displayed at all times in a conspicuous place so that it may be readily seen by all persons entering the site. (MC 9.09.290 (D)(2)(c))
10. All City Fire, Police and Code personnel shall have unlimited and unrestricted property access for inspections of commercial cannabis businesses and facilities during business hours. (MC 9.09.290 (D)(2)(g))
11. Security surveillance cameras and a video recording system must be installed to monitor all doors

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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into and out of the buildings on the site, the parking lot, loading areas, and all exterior sides of the property adjacent to the public rights -of-way. The camera and recording systems must be of adequate quality, color rendition, and resolution to allow the identification of any individual present on the site. The recording system must be capable of exporting the recorded video in standards MPEG formats to another common medium, such as a DVD or USB drive. (MC 9.09.290 (E)(12)(a))

12. All windows on the building that houses the Cannabis Facility shall be appropriately secured and all cannabis and marijuana securely stored.
13. A copy of all pages of these conditions shall be included in the construction drawing package.
14. The commercial cannabis operation shall have a valid Commercial Cannabis Business Permit and shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits
15. No person associated with this commercial cannabis dispensary shall cause or permit the sale, dispensing or consumption of alcoholic beverages or the sale of tobacco products on or within 50 feet of the premises of a cannabis business. (MC 9.09.290 (D)(2)(b))
16. All operations conducted and equipment used must be in compliance with all applicable state and local regulations, including all building, electrical and fire codes. (MC 9.09.290 (E)(7)(b))
17. Professionally and centrally monitored fire, robbery, and burglar alarm systems must be installed and maintained in good working condition. The alarm system must include a private security company that is required to respond to every alarm. (MC 9.09.290 (E)(12)(b))
18. The site has been approved for a commercial cannabis dispensary, located at 24515 Alessandro Boulevard, Suite B, within an existing building, (approximately 2,500 square feet) per the approved plans and per the requirements of the City's Municipal Code (MC) Section 9.09.290 Commercial Cannabis activities, 9.09.293 Cannabis Business locations and use, and 5.05 Commercial Cannabis Activity. A change or modification to the interior design/set-up, exterior elevations or business process (including security procedures) shall require separate review and approval. For a Conditional Use Permit, violation may result in revocation of a Conditional Use Permit per MC Section 9.09.290 F and 9.02.260.
19. A licensee conducting a commercial cannabis dispensary shall meet all applicable operational requirements for retail/commercial cannabis dispensaries. (MC 9.09.290 (E)(4))
20. No person shall smoke, ingest, or otherwise consume cannabis in any form on, or within twenty (20) feet of, the dispensary site. (MC 9.09.290 (E)(4)(f))
21. The commercial cannabis dispensary shall have designated locked storage on the dispensary property for after-hours storage of medical and adult use recreational cannabis and cannabis infused products. All cannabis and cannabis infused products shall be stored at the dispensary property in secured rooms that are completely enclosed or in a safe that is bolted to the floor (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(4)(c))
22. Waste and storage and disposal of all cannabis and marijuana products shall meet all applicable state and local health regulation. (MC 9.09.290 (E)(13))
23. The cannabis license and the Conditional Use Permit, apply only to the 2,500 square foot existing building at 24515 Alessandro Boulevard, Suite B. No use of any other tenant space, outside of the

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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2,500 square foot existing building is allowed per Conditional Use Permit PEN19-0068.

24. Daily hours of operation for the dispensary may start no earlier than 6:00 am and end no later than 10:00 pm, Sunday through Saturday.
25. No commercial cannabis dispensary owner or employee shall: (i) cause or permit the sale, distribution, or consumption of alcoholic beverages on the dispensary property (ii) hold or maintain a license from the State Division of Alcoholic Beverage Control for the sale of alcoholic beverages; or (iii) operate a business on or adjacent to the dispensary property that sells alcoholic beverages. No alcoholic beverages shall be allowed or stored on the dispensary property. (MC 9.09.290 (E) (4)(g))
26. No cannabis or marijuana materials or products shall be visible from the exterior of any structure, facility, or building in which commercial cannabis dispensaries are being conducted. All commercial cannabis dispensaries must take place within a fully enclosed, secured and permanent structure (with accommodations in place at all times to allow for and facilitate unlimited/unrestricted access throughout the premises by emergency service personnel). (MC 9.09.290 (E)(6)(c))
27. The premises must be equipped with an odor absorbing ventilation and exhaust system so that odor generated inside the Cannabis Business that is distinctive to its operation is not detected outside the Cannabis Business, anywhere on adjacent property or public rights-of-way, on or about any exterior or interior common area walkways, hallways, breeze-ways, foyers, lobby areas, or any other areas available for common use by tenants or the visiting public, or within any other unit located within the same building as the Cannabis Business. As such, Cannabis Businesses must install and maintain the following equipment or any other equipment which the Local Licensing Authority determines has the same or better effectiveness:
  - a. An exhaust air filtration system with odor control that prevents internal odors from being emitted externally; or
  - b. An air system that creates negative air pressure between the Cannabis Businesses' interior and exterior so that the odors generated inside the Cannabis Business are not detectable outside the Cannabis Business.
28. All Cannabis heating, ventilation, air conditioning and odor control plans and blue prints shall be stamped by a Licensed HVAC Mechanical Engineer.
29. All window arrays, doors and associated framing systems shall be renovated to install new glazing compounds and seals.
30. Automatic closures on all interior and exterior doors shall be installed.
31. All interior and exterior door seals shall be replaced and adjusted.
32. All roof venting, wall penetrations, panel joints etc. shall be sealed
33. Air curtains shall be installed on all exterior doors.
34. Two secured parking spaces, identified on a plot plan shall be located convenient to the required secured area of each facility to be used by secured transfer vehicles involved in the couriering or dispensing of cannabis materials products to and from the facility and for use by any secured vehicle commissioned for the transfer of currency to and from the facility. (MC 9.09.290 (E)(9)(f))
35. Licensee shall prohibit loitering by individuals outside the licensed premises or anywhere on the property. (MC 9.09.290 (E) (14) (c))

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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36. Licensee shall remove any graffiti from the licensed premises within twenty –four (24) hours of its occurrence, or as requested by the city. (MC 9.09.290 (E) (14) (d))
37. Exterior landscaping within ten (10) feet of a licensed premises shall be designed, installed and maintained free of locations which could reasonably be used by persons to conceal themselves and/or to enable undesirable activity. The design and maintenance practices shall give appropriate consideration to both natural and artificial illumination. (MC 9.09.290 (E)(8)(c))
38. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approval of any new or repaired landscaping by the Planning Division designed per the City's Municipal Code 9.17.
39. Prior to issuance of Certificates of Occupancy or building final, the required landscaping and irrigation improvements shall be installed, and inspected and approved by the Planning Division. (DC 9.03.040)
40. Prior to issuance of Certificates of Occupancy or building final, the applicant shall cause the slurry sealing and restriping of the parking lot that shall be inspected and approved by the Planning and Building Divisions.
41. The parking lot lighting shall be maintained in good repair and shall comply with the Municipal Code lighting standards and the Security Plan at all times.
42. Prior to approval of tenant improvement plans, a detailed, on -site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be submitted as part of the Building and Safety Plan Check submittal for review and approval. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used and shall include style, illumination, location, height and method of shielding. The lighting shall be designed in such a manner so that it meets the lighting standards in the Cannabis Ordinance 932. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, DG) Lighting shall comply with the provisions of MC Section 9.08.100 including fixture type, wattage illumination levels and shielding. (MC 9.09.290 (E)(10))
43. The commercial cannabis operation shall comply with all requirements of Moreno Valley Municipal Code Chapter 5.05 prior to issuance of occupancy permits.
44. Prior to Building Permit or Certificate of Occupancy, the process for any transfer of product or currency shall be identified in an updated Security Plan to be reviewed and approved by the Planning Division. (MC 9.09.290 (D)(2)(f))
45. The Security Plan on file with the City of Moreno Valley shall remain in effect as long as the established use is in operation. Any changes, additions, removal or modifications to the plan shall be submitted to the City for review and inclusion in the Conditional Use Permit file.
46. Prior to approval of tenant improvement plans, the applicant shall submit plans detailing provisions for controlled/secured access into and out of the dispensary area.
47. Persons under the age of twenty-one (21) years shall not be allowed on the premises. It shall be unlawful and a violation of this chapter for any person to employ any person at a commercial cannabis business who is not at least twenty-one (21) years of age.

Building Division

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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48. The proposed non-residential project shall comply with the latest Federal Law, Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
49. Contact the Building Safety Division for permit application submittal requirements.
50. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m. (except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.
51. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
52. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
53. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
54. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
55. All remodeled structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc. The current code edition is the 2019 CBC.
56. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

**ECONOMIC DEVELOPMENT DEPARTMENT (EDD)**

57. New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.
58. New Moreno Valley businesses may adopt a "First Source" approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of the public recruitment.
59. New Moreno Valley businesses are encouraged to hire local residents.
60. New Moreno Valley businesses are encouraged to provide a job fair flyer and/or web announcement to the City in advance of job recruitments, so that the City can assist in publicizing these events.
61. New Moreno Valley businesses may utilize the workforce recruitment services provided by the Moreno Valley Business & Employment Resource Center ("BERC").  
The BERC offers no cost assistance to businesses recruiting and training potential employees.  
Complimentary services include:

**CONDITIONS OF APPROVAL**

Conditional Use Permit (PEN19-0068)

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- Job Announcements
- Applicant testing / pre-screening
- Interviewing
- Job Fair support
- Training space

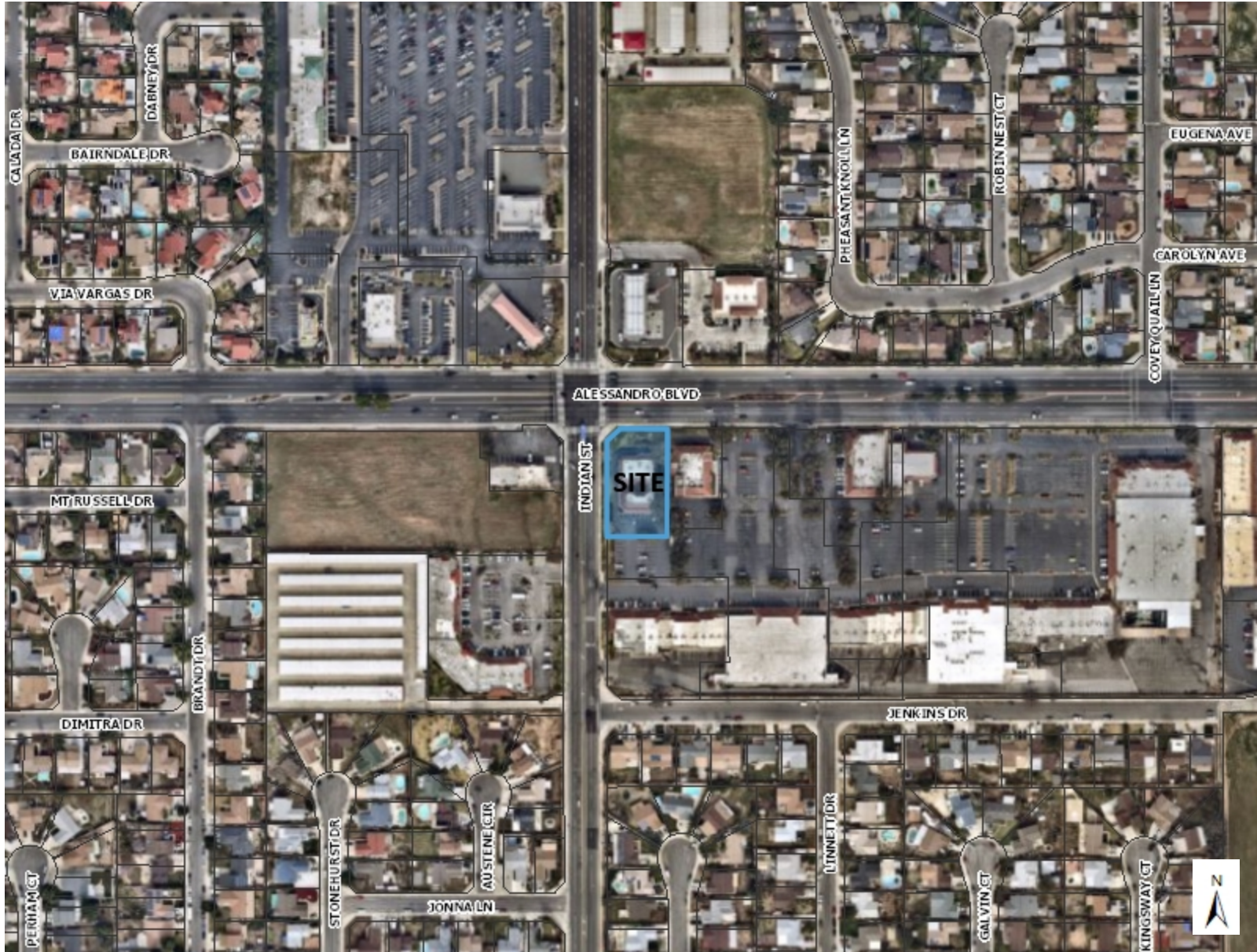
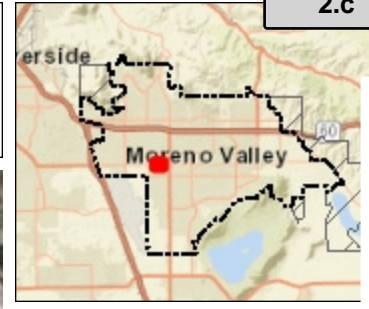
**FIRE DEPARTMENT**Fire Prevention Bureau

62. Prior to issuance of Certificate of Occupancy or Building Final, all commercial buildings shall display street numbers in a prominent location on the street side and rear access locations. The numerals shall be a minimum of twelve inches in height. (CFC 505.1, MVMC 8.36.060[I])
63. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
64. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
65. Prior to issuance of Certificate of Occupancy or Building Final, the applicant/developers shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans shall be submitted to the Fire Prevention Bureau for approval prior to installation. (CFC Chapter 9, MVMC 8.36.100[D])
66. Prior to issuance of a Certificate of Occupancy or Building Final, a “Knox Box Rapid Entry System” shall be provided. The Knox-Box shall be installed in an accessible location approved by the Fire Code Official. All exterior security emergency access gates shall be electronically operated and be provided with Knox key switches for access by emergency personnel. (CFC 506.1)

**PUBLIC WORKS DEPARTMENT**Prior to Encroachment Permit

67. Prior to Issuance of Occupancy, the developer shall be required to remove the existing driveway located south of the project on the east side of Indian Street and reconstruct it per City standard MVS1-112A-0.
68. Any work performed within public right-of-way requires an encroachment permit.

# Aerial Map



## Legend

- Master Plan of Trails**
- Bridge
  - Improved
  - Multiuse
  - Proposed
  - Regional
  - State
- Road Labels**
- Parcels
  - City Boundary
  - Sphere of Influence

Image Source: Nearmap

## Notes:

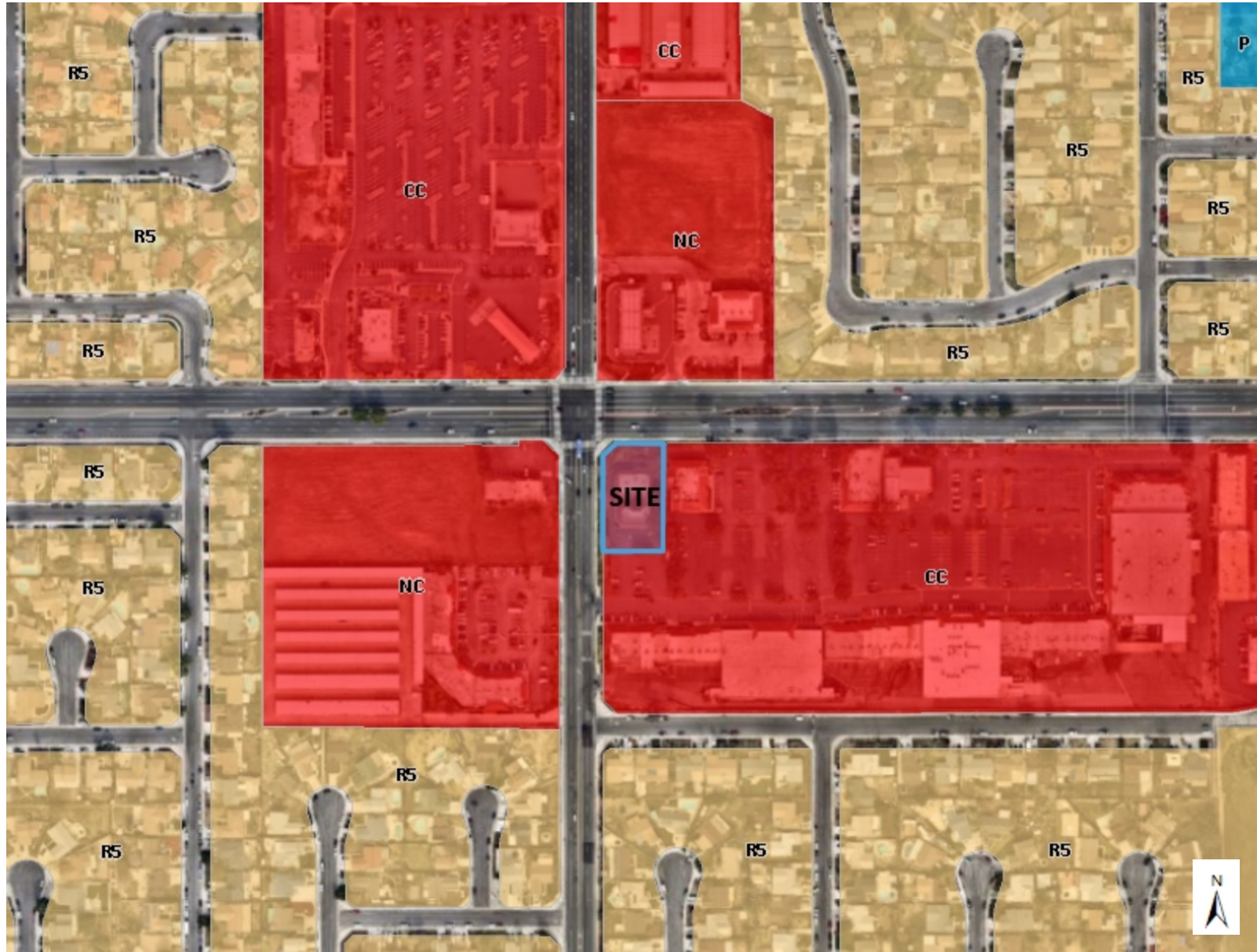
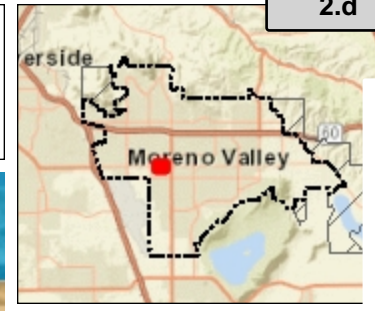
PEN19-0068

631.0 0 315.48 631.0 Feet

*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*



# Zoning Map



## Legend

### Zoning

- Commercial
- Industrial/Business Park
- Public Facilities
- Office
- Planned Development
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

### Master Plan of Trails

- Bridge
- Improved
- Multiuse
- Proposed
- Regional
- State

- City Boundary
- Sphere of Influence

Image Source: Nearmap

## Notes:

PEN19-0068

631.0 0 315.48 631.0 Feet

*DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.*

# CUP

# THE GREENERY

## TENANT IMPROVEMENT

24515 ALESSANDRO BLVD  
MORENO VALLEY, CA 92553  
A PROJECT FOR:  
BLACK CREEK PROPERTIES

### SHEET INDEX

NUMBER	NAME	ISSUE AND REVISIONS	CUP SUBMITTAL 02/19/21	CUP SUBMITTAL 02/22/21
<b>GENERAL</b>				
A0.0	TITLE SHEET			
A0.41	ACCESSIBILITY DETAILS - GENERAL			
A0.42	ACCESSIBILITY DETAILS - INTERIOR			
A0.43	ACCESSIBILITY DETAILS - SITE			
A0.61	SITE DETAIL			
<b>ARCHITECTURAL</b>				
A0.51	SITE PLAN			
A1.1	PREMISES DIAGRAM			
A1.2	ELEVATIONS			
A1.3	SECURITY DIAGRAM			
A1.4	AIR QUALITY AND ODOR CONTROL PLAN			
<b>ELECTRICAL</b>				
LT2.0	LIGHTING CUTSHEETS			
LT1.0	PHOTOMETRIC PLAN			

### PROJECT SUMMARY

#### PROJECT DESCRIPTION

APN NUMBER	482520002
OVERALL SITE AREA	27,443 SF
TOTAL BUILDING AREA	7,000 SF
TOTAL LEASED AREA	2,500 SF
STORIES ABOVE GRADE	1 LEVELS
OCCUPANCY GROUP	M (MERCANTILE) DISPENSARY
OCCUPANCY LOAD CALCULATION	2,500 SF / 60 OLF = 42 OCCUPANTS
REQUIRED EXIT	1 REQUIRED (2 PROVIDED)

### PROJECT DESCRIPTION

INTERIOR TENANT IMPROVEMENT OF EXISTING RETAIL SPACE. NO PROPOSED STRUCTURAL CHANGES OR EXTERIOR MODIFICATIONS TO THE EXISTING BUILDING. SITE UPGRADES INCLUDE ACCESSIBLE PATHWAYS TO PARKING AND PUBLIC STREET, AND NEW TRASH ENCLOSURE. INTERIOR REMODEL INCLUDES RETAIL SALES AREA, SECURE STORAGE AREA, STAFF AREAS FOR MANAGEMENT AND BREAK AND A ACCESSIBLE RESTROOM. THIS RETAIL SPACE WILL OPERATE AS A FULLY LICENSED DISPENSARY OF MEDICAL & ADULT USE CANNABIS, EDIBLES & CONCENTRATES AS PERMITTED BY THE CITY OF MORENO VALLEY, STATE OF CALIFORNIA & MAUCRSA POLICIES.

DELAYED EGRESS SHALL NOT AND WILL NOT BE INSTALLED AT THIS FACILITY AT ANY TIME.

In accordance with the California Building and Fire Code Chapters 9 and 10, buildings with delayed egress locks shall be equipped throughout with an automatic sprinkler system and an approved automatic smoke detection system.

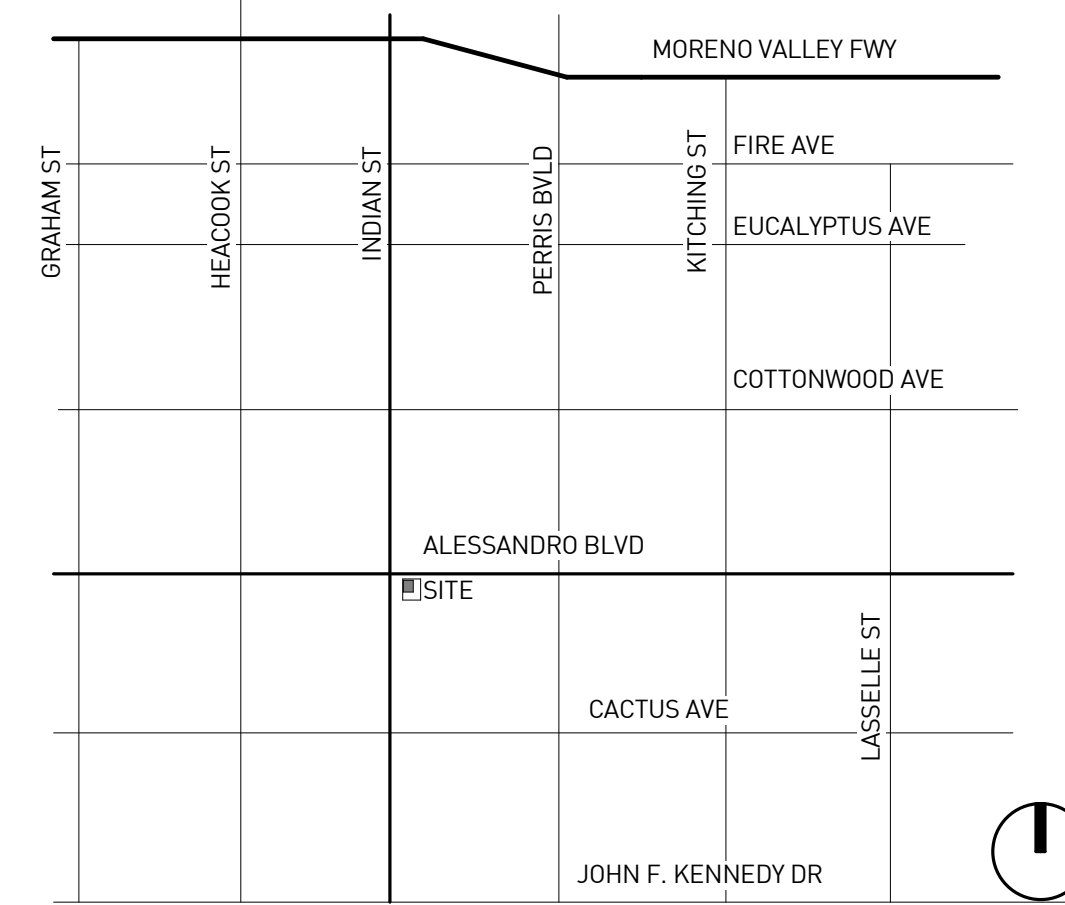
INSTALLATION OF DELAYED EGRESS AT THIS FACILITY WITHOUT SPRINKLERS AND DETECTION WILL RESULT IN IMMEDIATE BUSINESS CLOSURE.

### RELEVANT CODES

CALIFORNIA BUILDING CODE (CBC) 2019  
 CALIFORNIA PLUMBING CODE (CPC) 2019  
 CALIFORNIA MECHANICAL CODE (CMC) 2019  
 CALIFORNIA ELECTRICAL CODE (CEC) 2019  
 CALIFORNIA FIRE CODE (CFC) 2019  
 CALIFORNIA ENERGY CODE 2019  
 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019  
 NATIONAL FIRE PROTECTION ASSOCIATION STANDARD (NFPA 13 AND 17)  
 9.09.290 COMMERCIAL CANNABIS ACTIVITIES  
 MORENO VALLEY MUNICIPAL CODE

**NOTE:** THE INFORMATION CONTAINED WITHIN THE CALGREEN AND ACCESSIBILITY DETAIL SHEETS ARE EXCERPTS FROM THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND CALIFORNIA BUILDING CODE (CBC) AND IS INTENDED TO PROVIDE THE CONTRACTOR GENERAL REQUIREMENTS OF ACCESSIBILITY FOR THIS PROJECT. IF FURTHER INFORMATION OR CLARIFICATION IS REQUIRED, CONSULT THE ARCHITECT OR REFERENCE THE CBC PRIOR TO FABRICATION OR INSTALLATION OF WORK. ALL CLEARANCE DIMENSIONS TO BE TAKEN FROM FINISH. THESE SHEETS ARE FOR REFERENCE ONLY AND ILLUSTRATES CODE REQUIRED MINIMUM STANDARDS. SEE PERTINENT SHEETS, DRAWINGS AND SPECIFICATIONS FOR APPLICATION OF THESE STANDARDS TO THIS SPECIFIC PROJECT.

### VICINITY PLAN



### DIRECTORY

**ARCHITECT OF RECORD**  
**RDC**  
 245 E 3RD STREET  
 LONG BEACH, CA 90802  
 ATTN: VIRGINIA MAGGIORE, AIA  
 E-MAIL: Virginia.Maggiore@rdcollaborative.com  
 TEL: (562) 628-8000

**PROPERTY OWNER**  
**24515 ALESSANDRO BLVD, LLC**  
 P.O. BOX 613  
 MURRIETA, CA 92553  
 ATTN: CARMELA RINCON LOELKES,  
 E-MAIL: carmela@svrgroup.com  
 TEL: 909-228-4221

**CITY OF MORENO VALLEY - PLANNING DIVISION**  
**COMMUNITY DEVELOPMENT**  
 14177 FREDERICK ST.  
 MORENO VALLEY, CA 92553  
 ATTN: SEAN P. KELLEHER, SENIOR PLANNER  
 E-MAIL: seanke@moval.org  
 TEL: 951.413.3215

**APPLICANT**  
**BLACK CREEK PROPERTIES**  
 2000 VINTON WAY  
 REDLANDS, CA 92373  
 ATTN: DR. WALTER JONES, MD  
 E-MAIL: WJMD@AOL.COM  
 TEL: 909-228-4221

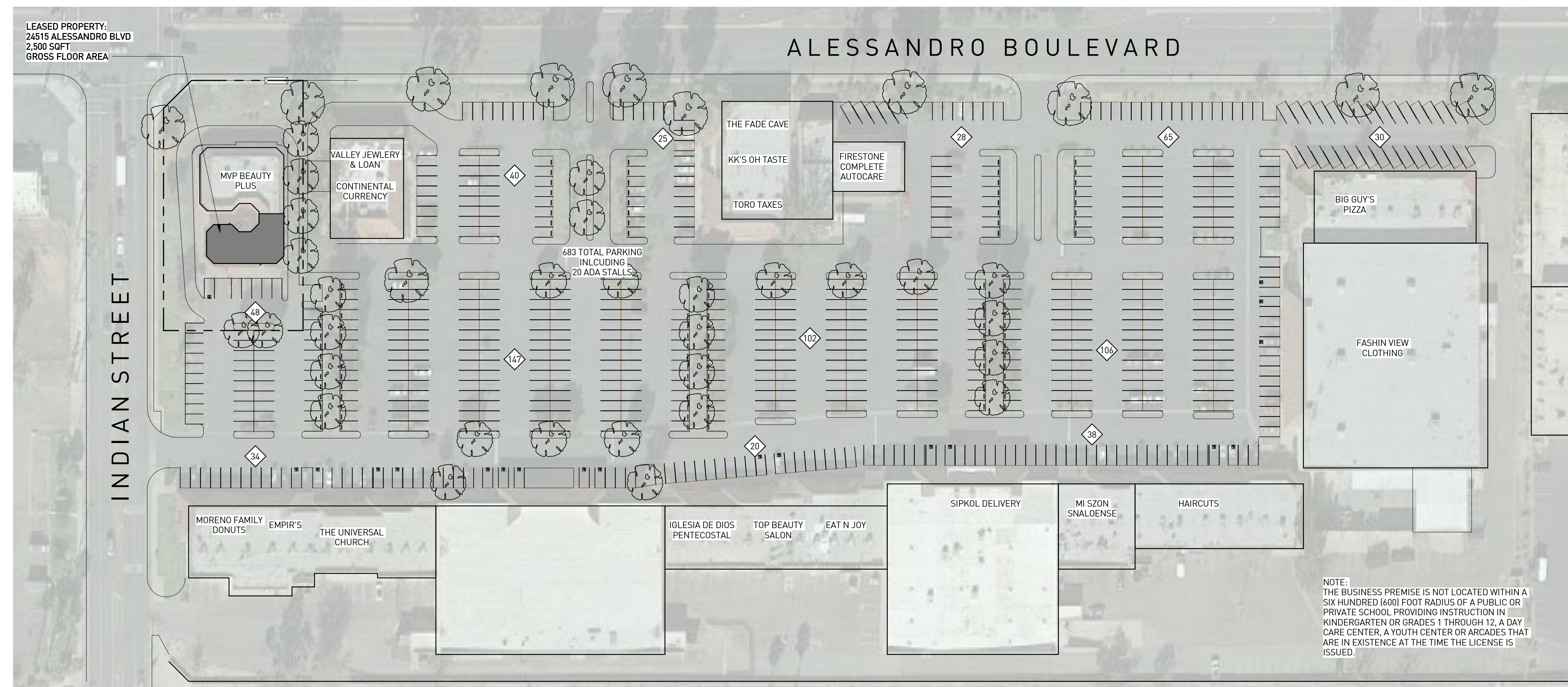
**AIRPORT LAND USE COMMISSION**  
**COMMUNITY DEVELOPMENT**  
 4080 LEMON STREET, 14TH FLOOR  
 RIVERSIDE, CA 92501  
 ATTN: PAUL RULL, PRINCIPAL PLANNER  
 E-MAIL: seanke@moval.org  
 TEL: 951-955-6893

**APPLICANT**  
**COOKIES RETAIL**  
 4675 MACARTHUR COURT, STE 1500  
 NEWPORT BEACH, CA 92660  
 ATTN: ANNA MENDOZA  
 E-MAIL: ANNA@COOKIESRE.COM  
 TEL: 714.448.3649

### PARKING SUMMARY

REQUIRED PARKING	1/225 SQFT 2,500 SQFT / 225 = 22 PARKING REQUIRED (48 PROVIDED)
REQUIRED ADA PARKING	1 REQUIRED (1 PROVIDED, VAN ACCESSIBLE)
OVERALL PARKING	APPROX 680 PARKING PROVIDED
OVERALL ADA PARKING	20 ADA STALLS PROVIDED

### SITE PLAN



**NOTE:** THE BUSINESS PREMISE IS NOT LOCATED WITHIN A SIX HUNDRED (600) FOOT RADIUS OF A PUBLIC OR PRIVATE SCHOOL PROVIDING INSTRUCTION IN KINDERGARTEN OR GRADES 1 THROUGH 12, A DAY CARE CENTER, A YOUTH CENTER OR ARCADES THAT ARE IN EXISTENCE AT THE TIME THE LICENSE IS ISSUED.

### PLUMBING CALCULATION

OCCUPANT LOAD	FIXTURE TYPE	FIXTURES PER PERSON	FIXTURES REQUIRED	FIXTURES PROVIDED
M OCC: 2,500 SF / 60 = 42	WATER FOUNTAINS	1 - 250	1	1
	WATER CLOSETS	1 - 100	1	1
MALE: 21	URINALS	1 - 200	1	0
	LAVATORIES	1 - 200	1	1
FEMALE: 21	WATER CLOSETS	1 - 25	1	0
	LAVATORIES	1 - 100	1	0

PER TABLE 422.1, 2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA PLUMBING CODE 422.2, EXCEPTION 3  
 IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.



245 East Third Street  
 Long Beach, Ca 90802  
 t 562.628.8000  
 rdcollaborative.com

**THE GREENERY**  
**TENANT IMPROVEMENT**

24515 ALESSANDRO BLVD  
 MORENO VALLEY, CA 92553

Attachment: Project Plans (4368 - Black Creek Properties (PEN19-0068))

REVISIONS	DATE
▲ ISSUE	

PROJECT NUMBER: 20-137

TITLE SHEET

A0.0

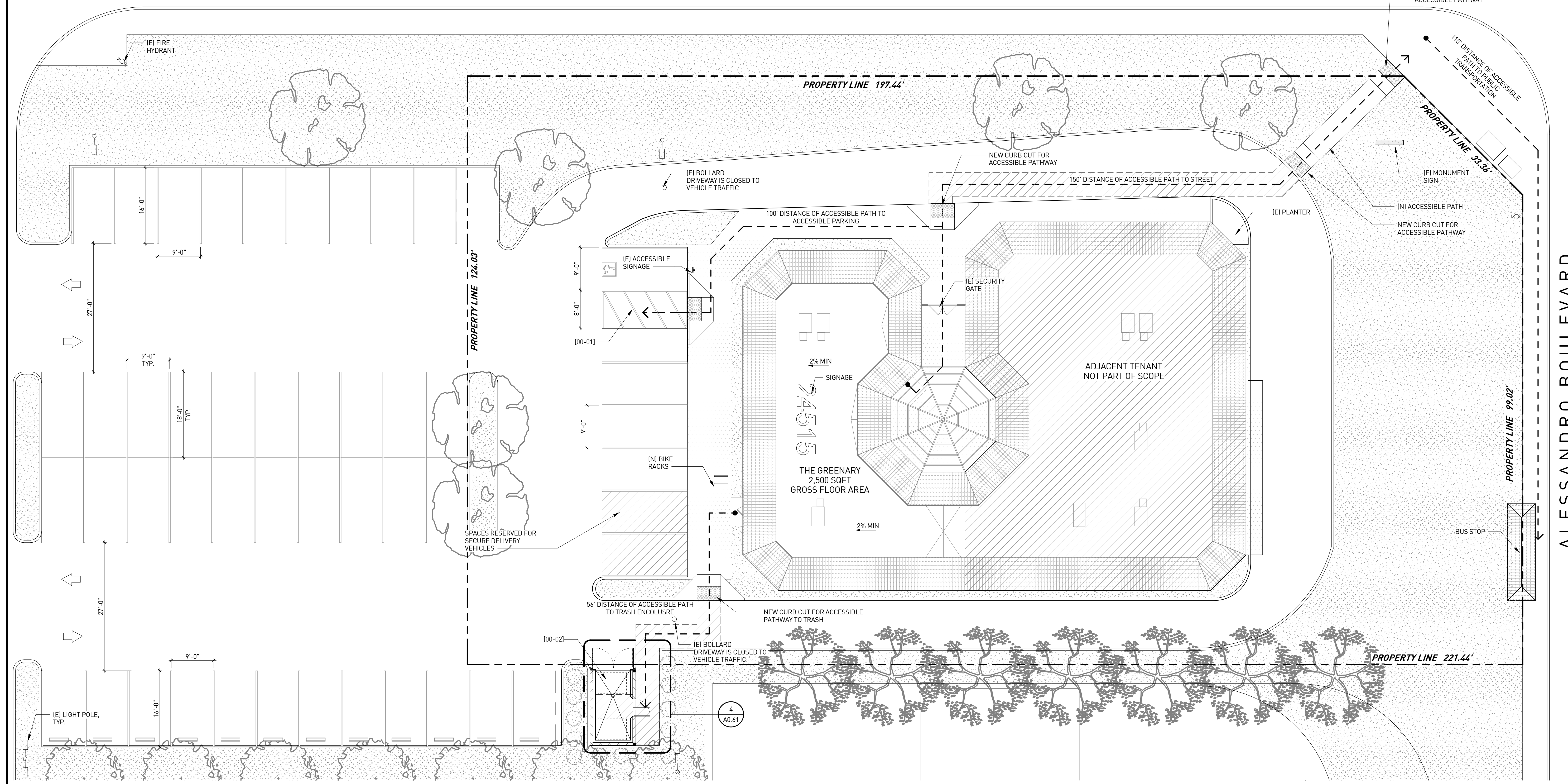
CUP: 02/22/2021

Packet Pg. 50

# INDIAN STREET



245 East Third Street  
Long Beach, Ca 90802  
t 562.628.8000  
rdcollaborative.com



ALESSANDRO BOULEVARD

ROOF | 1 |

3/32" = 1'-0"

## SHEET NOTES

- ALL CIVIL (GRADES) AND LANDSCAPE INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. PUBLIC SIDEWALK AND SITE HARDSCAPE DESIGN, GRADES, PUBLIC SIDEWALKS, SITE WALKWAYS, EXIT DOOR EXTERIOR LANDINGS, EXIT PATHS, CURB RAMPS, DRIVEWAY APRONS, ETC. TO COMPLY WITH GOVERNING CODE REQUIREMENTS.
- SITE FURNISHINGS, SITE FURNISHINGS SHALL NOT BE LOCATED IN THE EXIT PATHWAYS AND SHALL NOT BLOCK EXIT DOORS. SITE FURNISHINGS SHALL NOT BLOCK FIRE DEPARTMENT ACCESS.
- THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NO LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL PER GOVERNING CODE REQUIREMENTS.

## KEYNOTES

NUMBER	DESCRIPTION
00-01	ACCESSIBLE PARKING ASPHALT TO BE REGRADED TO COMPLY WITH CURRENT ACCESSIBILITY REGULATIONS. CURB CUT AND ACCESSIBLE RAMP TO BE PROVIDED. PARKING AREA TO BE RE-STRIPED AS REQUIRED.
00-02	NEW CMU TRASH ENCLOSURE. PAINTED TO MATCH ADJACENT BUILDINGS. STRUCTURE TO HAVE SOLID ROOF/COVER, DRAINING TO ADJACENT LANDSCAPE AREA. NEW SHRUBS IN THE PLANTING AREA.

## GRAPHICS LEGEND

- ACCESSIBLE PATH OF TRAVEL
- EXISTING LANDSCAPE
- EXISTING HARDSCAPE
- NOT IN SCOPE

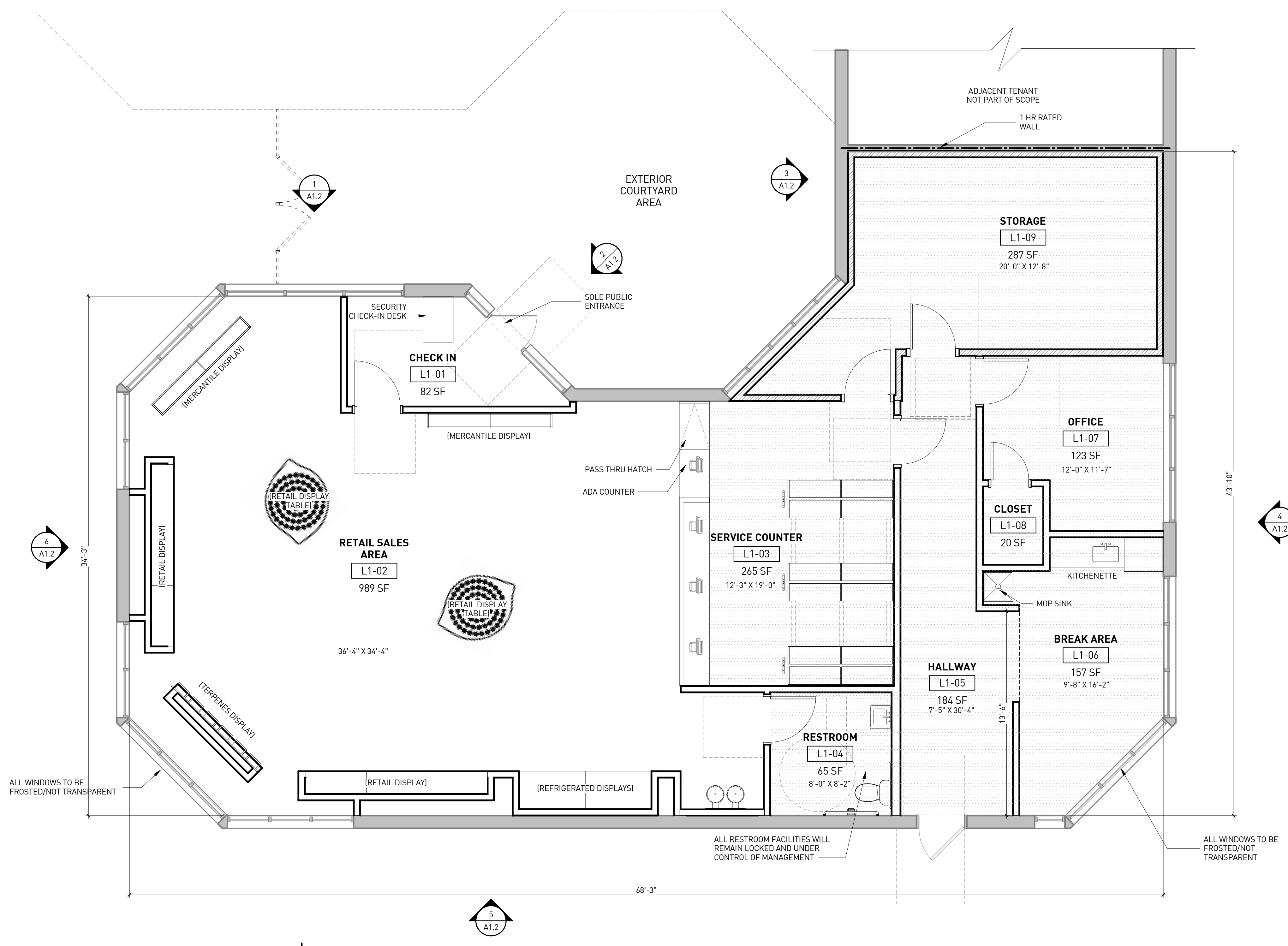
## REVISIONS

ISSUE	DATE

PROJECT NUMBER: 20-137  
**SITE PLAN**

# A0.51

C:\LocalRevt\ARCH\20137-R20-Greemary 24515 Alessandro, Chelsea Silva.rvt 2/19/2021 12:57:54 PM Attachment: Project Plans (4368 - Black Creek Properties (PEN19-0068))



PREMISES DIAGRAM | 1 | 1/4" = 1'-0"

C:\LocalRevit\ARCH-20137-R20-Creemary 24515 Alessandro Chelsea Silva.rvt 2/19/2021 12:57:57 PM

**SHEET NOTES**

DELAYED EGRESS SHALL NOT AND WILL NOT BE INSTALLED AT THIS FACILITY AT ANY TIME.  
In accordance with the California Building and Fire Code Chapters 9 and 10, buildings with delayed egress locks shall be equipped throughout with an automatic sprinkler system and an approved automatic smoke detection system.  
INSTALLATION OF DELAYED EGRESS AT THIS FACILITY WITHOUT SPRINKLERS AND DETECTION WILL RESULT IN IMMEDIATE BUSINESS CLOSURE.

- PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL SURFACE.
- ALL EXISTING DOORS AND WINDOWS TO REMAIN.
- INTERIOR OF LEASED AREA IS CURRENTLY AN EMPTY SHELL. NO DEMOLITION REQUIRED.

**KEYNOTES**

NUMBER	DESCRIPTION
--------	-------------

**GRAPHICS LEGEND**

- [Symbol] EXISTING WALLS TO REMAIN
- [Symbol] NEW WALLS
- [Symbol] VAULT WALL
- [Symbol] 1 HOUR WALL
- [Symbol] 2 HOUR WALL
- [Symbol] 3 HOUR WALL
- [Symbol] KEYNOTE TAG
- [Symbol] DOOR TAG
- [Symbol] WALL TYPE TAG
- [Symbol] WINDOW / STOREFRONT TYPE TAG
- [Symbol] COLUMN
- [Symbol] DIRECTION OF EXIT ARROW
- [Symbol] EXIT SYMBOL
- [Symbol] LIMITED ACCESS AREA

**THE GREENERY  
TENANT IMPROVEMENT**

24515 ALESSANDRO BLVD  
MORENO VALLEY, CA 92553

Attachment: Project Plans (4368 - Black Creek Properties (PEN19-0068))

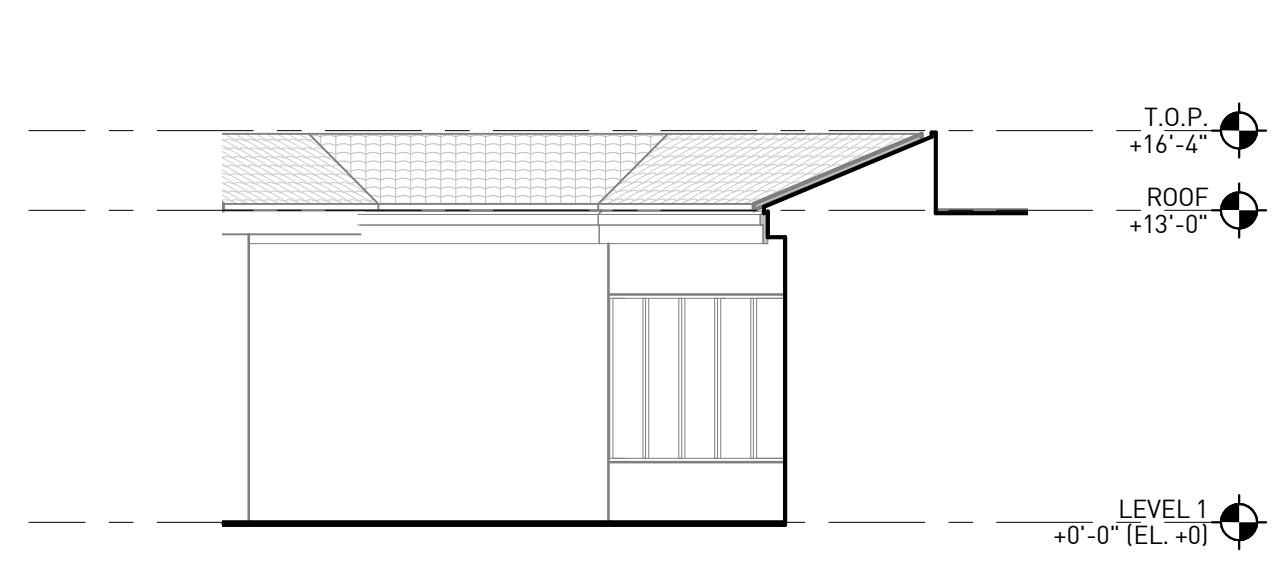
**REVISIONS**

ISSUE	DATE

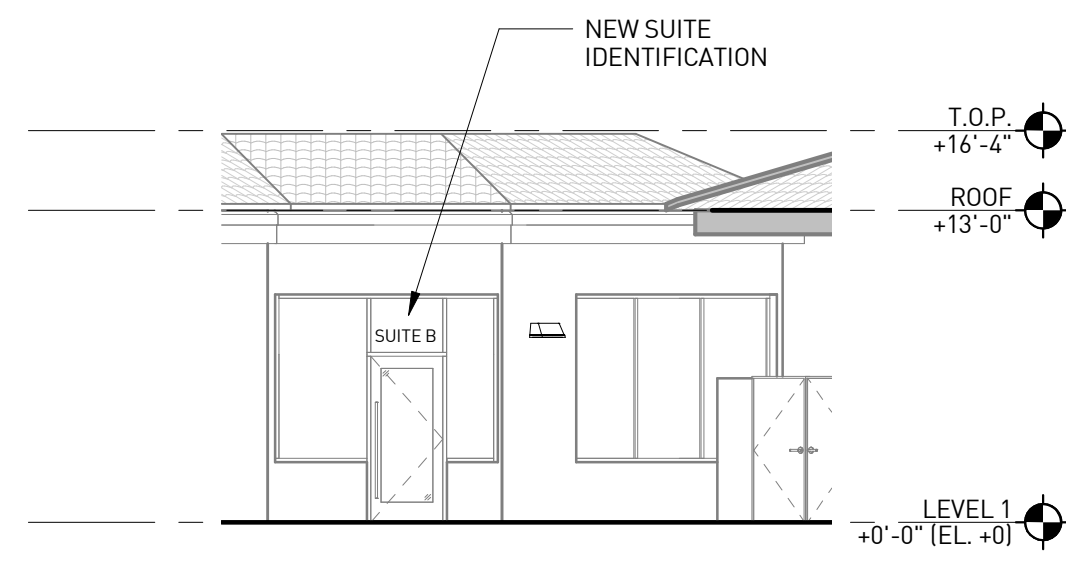
PROJECT NUMBER: 20-137

**PREMISES  
DIAGRAM**

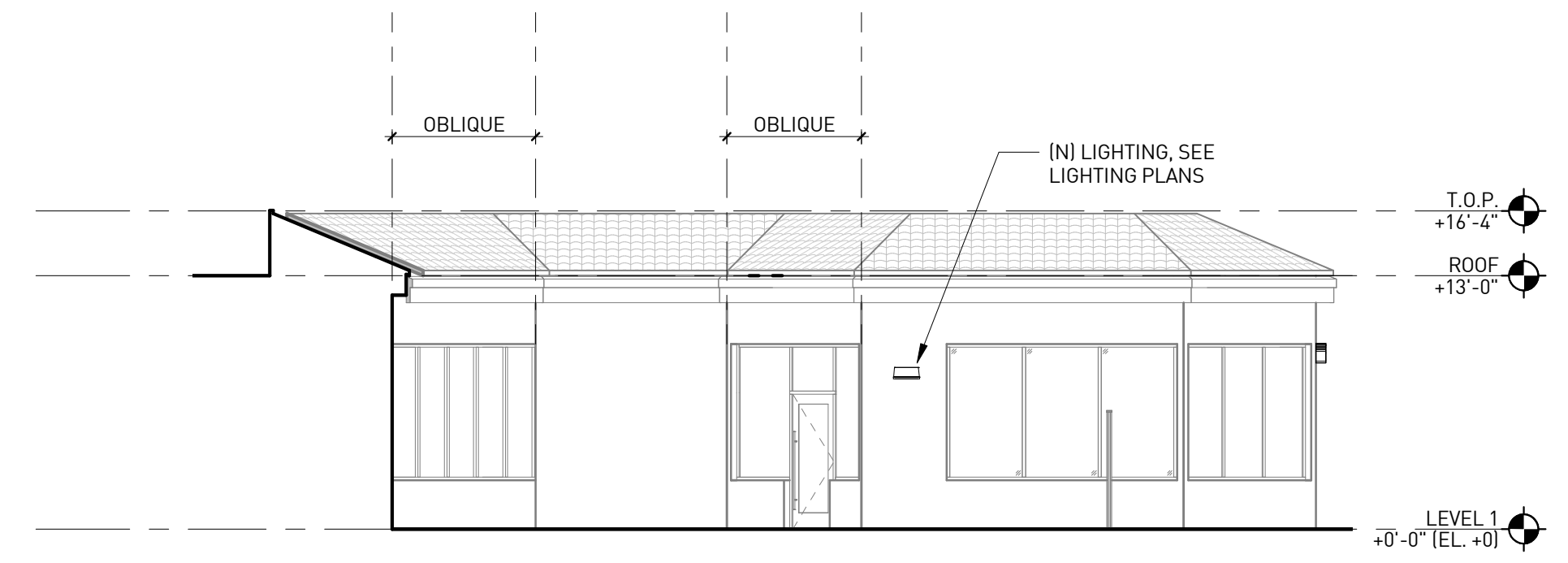
A1.1



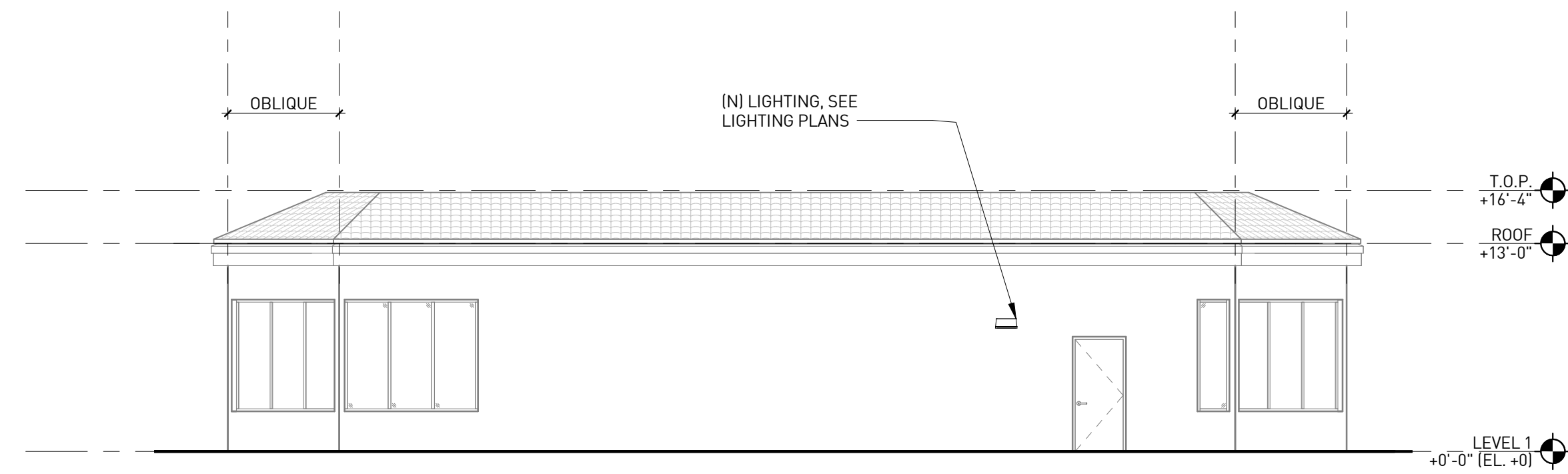
WEST ELEVATION 02 | 3  
1/8" = 1'-0"



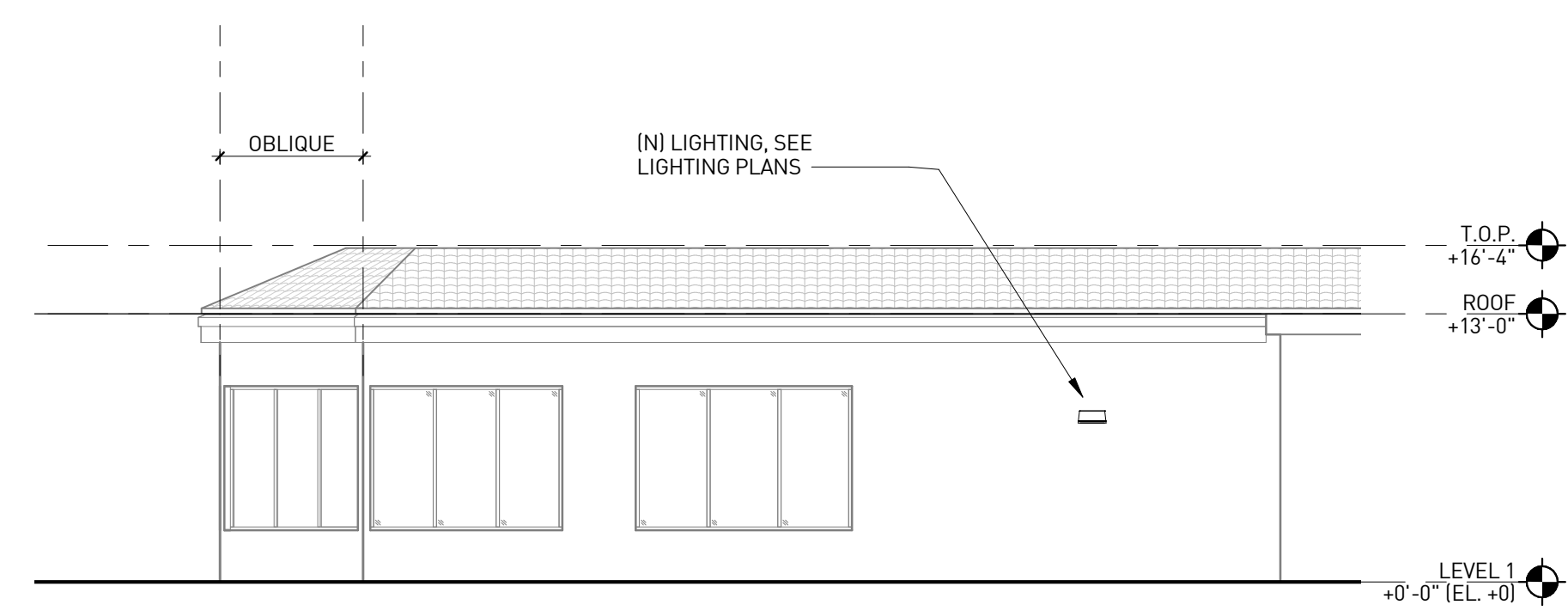
ENTRY ELEVATION | 2  
1/8" = 1'-0"



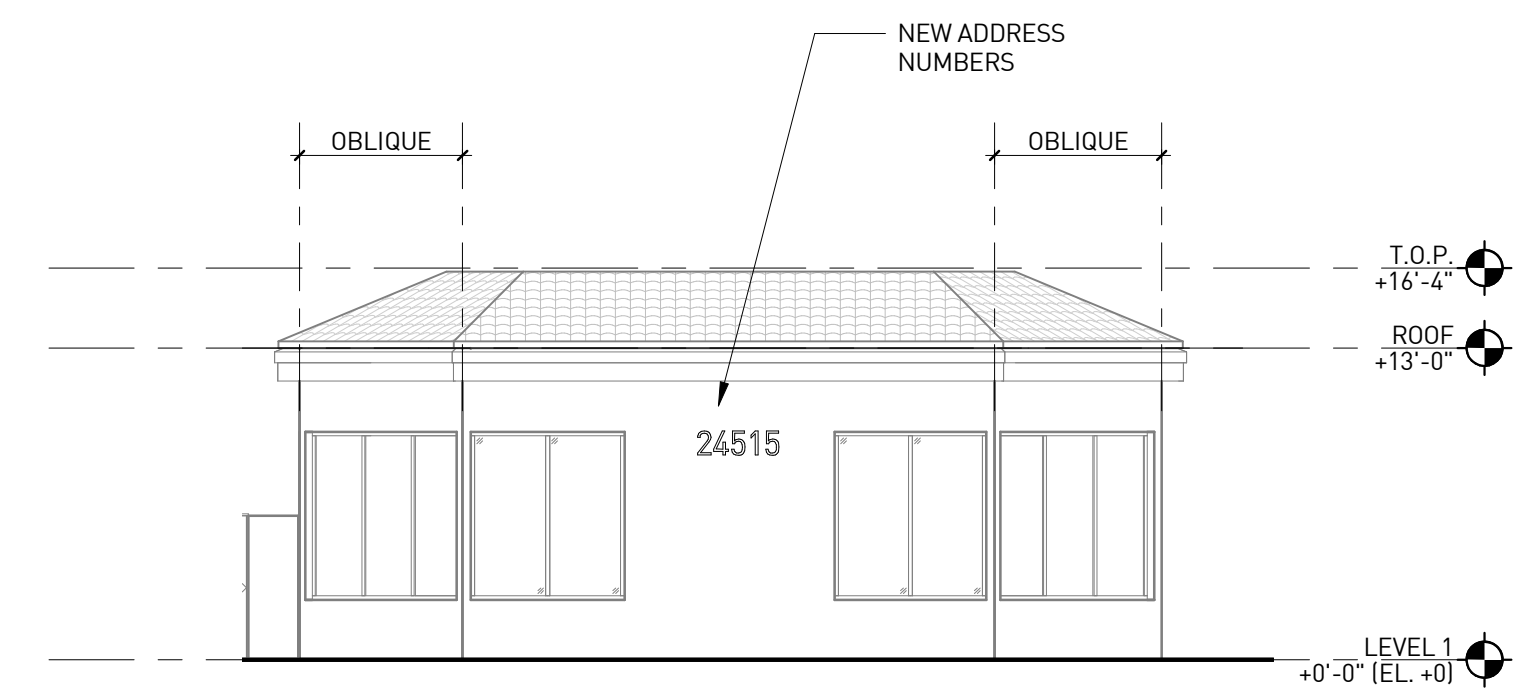
NORTH ELEVATION | 1  
1/8" = 1'-0"



SOUTH ELEVATION | 5  
1/8" = 1'-0"



EAST ELEVATION | 4  
1/8" = 1'-0"



WEST ELEVATION | 6  
1/8" = 1'-0"

**SHEET NOTES**

1. ALL SURFACES NOT ELEVATED OR CALLED OUT SHALL MATCH ADJACENT SURFACES.
2. GLASS DOOR, ADJACENT PANELS AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF SAFETY GLAZING, REFER TO SPECIFICATION. REFER TO "T" NOTATION ON EXTERIOR ELEVATIONS.

**KEYNOTES**

**GRAPHICS LEGEND**

**THE GREENERY  
TENANT IMPROVEMENT**

24515 ALESSANDRO BLVD  
MORENO VALLEY, CA 92553

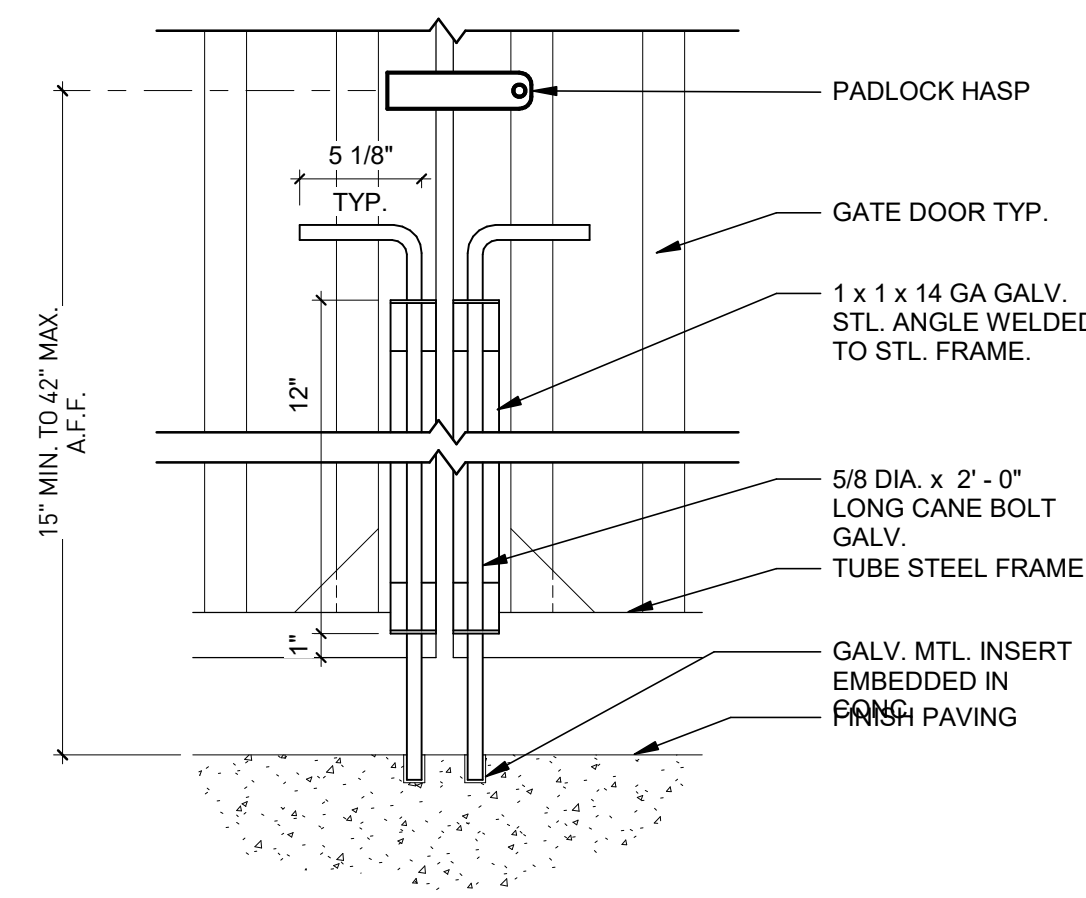
Attachment: Project Plans (4368 - Black Creek Properties (PEN19-0068))

**REVISIONS**

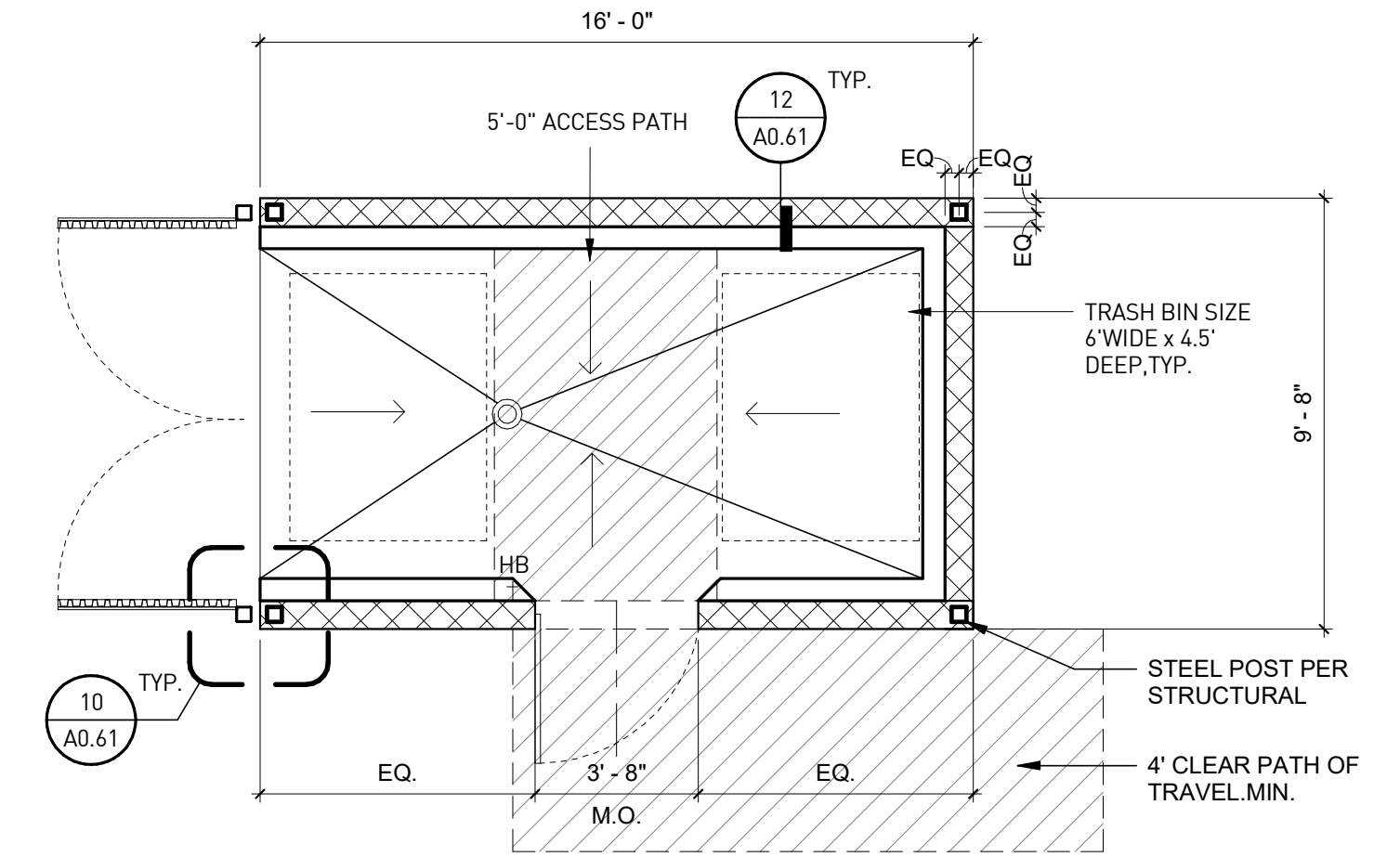
△ ISSUE	DATE

PROJECT NUMBER: 20-137

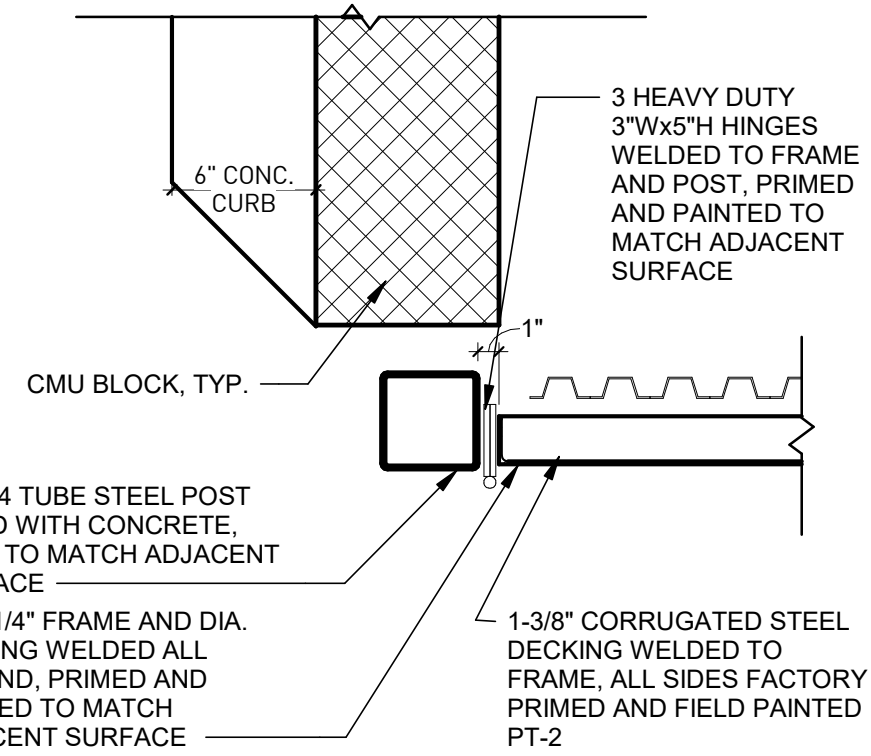
**ELEVATIONS**



**TRASH ENCLOSURE - CANE DETAIL 1 | 11**  
1 1/2" = 1'-0"

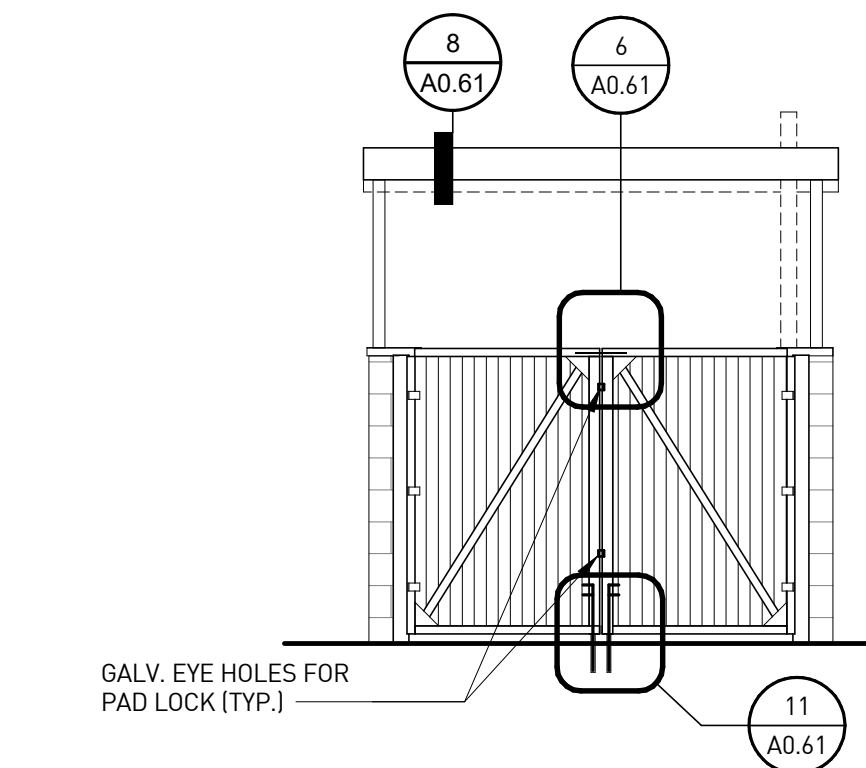


**2-BIN TRASH ENCLOSURE PLAN - PLAN 4**  
1/4" = 1'-0"

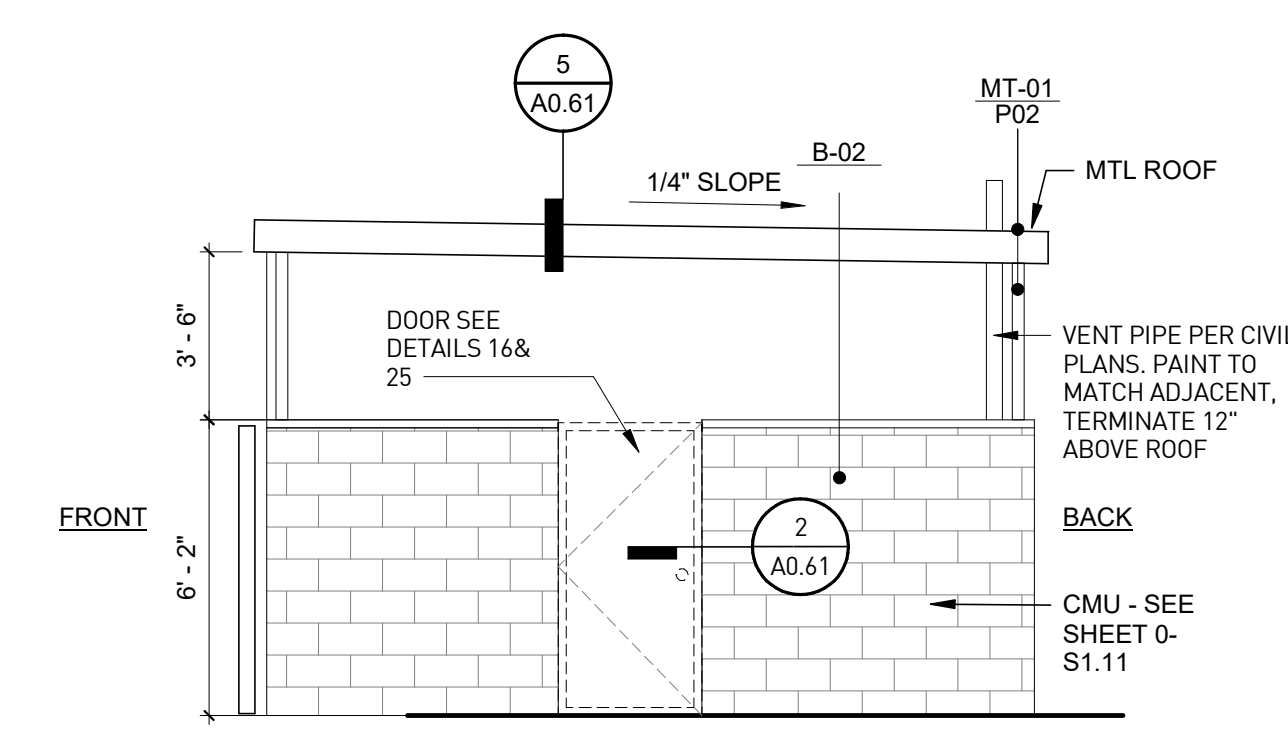


**TRASH ENCLOSURE - GATE 1 | 10**  
1 1/2" = 1'-0"

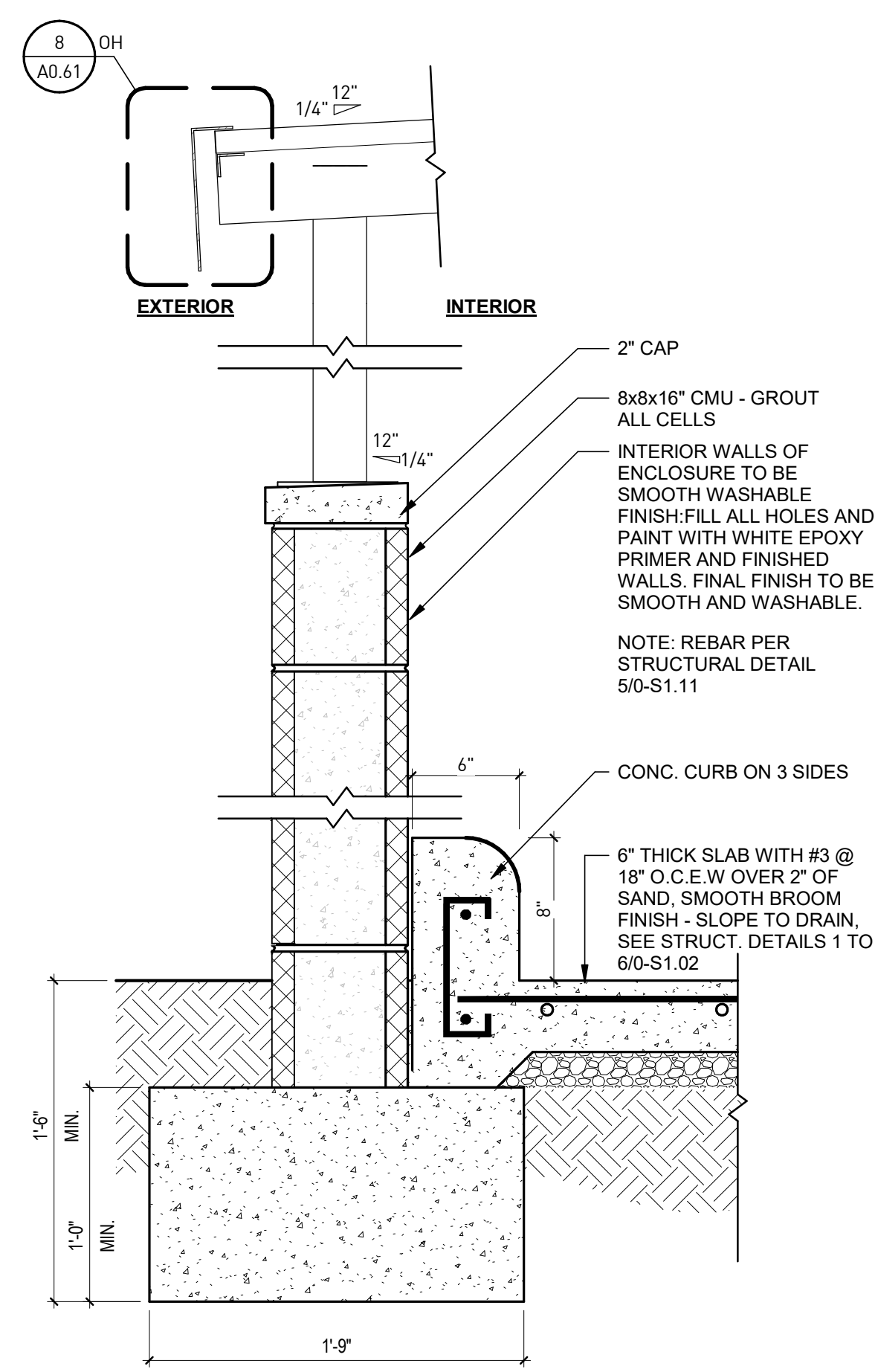
NOTE: REFER TO ELEVATIONS FOR MATERIAL SCHEDULE.  
ALL ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING SHALL CONFORM TO AESS STANDARDS. CANOPIES, COLUMN, AND ASSOCIATED ELEMENTS SHALL MEET AESS 3" LEVEL.



**TRASH ENCLOSURE - FRONT ELEVATION 1 | 7**  
1/4" = 1'-0"

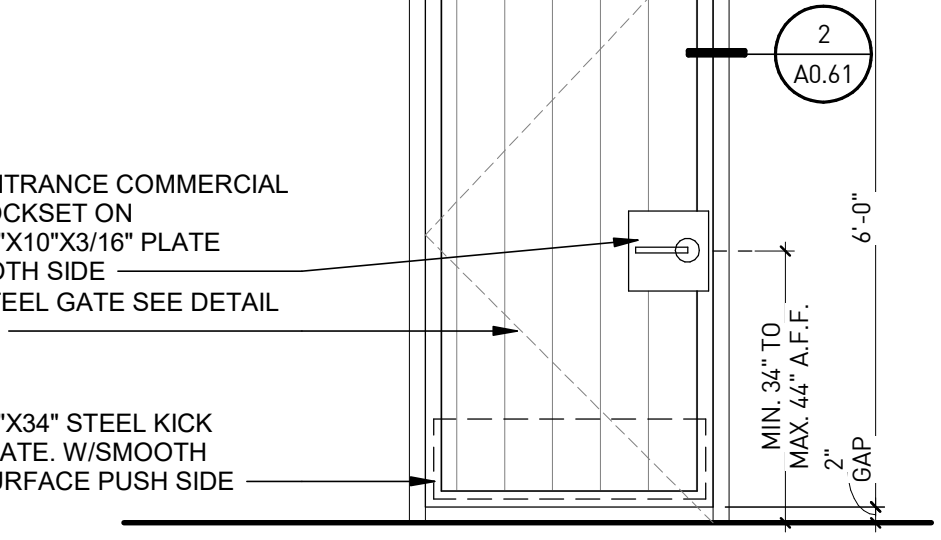


**TRASH ENCLOSURE - SIDE ELEVATION 1 | 3**  
1/4" = 1'-0"

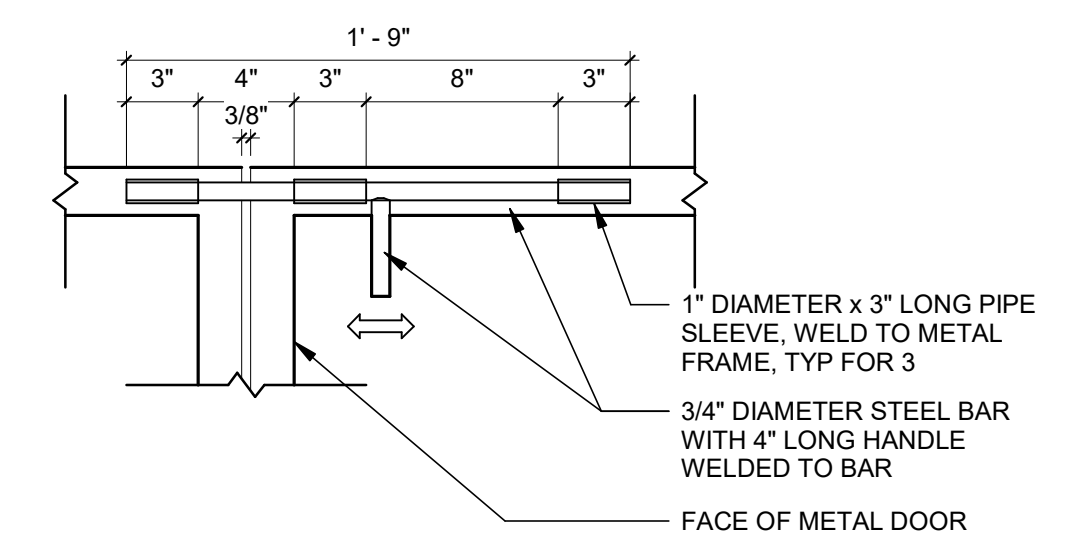


**TRASH ENCLOSURE - CMU WALL SEC 1 | 12**  
1 1/2" = 1'-0"

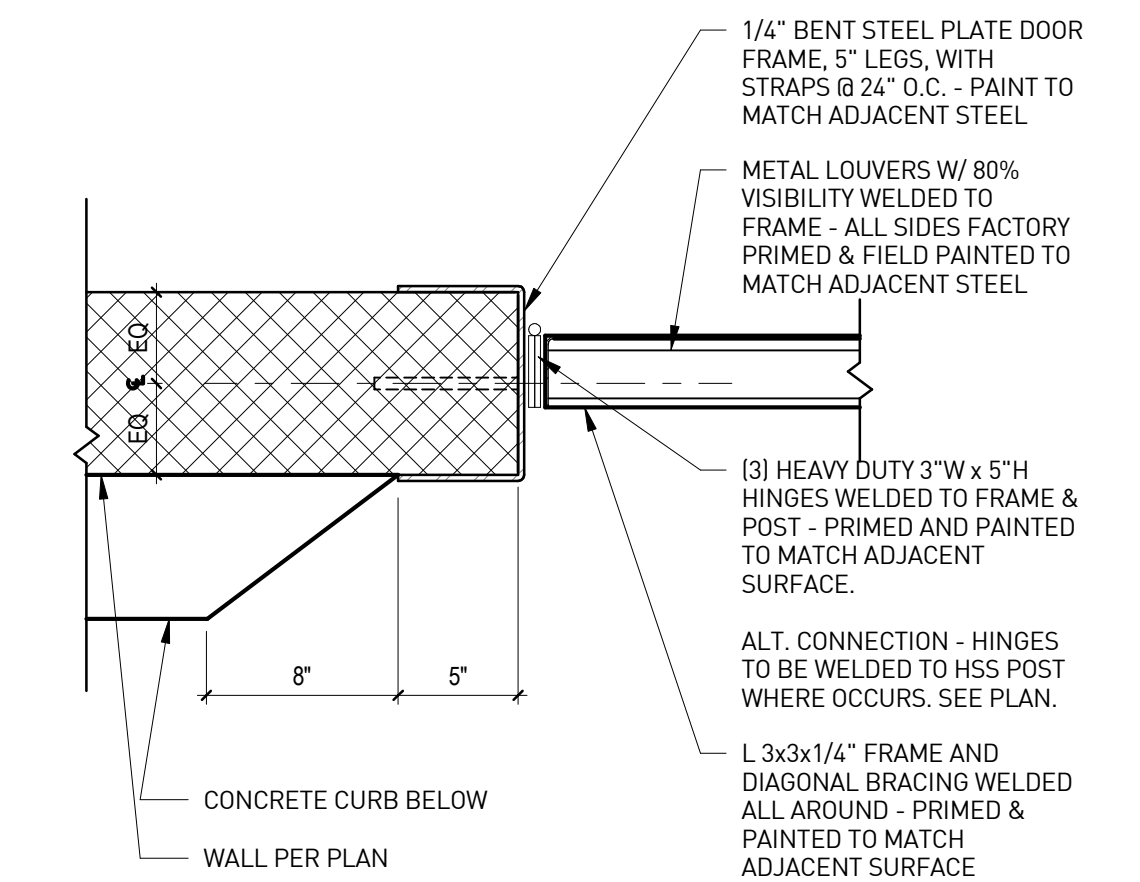
GATE HARDWARE AND OTHER OPERABLE PARTS SHALL COMPLY WITH CBC SECTIONS 11B-309.4  
GATE LATCH SHALL BE OPERABLE WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.  
GATE CLOSING SPEED SHALL COMPLY WITH CBC SECTION 11B-404.2.8



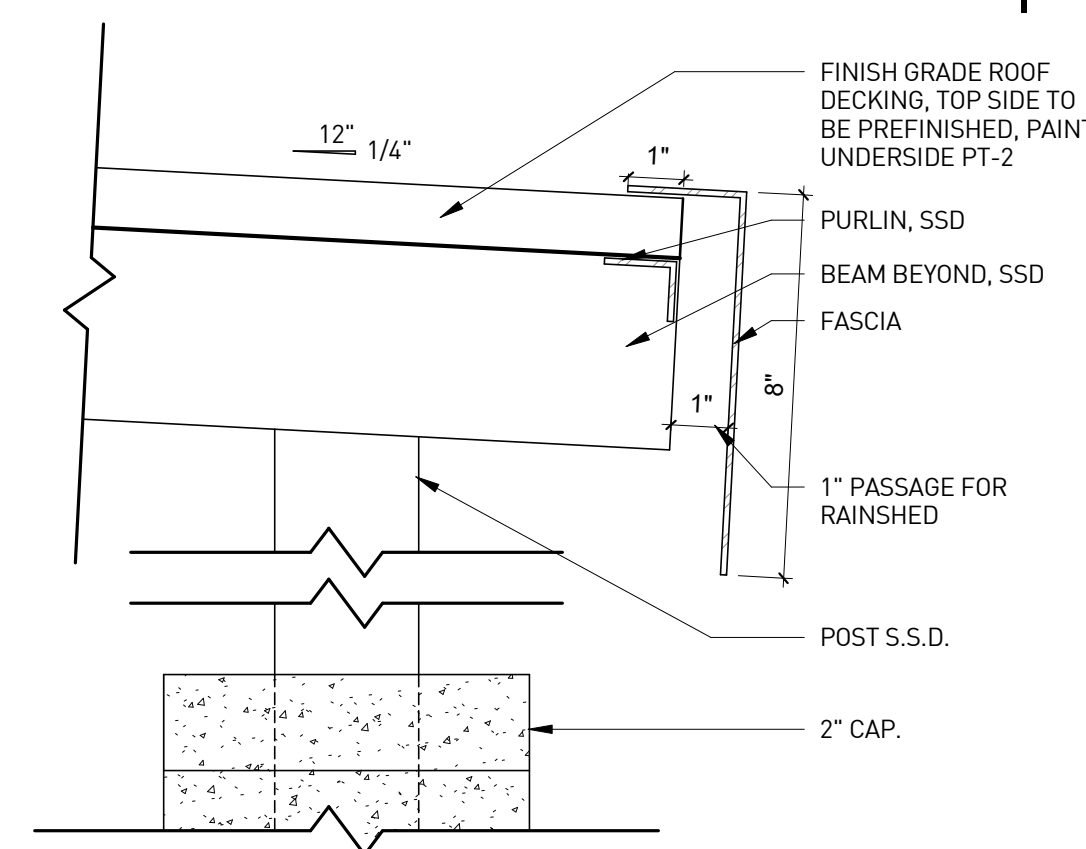
**METAL GATE ELEVATION 1 | 9**  
1/2" = 1'-0"



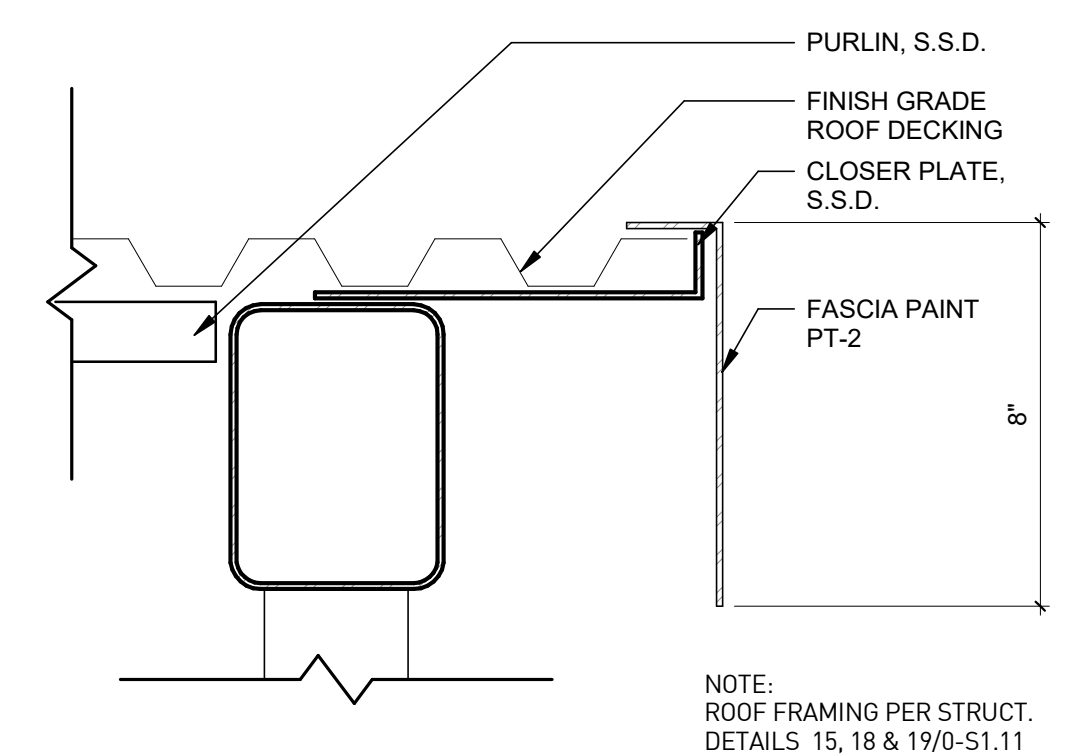
**SLIDING BAR LATCH 1 | 6**  
1 1/2" = 1'-0"



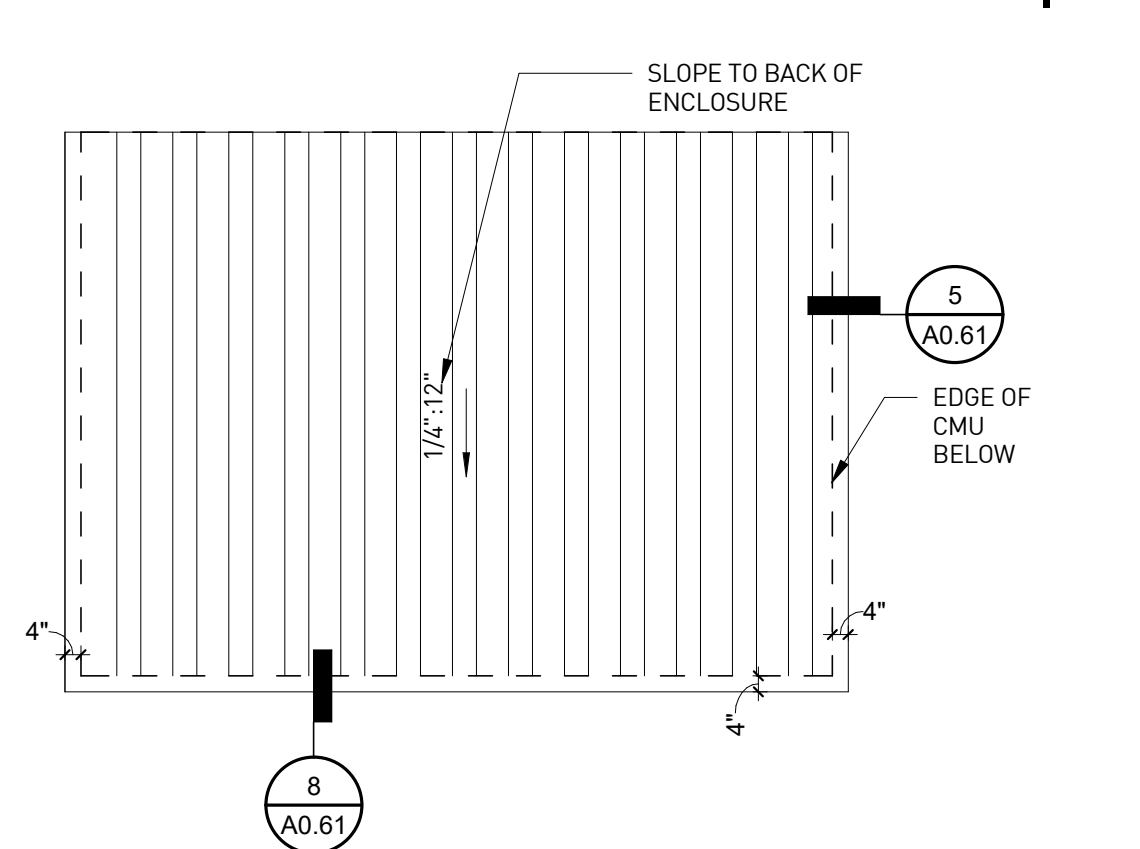
**TRASH ENCLOSURE - PEDESTRIAN GATE 1 | 2**  
1 1/2" = 1'-0"



**TRASH ENCLOSURE - ROOF SECTION 3 | 8**  
3" = 1'-0"



**TRASH ENCLOSURE - ROOF SECTION 4 | 5**  
3" = 1'-0"



**TRASH ENCLOSURE - ROOF PLAN 1 | 1**  
1/4" = 1'-0"

**THE GREENERY  
TENANT IMPROVEMENT**

24515 ALESSANDRO BLVD  
MORENO VALLEY, CA 92553

**REVISIONS**

ISSUE	DATE

**PROJECT NUMBER: 20-137**

**SITE DETAIL**

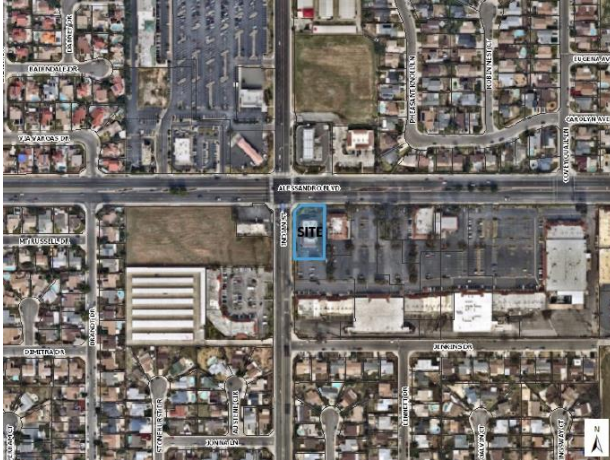
C:\LocalRevt\ARCH-20137-R20-Greenerary 24515 Alessandro, Chelsea.Silva.rvt 2/19/2021 12:57:55 PM



City of Moreno Valley  
 Community Development Department  
 Planning Division  
 City Hall Council Chamber  
 14177 Frederick Street  
 Moreno Valley, CA 92553

## **NOTICE OF PUBLIC HEARING (VIA TELECONFERENCE ONLY)**

**PURSUANT TO COVID-19 GOVERNOR EXECUTIVE ORDER N-29-20**



Notice of Teleconferenced Public Hearing before the Planning Commission of City of Moreno Valley:

**DATE & TIME:** April 8, 2021 at 7:00 P.M. **VIA TELECONFERENCE ONLY**

**COVID-19 TELECONFERENCE INSTRUCTIONS:**

For Teleconference Meeting public participation instructions please see agency <http://morenovalleyca.iqm2.com/Citizens/default.aspx>

**PROJECT LOCATION:** 24515 Alessandro Boulevard, on the south east corner Alessandro Boulevard and Indian Street (APN 482-520-002) in District 1.

**CASE NUMBER(s):** PEN19-0068 - Conditional Use Permit

**CASE PLANNER:** Sean P. Kelleher, Senior Planner (951) 413 3215  
[seanke@moval.org](mailto:seanke@moval.org)

<APN>

<Property Owner>

<Street Address>

<City, State, Zip>

Attachment: 600 Foot Mailing Notice (4368 : Black Creek

# NOTICE OF PUBLIC HEARING

2.f

**PROPOSAL:** Applicant is requesting approval of a Conditional Use Permit for a new retail cannabis dispensary, "The Greenery," located within an existing retail building at 24515 Alessandro Boulevard.

**ENVIRONMENTAL DETERMINATION:** This project is a retail use within an existing single story retail building. As designed and conditioned, this project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15332 for In-Fill Development Projects.

**PUBLIC HEARING:** All interested parties will be provided an opportunity to submit oral testimony during the teleconferenced Public Hearing and/or provide written testimony during or prior to the teleconferenced Public Hearing. The application file and related environmental documents may be inspected by appointment at the Community Development Department at 14177 Frederick Street, Moreno Valley, California by calling (951) 413-3206 during normal business hours (7:30 a.m. to 5:30 p.m., Monday through Thursday).

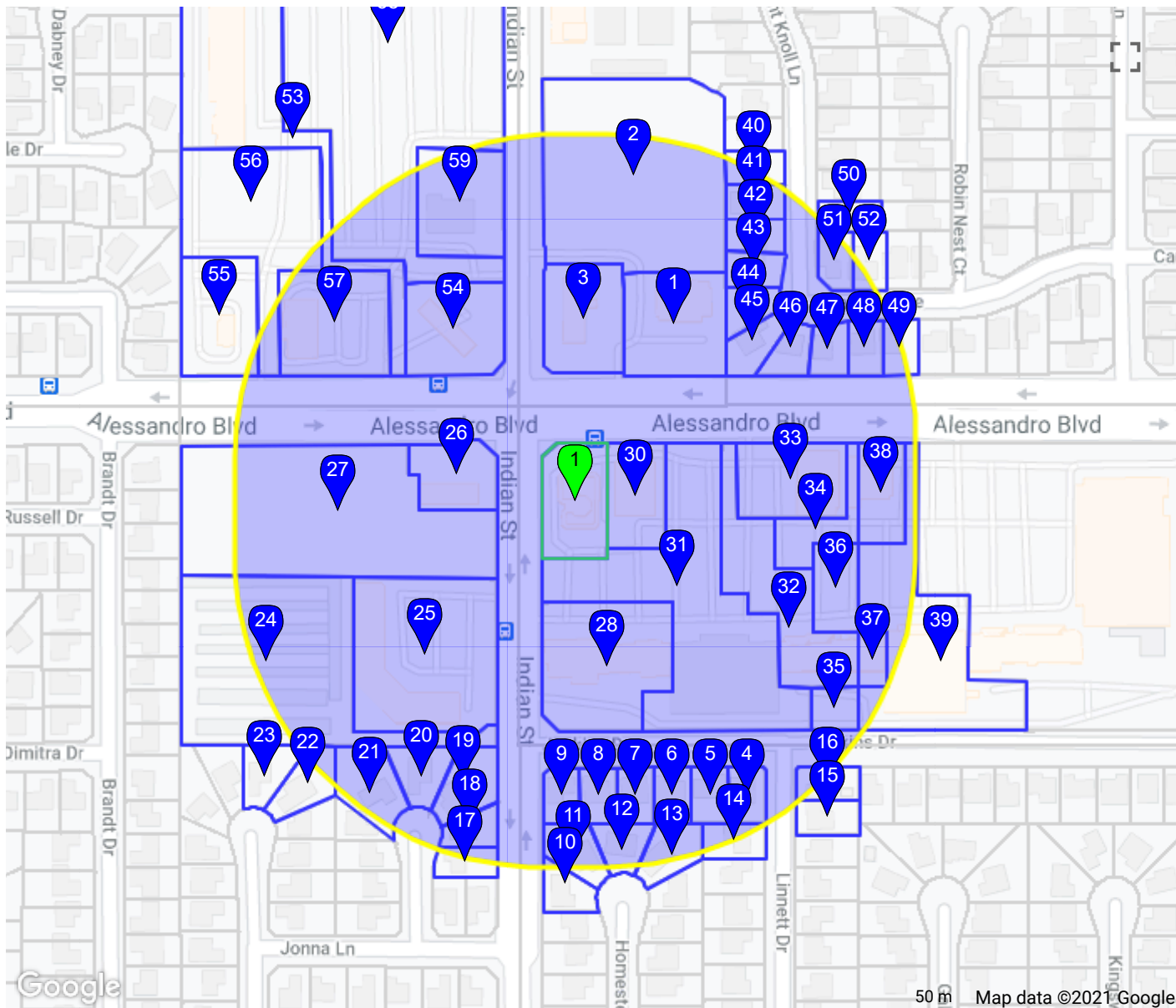
**COVID-19 – IMPORTANT NOTICES:** Please note that due to the COVID-19 pandemic situation, staff will attempt to make reasonable arrangements to ensure accessibility to inspect the aforementioned records. **In addition, special instructions on how to effectively participate in the teleconferenced Public Hearing, as approved by Governor Executive Order N-29-20, will be posted at <http://morenovalleyca.igm2.com/Citizens/default.aspx> and will be described in the Planning Commission agenda.**

**PLEASE NOTE:** The Planning Commission may consider and approve changes to the proposed items under consideration during the teleconferenced Public Hearing.

**GOVERNMENT CODE § 65009 NOTICE:** If you challenge any of the proposed actions taken by the Planning Commission in court, you may be limited to raising only those issues you or someone else raised during the teleconferenced Public Hearing described in this notice, or in written correspondence delivered to the Planning Division of the City of Moreno Valley during or prior to, the teleconferenced Public Hearing.

*Upon request and in compliance with the Americans with Disabilities Act of 1990, any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to James Verdugo, ADA Coordinator, at 951.413.3350 at least 48 hours before the meeting. The 48-hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*





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Attachment: 600 Foot Radius Map (4368 : Black Creek Properties (PEN19-00668))



LIST 0  
DETAIL

<input checked="" type="checkbox"/>		Use Type	APN	Owner	Mail Address	M City State Zip	Assessor
<input checked="" type="checkbox"/>	1	RETAIL SALES	482-520-002	24515 ALESSANDRO BLVD	P O BOX 613	MURRIETA CA 92564	PETER ALDANA, ASSESSOR

Attachment: 600 Foot Radius Map (4368 : Black Creek Properties (PEN19-0068))



LIST 0  
DETAIL

<input checked="" type="checkbox"/>	 Use Type	APN 	Owner	Mail Address	M City State Zip	Assessor
<input checked="" type="checkbox"/>	<u>1</u> RETAIL SALES	482-190-020	TAYLOR JOHN C	P O BOX 15271	LONG BEACH CA 90815	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>2</u> VACANT	482-190-022	KARDANI VINOD KARDANI NAYANA	27045 BIG HORN MOUNTAIN WY	YORBA LINDA CA 92887	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>3</u> AUTOMOTIVE USES	482-190-023	TAYLOR JOHN C	P O BOX 15271	LONG BEACH CA 90815	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>4</u> RESID. SINGLE FAMILY	482-461-001	CAMERON ETHEL B	24585 JENKINS DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>5</u> RESID. SINGLE FAMILY	482-461-002	CONTRERAS LUIS GIOVANNI CONTRERAS COURTNEY	4770 GARDENA DR	RIVERSIDE CA 92506	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>6</u> RESID. SINGLE FAMILY	482-461-003	JIMENEZ ANTONIO	24553 JENKINS DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>7</u> RESID. SINGLE FAMILY	482-461-004	ROSALES MARIANO RODRIGUEZ	24537 JENKINS DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>8</u> RESID. SINGLE FAMILY	482-461-005	ROSS JEZELL MURRAY DERRICK	24521 JENKINS DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>9</u> RESID. SINGLE FAMILY	482-461-006	ELIAS SANTIAGO ELIAS-GUTIERREZ ALEXIS	24505 JENKINS DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>10</u> RESID. SINGLE FAMILY	482-461-012	GONZALEZ JESUS G	14163 HOMESTEAD DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>11</u> RESID. SINGLE FAMILY	482-461-013	CALDERINI EMILIO BENJAMIN CALDERINI KRYSTAL ARMIDA	14147 HOMESTEAD DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>12</u> RESID. SINGLE FAMILY	482-461-014	SALAZAR JEREMY MARK SALAZAR RUBY AVILA	14131 HOMESTEAD DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>13</u> RESID. SINGLE FAMILY	482-461-015	CERVANTES JOSE GERARDO	14146 HOMESTEAD DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>14</u> RESID. SINGLE FAMILY	482-461-028	ROGERS EDITH MAE	P O BOX 7892	MORENO VALLEY CA 92552	PETER ALDANA, ASSESSOR

Attachment: 600 Foot Radius Map (4368 : Black Creek Properties (PEN19-0068))

<input checked="" type="checkbox"/>	 Use Type	APN ▲	Owner	Mail Address	M City State Zip	Assessor
<input checked="" type="checkbox"/>	<u>15</u> RESID. SINGLE FAMILY	482-462-008	CUCCIA EREK J CUCCIA RAQUEL	14144 LINNETT DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>16</u> RESID. SINGLE FAMILY	482-462-009	GOMEZ JUAN JOSE GOMEZ SALVADOR Jr	14130 LINNETT DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>17</u> RESID. SINGLE FAMILY	482-501-005	MARTINEZ RICARDO A MARTINEZ ROSA C	14158 AUSTENE CIR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>18</u> RESID. SINGLE FAMILY	482-501-006	FLORES CAROL C ALVARADO DONALD	14142 AUSTENE CIR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>19</u> RESID. SINGLE FAMILY	482-501-007	AGUILAR CRISS AGUILAR MARYLU	14132 AUSTENE CIR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>20</u> RESID. SINGLE FAMILY	482-501-008	FLORES GILDARDO FLORES MARIA ALVIS	14128 AUSTENE CIR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>21</u> RESID. SINGLE FAMILY	482-501-009	HERNANDEZ MANUEL HERNANDEZ OFELIA	14133 AUSTENE CIR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>22</u> RESID. SINGLE FAMILY	482-501-018	MARTINEZ JOSE HERIBERTO MURO BERTHA ALICIA	14132 STONEHURST DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>23</u> RESID. SINGLE FAMILY	482-501-019	GHIMIRE PRAKASH C	14128 STONEHURST DR	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>24</u> COMMERCIAL	482-501-031	SUNNYMEAD SELF STORAGE	11693 SAN VICENTE BLVD 828	LOS ANGELES CA 90049	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>25</u> SHOPPING CENTERS	482-501-032	MORENO WON CENTER	34 POINT LOMA DR	CORONA DEL MAR CA 92625	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>26</u> RETAIL SALES	482-501-034	DGK INV	2271 W MALVERN AVE NO 410	FULLERTON CA 92833	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>27</u> VACANT	482-501-035	DGK INV	2271 W MALVERN AVE NO 410	FULLERTON CA 92833	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>28</u> RETAIL SALES	482-520-001	DAO AN TANG NGUYEN LOAN THI	9335 POINSETTIA AVE	FOUNTAIN VALLEY CA 92708	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>29</u> RETAIL SALES	482-520-002	24515 ALESSANDRO BLVD	P O BOX 613	MURRIETA CA 92564	PETER ALDANA, ASSESSOR

<input checked="" type="checkbox"/>	 Use Type	APN ▲	Owner	Mail Address	M City State Zip	Assessor
<input checked="" type="checkbox"/>	<u>30</u> RETAIL SALES	482-520-003	SALAS EDUARDO	24525 ALESSANDRO BLVD	MORENO VALLEY CA 92555	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>31</u> GROCERY STORE	482-520-004	K & R INV	27444 KRISHNA CIR	HEMET CA 92544	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>32</u> RETAIL SALES	482-520-005	DAO AN TANG NGUYEN LOAN THI	9335 POINSETTIA AVE	FOUNTAIN VALLEY CA 92708	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>33</u> RETAIL SALES	482-520-006	FOUR-C COMMERCIAL	PO BOX 662033	ARCADIA CA 91066	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>34</u> COMMERCIAL	482-520-007	BFS RETAIL & COMMERCIAL OPERATIONS	535 MARRIOTT NO 142980	NASHVILLE TN 37214	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>35</u> COMMERCIAL	482-520-008	TRAN THONG VAN NGUYEN HAI KIM	3047 PRADO LN	COLTON CA 92324	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>36</u> COMMERCIAL	482-520-009	TRAN THONG VAN NGUYEN HAI KIM	3047 PRADO LN	COLTON CA 92324	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>37</u> RETAIL SALES	482-520-010	DAO AN TANG NGUYEN LOAN THI	9335 POINSETTIA AVE	FOUNTAIN VALLEY CA 92708	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>38</u> SHOPPING CENTERS	482-520-011	BFS RETAIL & COMMERCIAL OPERATIONS	535 MARRIOTT NO 142980	NASHVILLE TN 37214	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>39</u> SHOPPING CENTERS	482-520-012	SIPKOI MV	31620 RAILROAD CANYON RD	CANYON LAKE CA 92587	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>40</u> RESID. SINGLE FAMILY	482-631-014	SANFORD CARLA JEAN	13933 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>41</u> RESID. SINGLE FAMILY	482-631-015	GARCIA MIKE GARCIA LINDA	13947 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>42</u> RESID. SINGLE FAMILY	482-631-016	SILER REBECCA J COOPER ADRIANE	13959 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>43</u> RESID. SINGLE FAMILY	482-631-017	TROUT SHAWN MICHAEL GONZALEZ LISA MARIE	13033 RANER AVE	WHITTIER CA 90605	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>44</u> RESID. SINGLE FAMILY	482-631-018	RIVERA MANUEL RENTERIA LOPEZ MARIA C	13975 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR

<input checked="" type="checkbox"/>	 Use Type	APN ▲	Owner	Mail Address	M City State Zip	Assessor
<input checked="" type="checkbox"/>	<u>45</u> RESID. SINGLE FAMILY	482-631-019	GAMBOA CARLOS GAMBOA MARIA LUZ	13987 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>46</u> RESID. SINGLE FAMILY	482-631-020	SINGH SUKHBIR SANDHA DIMPLE	11682 COUNTRY FLOWER LN	MORENO VALLEY CA 92557	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>47</u> RESID. SINGLE FAMILY	482-631-021	BARAJAS HOMERO Y	24611 CAROLYN AVE	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>48</u> RESID. SINGLE FAMILY	482-631-022	DURAN MARY L	24623 CAROLYN AVE	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>49</u> RESID. SINGLE FAMILY	482-631-023	ENRIQUEZ DAVID S	24633 CAROLYN AVE	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>50</u> RESID. SINGLE FAMILY	482-633-019	VO NHAN NGUYEN XUAN	13952 PHEASANT KNOLL LN	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>51</u> RESID. SINGLE FAMILY	482-633-020	FLORES ERIC DANIEL	24610 CAROLYN AVE	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>52</u> RESID. SINGLE FAMILY	482-633-021	MUNOZ FIDEL	24620 CAROLYN AVE	MORENO VALLEY CA 92553	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>53</u> RETAIL SALES	482-700-001	COOPER PERRY COOPER SHARI	6535 WILSHIRE BLV NO 206	LOS ANGELES CA 90048	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>54</u> AUTOMOTIVE USES	482-700-003	DIMITROFF ANTON	255 E RINCON STE 100	CORONA CA 92879	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>55</u> MISCELLANEOUS	482-700-004	COMER ERIC D	980 HAMMOND DR NE NO 1100	ATLANTA GA 30328	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>56</u> VACANT	482-700-005	OPT MORENO VALLEY	6400 S FIDDLERS GREEN CIR	ENGLEWOOD CO 80111	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>57</u> MISCELLANEOUS	482-700-006	MCDONALDS CORP	21826 CACTUS AVE STE 1	RIVERSIDE CA 92518	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>58</u> GROCERY STORE	482-700-008	FOOD 4 LESS CALIF INC SHINYO CAPITAL	2785 PACIFIC CST HWY E116	TORRANCE CA 90505	PETER ALDANA, ASSESSOR
<input checked="" type="checkbox"/>	<u>59</u> OFFICE	482-700-009	INDIAN STREET TRUST RIOS JAVIER	9825 MAGNOLIA AVE NO B337	RIVERSIDE CA 92503	PETER ALDANA, ASSESSOR