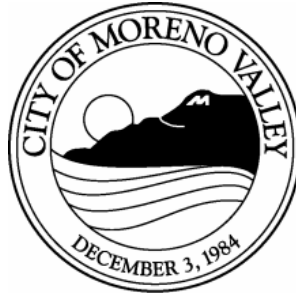

PLANNING COMMISSIONERS

ALVIN DEJOHNETTE
Chairperson

MATTHEW CHEN
Vice Chairperson

JEFFREY SIMS
Commissioner



OMAR COBIAN
Commissioner

JOANN STEPHAN
Commissioner

RAY BAKER
Commissioner

VACANT
Commissioner

PLANNING COMMISSION

Regular Meeting

Agenda

Thursday, February 23, 2023 at 6:00 PM
City Hall Council Chamber – 14177 Frederick Street

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PUBLIC COMMENTS PROCEDURE

Any person wishing to address the Commission on any matter, either under the Public Comments section of the Agenda or scheduled items or public hearings, must fill out a "Request to Speak" form available at the door. The completed form must be submitted to the Secretary prior to the Agenda item being called by the Chairperson. In speaking to the Commission, members of the public may be limited to three minutes per person, except for the applicant for entitlement. The Commission may establish an overall time limit for comments on a particular Agenda item. Members of the public must direct their questions to the Chairperson of the Commission and not to other members of the Commission, the applicant, the Staff, or the audience.

PUBLIC COMMENTS

CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine and non-controversial, and may be enacted by one roll call vote. There will be no discussion of these items unless a member of the Planning Commission requests that an item be removed for separate action

1. Planning Commission Minutes – Regular Meeting – July 28, 2022 7:00 PM
2. Planning Commission Minutes – Regular Meeting – September 22, 2022 7:00 PM
3. Planning Commission Minutes – Regular Meeting – October 27, 2022 6:00 PM

Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, in compliance with the Americans with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the ADA Coordinator, at 951.413.3350 at least 72 hours before the meeting. The 72 hour notification will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

4. Planning Commission Minutes – Regular Meeting – November 10, 2022 6:00 PM
5. Planning Commission Minutes – Special Meeting – November 17, 2022 6:00 PM
6. Planning Commission Minutes – Regular Meeting – December 8, 2022 6:00 PM
7. Planning Commission Minutes – Regular Meeting – December 22, 2022 6:00 PM
8. Planning Commission Minutes – Regular Meeting – February 9, 2023 6:00 PM

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

1. Case: PEN21-0099 - Amended Conditional Use Permit
Applicant: Integrated Care Communities
Property Owner: Jan Peterson Child Day Care, Inc.
Representative: Kay Kite, Community Works Design Group
Project Site: 26895 and 26940 Brodiaea Avenue, 14315 Nason Street
(APN: 486-280-039, 486-280-046, 486-280-048, & 486-280-051)
Case Planner: Gabriel Diaz, Associate Planner
Council District: 3
Proposed Project: An Amended Conditional Use Permit (CUP) for a new approximately 1,700 square foot classroom building, a new approximately 1,000 square foot shade structure, and additional parking at the existing Jan Peterson Child Development Center on an approximately 1.91-acre site.
CEQA: Exempt from California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 32 Exemption (Section 15332, Infill Development)

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

PLANNING COMMISSIONER COMMENTS

ADJOURNMENT

Planning Commission Regular Meeting Thursday, March 09 at 6:00 P.M., City of Moreno Valley, City Hall Council Chamber, 14177 Frederick Street, Moreno Valley, CA 92553.

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 7:00 PM
July 28, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 7:00 p.m., by Chair DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	Jeffrey Sims	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Joann Stephan	Commissioner	Present

PLEDGE OF ALLEGIANCE

Commissioner Sims led the pledge of allegiance.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Jeffrey Sims, Commissioner
SECONDER: Matthew Chen, Commissioner
AYES: Jefferey Sims, Matthew Chen, Alvin DeJohnette, JoAnn Stephan, Omar Cobian

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public speakers.

CONSENT CALENDAR

1. Planning Commission - Regular Meeting - Jul 14, 2022 7:00 PM

RESULT: APPROVED [UNANIMOUS]
MOVER: Omar Cobian, Commissioner
SECONDER: Joann Stephan, Commissioner
AYES: Omar Cobian, JoAnn Stephan, Alvin DeJohnette, Matthew Chen, Jefferey Sims

NON-PUBLIC HEARING ITEMS

No items for discussion.

Minutes Acceptance: Minutes of Jul 28, 2022 7:00 PM (CONSENT CALENDAR)

PUBLIC HEARING ITEMS

1. Conditional Use Permit for a planned unit development and tentative tract map 38236 for a 204-lot single-family residential subdivision on 26.74 acres of vacant land.

A. Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Resolution No. 2022-35, and thereby:

a) **CERTIFY** the Initial Study/Mitigated Negative Declaration prepared for Conditional Use Permit (PEN22-0091) for a Planned Unit Development and Tentative Tract Map 38236 (PEN21-0184) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project’s potential environmental impacts; and

b) **APPROVE** the Mitigation Monitoring and Reporting Program prepared for the Project, which consists of a Conditional Use Permit (PEN22-0091) for a Planned Unit Development and Tentative Tract Map 38236 (PEN21 0184), pursuant to CEQA and the CEQA Guidelines.

2. **APPROVE** Resolution No. 2022-36, and thereby:

a) **APPROVE** Conditional Use Permit (PEN22-0091) for a Planned Unit Development and Tentative Tract Map No. 38236 (PEN21-0184) based on the Recitals, Evidence contained in the Administrative Record and Findings as set forth in Resolution No. 2022-36.

Public Hearing Opened: 7:43 PM

Speakers:

Garrison Poisorove

Public Hearing Closed: 7:48 PM.

RESULT: APPROVED [4 TO 1]
MOVER: Jeffrey Sims, Commissioner
SECONDER: Alvin DeJohnette, Chairperson
AYES: Jeffrey Sims, Alvin DeJohnette, Matthew Chen, JoAnn Stephan
NAYS: Omar Cobian

Minutes Acceptance: Minutes of Jul 28, 2022 7:00 PM (CONSENT CALENDAR)

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

The Interim City Attorney commented that Commissioner Cobian has very valid concerns about labor issues. Unfortunately, in the planning context, some of that stuff is not considered legally relevant but nonetheless, the Interim City Attorney still encourages Commissioner Cobian to still express his opinion on the issues, but the applicant can respond if they choose to.

Commissioner Cobian clarified that he did not vote against the project because of labor issues but because of the design and felt they could do better and would have come back with a different design that was a better plan.

PLANNING COMMISSIONER COMMENTS

Commissioner Sims would like to hear the exciting report from our committee about our rules and regulations and asked for an update.

Chairperson DeJohnette commented that he would like to see more training for the Commissioners and maybe an annual review to keep the Commissioners up to date with the rules to keep them current. Chairperson DeJohnette also thanked staff for always being here on these late evenings.

Vice-Chairperson Chen commented that the committee meeting was a multi-meeting, and the most important thing is a new proposed start time of six o'clock.

Vice-Chairperson Chen stated that the last time we were here was the night of the NFL Drafts and were the first in the city to say it is the Niner's year and spring training started this week. Go Niner's.

ADJOURNMENT

There being no further business before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 8:12 pm.

Submitted by:

Approved by:

Naudia Samuels
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Jul 28, 2022 7:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 7:00 PM
September 22, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 7:00 p.m., by Chair DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	JoAnn Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Excused

PLEDGE OF ALLEGIANCE

Commissioner Cobian led the pledge of allegiance.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Omar Cobian, Commissioner
SECONDER: Matthew Chen, Vice-Chairperson
AYES: Omar Cobian, Matthew Chen, Alvin DeJohnette, JoAnn Stephan
ABSENT: Jeffrey Sims

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

Speakers

Louise Palomarez

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

1. Annual Review of Planning Commission Rules of Procedure

- A. Staff recommends that the Planning Commission APPROVE the amendments to the Planning Commission Rules and Procedures.

Public Testimony Opened: 7:09 PM.

No public speakers.

Public Testimony Closed: 7:10 PM.

RESULT: APPROVED [UNANIMOUS]
MOVER: Matthew Chen, Vice-Chairperson
SECONDER: JoAnn Stephan, Commissioner
AYES: Matthew Chen, JoAnn, Stephan, Alvin DeJohnette, Omar Cobian
ABSENT: Jeffrey Sims

PUBLIC HEARING ITEMS

1. Conditional Use Permit for a Single-Family Residential Planned Unit Development and a Tentative Tract Map to subdivide 18.48-acre Project Site in to 225 single-family lots

A. Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Resolution No. 2022-37, and thereby:

- a) **CERTIFY** the Initial Study/Mitigated Negative Declaration prepared for Conditional Use Permit (PEN21-0291) for a Planned Unit Development and Tentative Tract Map 38625 (PEN21-0290) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project's potential environmental impacts; and
- b) **APPROVE** the Mitigation Monitoring and Reporting Program prepared for the Proposed Project, which consists of a Conditional Use Permit (PEN21-0291) for a Planned Unit Development and Tentative Tract Map 38625 (PEN21-0290) pursuant to CEQA and the CEQA Guidelines.

2. **APPROVE** Resolution No. 2022-38, and thereby:

- a) **APPROVE** Conditional Use Permit for a Planned Unit Development (PEN21-0291) for a Planned Unit Development and Tentative Tract Map 38625 (PEN21-0290) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-38.

Minutes Acceptance: Minutes of Sep 22, 2022 7:00 PM (CONSENT CALENDAR)

Public Hearing Opened: 7:37 PM

Speakers

Louise Palomarez

Public Hearing Closed: 7:39 PM.

RESULT: APPROVED [UNANIMOUS]
MOVER: Omar Cobian, Commissioner
SECONDER: JoAnn Stephan, Commissioner
AYES: Omar Cobian, JoAnn Stephan, Alvin DeJohnette, Matthew Chen
ABSENT: Jeffrey Sims

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

No items for discussion.

PLANNING COMMISSIONER COMMENTS

Chairperson DeJohnette thanked staff on their fantastic and wonderful work and asked to keep it coming.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 7:48 PM.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Sep 22, 2022 7:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 6:00 PM
October 27, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:02 p.m., by Chair DeJohnette in the Council Chamber located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	JoAnn Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Vice-Chairperson Chen.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Omar Cobian, Commissioner
SECONDER: JoAnn Stephan, Commissioner
AYES: Omar Cobian, JoAnn Stephan, Alvin DeJohnette, Matthew Chen, Jeffery Sims

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public comments.

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

No items for discussion.

Minutes Acceptance: Minutes of Oct 27, 2022 6:00 PM (CONSENT CALENDAR)

PUBLIC HEARING ITEMS

1. Plot Plan for an automobile parking lot
 - A. Staff recommends that the Planning Commission take the following actions:
 1. **APPROVE** Resolution No. 2022-41, and thereby:
 - a) **CERTIFY** the Initial Study/Mitigated Negative Declaration prepared for Plot Plan (PEN21-0102) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the proposed Project's potential environmental impacts; and
 - b) **APPROVE** the Mitigation Monitoring and Reporting Program prepared for the Project, which consists of Plot Plan (PEN21-0102) pursuant to CEQA and the CEQA Guidelines.
 2. **APPROVE** Resolution No. 2022-42, and thereby:
 - a) **APPROVE** Plot Plan (PEN21-0102) based on the Recital, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-42.

Planning Official, Sean Kelleher, requested that the item be continued until 12/22/2022 at the request of the applicant.

RESULT:	CONTINUED [UNANIMOUS]	Next: 12/22/2022 6:00 PM
MOVER:	Jeffrey Sims, Commissioner	
SECONDER:	Omar Cobian, Commissioner	
AYES:	Jeffrey Sims, Omar Cobian, Alvin DeJohnette, Matthew Chen, JoAnn Stephan	

2. A Plot Plan and Conditional Use Permit for the construction of a 4-story hotel with 93 suites within the Moreno Valley Towngate Specific Plan.
 - A. Staff recommends that the Planning Commission take the following actions:
 1. **APPROVE** Resolution No. 2022-40, and thereby:
 - a) **CERTIFY** that Plot Plan (PEN22-0071) and Conditional Use Permit (PEN22-0072) are categorically exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 32

Categorical Exemption, under Section 15332 In-fill Development Projects: and

- b) **APPROVE** Plot Plan (PEN22-0071) and Conditional Use Permit (PEN22-0072) subject to the attached Conditions of Approval included as Exhibit A to this Resolution.

Public Hearing Opened: 6:20 PM

No Public Speakers

Public Hearing Closed: 6:20 PM

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Jeffrey Sims, Commissioner
SECONDER:	Matthew Chen, Vice-Chairperson
AYES:	Jeffrey Sims, Matthew Chen, Alvin DeJohnette, JoAnn Stephan, Omar Cobian

- 3. Conditional Use Permit a new 65-foot tall monopine wireless cell site facility, with ground-mounted equipment screened by a 10-foot-tall wall block within a 30-foot by 30-foot equipment lease area.

A. Staff recommends that the Planning Commission take the following actions:

- 1. **APPROVE** Resolution No. 2022-39, and thereby:

- a) **DETERMINE** that Conditional Use Permit PEN22-0106 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 3 Exemption, (Section 15303 New Construction), and as a Class 32 Exemption (Section 15332 In-fill Development Projects); and
- b) **APPROVE** Conditional Use Permit PEN22-0106 subject to the attached Conditions of Approval included as Exhibit A.

Vice-Chairperson Chen recused himself due to being within 1,000 feet of the subject project.

Public Hearing Opened: 6:35 PM

Speakers
Nancy Bartlett

Public Hearing Closed: 6:44 PM

Minutes Acceptance: Minutes of Oct 27, 2022 6:00 PM (CONSENT CALENDAR)

RESULT: APPROVED [4 TO 0]
MOVER: Jeffrey Sims, Commissioner
SECONDER: JoAnn Stephan, Commissioner
AYES: Jeffrey Sims, JoAnn Stephan, Alvin DeJohnette, Omar Cobian
ABSTAIN: Matthew Chen

OTHER COMMISSION BUSINESS

Chairperson DeJohnette clarified that Planning Commission would be holding a special meeting on 11/17 in lieu of the scheduled Thanksgiving meeting.

STAFF COMMENTS

Planning Official, Sean Kelleher, made staff introductions of new staff: Rachel Ramirez, Sr. Administrative Assistant and Planning Commission Secretary, Ayida Smith, Assistant Planner, and Colin Kirkpatrick, Interim City Attorney.

PLANNING COMMISSIONER COMMENTS

Chairperson DeJohnette welcomed new staff.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 6:56 PM to the special meeting on 11/17/2022.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Oct 27, 2022 6:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 6:00 PM
November 10, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:02 p.m., by Chairperson DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	JoAnn Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Ray L. Baker	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Baker.

APPROVAL OF AGENDA

RESULT: APPROVED [5 TO 0]
MOVER: Omar Cobian, Commissioner
SECONDER: Matthew Chen, Vice-Chairperson
AYES: Omar Cobian, Matthew Chen, Alvin DeJohnette, JoAnn Stephan, Jeffrey Sims, Ray L. Baker

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

Speakers

Tom Jerele Sr.

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

No items for discussion.

Minutes Acceptance: Minutes of Nov 10, 2022 6:00 PM (CONSENT CALENDAR)

PUBLIC HEARING ITEMS

1. General Plan Amendment, Change of Zone, Tentative Tract Map 37858, and Conditional Use Permit to subdivide a 4.81-acre project site in to 37 single-family lots.

A. Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Resolution No. 2022-43, and thereby:

- a) **CERTIFYING** the Initial Study/Mitigated Negative Declaration prepared for Tentative Tract Map 37858 (PEN20-0172), Conditional Use Permit (PEN20-0173) for a Planned Unit Development, General Plan Amendment (PEN20-0174), and Change of Zone (PEN20-0175) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project's potential environmental impacts; and
- b) **ADOPT** the Mitigation Monitoring and Reporting Program prepared for the Proposed Project, which consists of a Conditional Use Permit (PEN20-0173) for a Planned Unit Development and Tentative Tract Map 37858 (PEN20-0172) pursuant to CEQA and the CEQA Guidelines.

2. **APPROVE** Resolution No. 2022-44, and thereby:

- a) **APPROVE** General Plan Amendment (PEN20-0174) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-44 and any necessary and corresponding amendment to the City's Zoning Atlas to reflect the proposed changes in the zoning classification and/or redistricting associated with the General Plan Amendment.

3. **APPROVE** Resolution No. 2022-45, and thereby:

- a) **APPROVE** Change of Zone (PEN20-0175) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-45 and any necessary and corresponding amendment to the City's Zoning Atlas to reflect the proposed changes in the zoning classification and/or redistricting associated with the Change of Zone.

4. **APPROVE** Resolution No. 2022-46, and thereby:

Minutes Acceptance: Minutes of Nov 10, 2022 6:00 PM (CONSENT CALENDAR)

- a) **APPROVE** Conditional Use Permit (PEN20-0173) and Tentative Tract Map (PEN20-0172) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-46.

Public Hearing Opened: 6:22 PM

Speakers

Bill Redden
Tom Jerele Sr.

Public Hearing Closed: 6:28 PM

RESULT: FAILED [1 TO 5]
MOVER: Jeffrey Sims, Commissioner
SECONDER: Omar Cobian, Commissioner
AYES: Omar Cobian
NAYS: Jeffrey Sims, Alvin DeJohnette, Matthew Chen, JoAnn Stephan, Ray Baker

Denial Summary

The General Plan Amendment was denied based on the following findings:

1. That the Proposed Project is inconsistent with the City's current MoVal 2040 General Plan because the proposed density increase is inconsistent with the General Plan's goals, objectives, policies and programs and does not comply with the applicable zoning standards.
2. The Proposed Project will adversely affect the public health, safety, or general welfare in that the increased density would result in increased traffic and potential for accidents, especially due to the proximity of the Proposed Project to highly trafficked roads.

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

Planning Official, Sean Kelleher, introduced Planning's newest staff member: Danielle Harper-Scott, Associate Planner.

PLANNING COMMISSIONER COMMENTS

Vice-Chairperson Chen wished the Marine Corps a Happy Birthday.

Commissioner Cobian congratulated both Mayor Gutierrez and Council Member Cabrera on their potential victories.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 7:15 PM.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Nov 10, 2022 6:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**SPECIAL MEETING – 6:00 PM
November 17, 2022**

CALL TO ORDER

This special meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:00 p.m., by Chair DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	JoAnn Stephan	Commissioner	Present
	Ray L. Baker	Commissioner	Present
	Omar Cobian	Commissioner	Absent
	Jeffrey Sims	Commissioner	Absent

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Stephan.

APPROVAL OF AGENDA

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Ray L. Baker, Commissioner
SECONDER:	Matthew Chen, Vice-Chairperson
AYES:	Ray L. Baker, Matthew Chen, Alvin DeJohnette, JoAnn Stephan
ABSENT:	Omar Cobian, Jeffrey Sims

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

Speakers

Tom Jerele Sr.

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

Minutes Acceptance: Minutes of Nov 17, 2022 6:00 PM (CONSENT CALENDAR)

1. PEN22-0103 Conditional Use Permit Captain Smoke Shop

A. Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Resolution No. 2022-52, and thereby:

- a) **DETERMINE** that Conditional Use Permit (PEN22-0103) is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) a Class 1 Exemption (Section 15301, Existing Facilities); and
- b) **APPROVE** Conditional Use Permit PEN22-0103 subject to the attached Conditions of Approval included as Exhibit A.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Matthew Chen, Vice-Chairperson
SECONDER:	Ray L. Baker, Commissioner
AYES:	Matthew Chen, Ray L. Baker, Alvin DeJohnette, JoAnn Stephan
ABSENT:	Omar Cobian, Jeffrey Sims

2. General Plan Amendment, Change Of Zone, Conditional Use Permit for a Planned Unit Development, and a Tentative Tract Map 38237 to subdivide an 8.77-acre project site in to 67 single-family lots

A. Staff recommends that the Planning Commission take the following actions:

1. **ADOPT** Resolution No. 2022-48, and thereby:

- a) **ADOPT** the Initial Study/Mitigated Negative Declaration prepared for General Plan Amendment (PEN21-0203), Change of Zone (PEN21-0204), Conditional Use Permit (PEN22-0162) for a Planned Unit Development, and Tentative Tract Map 38237 (PEN21-0199), on file with the community development department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA guidelines, and reflects that the Planning Commission and City reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project's potential environmental impacts; and
- b) **ADOPT** the Mitigation Monitoring and Reporting Program prepared for the Proposed Project, which consists of a General Plan Amendment (PEN21-0203), Change of Zone (PEN21-0204), Conditional Use Permit (PEN22-0162) for a Planned Unit Development, and Tentative Tract Map 38237 (PEN21-0199) pursuant to CEQA and its guidelines.

2. **ADOPT** Resolution No. 2022-49, and thereby:

- a) **APPROVE** General Plan Amendment (PEN21-0203) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-49 and any necessary and corresponding amendment to the City’s Zoning Atlas to reflect the proposed changes in the zoning classification and/or redistricting associated with the General Plan Amendment.

3. **ADOPT** Resolution No. 2022-50, and thereby:

- a) **APPROVE** Change of Zone (PEN21-0204) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-50 and any necessary and corresponding amendment to the City’s Zoning Atlas to reflect the proposed changes in the zoning classification and/or redistricting associated with the Change of Zone.

4. **ADOPT** Resolution No. 2022-51, and thereby:

- a) **APPROVE** Conditional Use Permit (PEN22-0162) and Tentative Tract Map (PEN21-0199) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-51.

RESULT: APPROVED [UNANIMOUS]
MOVER: Ray L. Baker, Commissioner
SECONDER: JoAnn Stephan, Commissioner
AYES: Ray L. Baker, JoAnn Stephan, Alvin DeJohnette, Matthew Chen
ABSENT: Omar Cobian, Jeffrey Sims

- 3. Municipal Code Amendments amending various sections within Title 9 Planning and Zoning, including chapters 9.02 permits and approvals, 9.03 Residential Districts, 9.07 Special Districts, 9.08 General Development Standards, 9.09 Specific Use Development Standards, 9.11 Parking, Pedestrian and Loading Requirements, and 9.14 Land Divisions.

A. Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Resolution No. 2022 47, and thereby:

- a) **FIND** the amendments exempt from the California Environmental Quality Act; and
- b) **APPROVE** the Municipal Code Title 9 Amendments (PEN22-0232), based on the findings contained set forth and/or referenced in this Resolution and **ADOPT** an ordinance to effectuate the amendments included in this Resolution.

Public Hearing Opened: 6:44 PM

Speakers:
Tom Jerele Sr.

Public Hearing Closed: 6:46 PM

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Matthew Chen, Vice-Chairperson
SECONDER:	JoAnn Stephan, Commissioner
AYES:	Matthew Chen, JoAnn Stephan, Alvin DeJohnette, Ray L. Baker
ABSENT:	Omar Cobian, Jeffrey Sims

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

Planning Official thanked Michael Cobden for stepping in as City Attorney in Colin Kirkpatrick's place.

PLANNING COMMISSIONER COMMENTS

No items for discussion.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 6:50 PM.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Nov 17, 2022 6:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 6:00 PM
December 8, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:01 p.m., by Chair DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	JoAnn Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Ray L. Baker	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Vice-Chairperson Chen.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Matthew Chen, Vice-Chairperson
SECONDER: Omar Cobian, Commissioner
AYES: Matthew Chen, Omar Cobian, Alvin DeJohnette, JoAnn Stephan, Jeffrey Sims, Ray L. Baker

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public comments.

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

No items for discussion.

Minutes Acceptance: Minutes of Dec 8, 2022 6:00 PM (CONSENT CALENDAR)

PUBLIC HEARING ITEMS

1. Plot Plan for a 192- unit Multiple Family Residential Development on an 8-acre site.
 - A. Staff recommends that the Planning Commission take the following actions:
 1. **ADOPT** Resolution No. 2022-54, and thereby:
 - a) **ADOPTING** the Initial Study/Mitigated Negative Declaration prepared for Plot Plan (PEN22-0022) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project's potential environmental impacts; and
 - b) **ADOPTING** the Mitigation Monitoring and Reporting Program prepared for the Proposed Project, which consists of Plot Plan (PEN22-0022) pursuant to CEQA and the CEQA Guidelines.
 2. **ADOPT** Resolution No. 2022-55, and thereby:
 - a) **APPROVING** Plot Plan (PEN22-0022) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-55.

Public Hearing Opened: 6:23 PM

Speakers:
Jesenia Contreras
Angelica Graciano

Public Hearing Closed: 6:34 PM

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Alvin DeJohnette, Chairperson
SECONDER:	Jeffrey Sims, Commissioner
AYES:	Alvin DeJohnette, Jeffrey Sims, Matthew Chen, JoAnn Stephan, Omar Cobian, Ray L. Baker

2. Tentative Tract Map 38363 (PEN22-0056) subdividing 1.79 acres into eight (8) Single-Family Residential Lots.

A. Staff recommends that the Planning Commission take the following actions:

1. **ADOPT** Resolution No. 2022-53, and thereby:

- a) **FINDING** that Tentative Tract Map 38363 (PEN22-0056) is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 32 Exemption, under Section 15332, In-Fill Development Project; and
- b) **APPROVING** Tentative Tract Map 38363 (PEN22-0056) subject to the attached Conditions of Approval included as Exhibit A to this Resolution.

RESULT: APPROVED [UNANIMOUS]
MOVER: Jeffrey Sims, Commissioner
SECONDER: JoAnn Stephan, Commissioner
AYES: Jeffrey Sims, JoAnn Stephan, Alvin DeJohnette, Matthew Chen, Omar Cobian, Ray L. Baker

3. Tentative Tract Map No. 38064 and Plot Plan for a 426-unit Multiple Family Residential Development on an 18.05-acre site.

A. Staff recommends that the Planning Commission take the following actions:

1. **ADOPT** Resolution No. 2022-56, and thereby:

- a) **ADOPTING** the Initial Study/Mitigated Negative Declaration prepared for Tentative Tract Map No. 38064 (PEN21-0216) and Plot Plan (PEN21-0215), on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission and City reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the Proposed Project's potential environmental impacts; and
- b) **ADOPTING** the Mitigation Monitoring and Reporting Program prepared for the Proposed Project, which consists of a Tentative Tract Map No. 38064 (PEN21-0216) and Plot Plan (PEN21-0215), pursuant to CEQA and its guidelines.

2. **ADOPT** Resolution No. 2022-57, and thereby **RECOMMEND** the City Council:

- a) **APPROVE** Tentative Tract Map No. 38064 (PEN21-0216) and Plot Plan (PEN21-0215) based on the Recitals, Evidence contained in the

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Administrative Records and Findings as set forth in Resolution No. 2022-57.

Public Hearing Opened: 7:17 PM

Speakers

Robert Calvary
Luis Martinez
Isaiah Anderson
Robin Moriarty
Criston Moore
Kelsie Moore
Rhonda Allen
Charlene Gutierrez
Marcelia R.
Julie Moriarty

At 7:35 PM Chair DeJohnette requested a recess and asked everyone to reconvene in 10-minutes.

At 7:45 PM Chair DeJohnette reconvened the meeting.

Public Hearing Closed: 7:54 PM

RESULT: APPROVED [UNANIMOUS]
MOVER: Omar Cobian, Commissioner
SECONDER: Matthew Chen, Vice-Chairperson
AYES: Omar Cobian, Matthew Chen, Alvin DeJohnette, JoAnn Stephan, Jeffrey Sims, Ray L. Baker

4. Street Vacation of a portion of Gato Del Sol Avenue 1600 feet Westerly of Virginia Street and 1300 feet Easterly of Virginia Street

A. Staff recommends that the Planning Commission take the following actions:

1. **ADOPT** Resolution No. 2022-58, and thereby:

- a) **FINDING** the vacation is exempt from the California Environmental Quality Act; and
- b) **FINDING** that the vacation of Gato Del Sol Avenue is in conformance with the General Plan; and
- c) **RECOMMENDING** that the City Council approve the street vacation for a portion of Gato Del Sol Avenue.

Minutes Acceptance: Minutes of Dec 8, 2022 6:00 PM (CONSENT CALENDAR)

RESULT: APPROVED [UNANIMOUS]
MOVER: Jeffrey Sims, Commissioner
SECONDER: Ray L. Baker, Commissioner
AYES: Jeffrey Sims, Ray L. Baker, Alvin DeJohnette, Matthew Chen, JoAnn Stephan, Omar Cobian

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

Planning Official extends an invitation to all Planning Commissioners to attend the Planning Commissioner's Academy in March 2023.

PLANNING COMMISSIONER COMMENTS

Commissioner Sims wished everyone a happy holiday.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson DeJohnette adjourned the meeting at 8:44 PM.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Dec 8, 2022 6:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 6:00 PM
December 22, 2022**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:00 p.m., by Chairperson DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	Joann Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Ray L. Baker	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Baker.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Matthew Chen, Vice-Chairperson
SECONDER: Ray L. Baker, Commissioner
AYES: Matthew Chen, Ray L. Baker, Alvin DeJohnette, JoAnn Stephan, Omar Cobian, Jeffrey Sims

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

No public comments.

CONSENT CALENDAR

No items for discussion.

NON-PUBLIC HEARING ITEMS

No items for discussion.

PUBLIC HEARING ITEMS

Minutes Acceptance: Minutes of Dec 22, 2022 6:00 PM (CONSENT CALENDAR)

At 6:10 p.m., due to a conflict of interest, Vice-Chairperson Chen was asked to recuse himself.

1. Plot Plan for an automobile parking lot

A. Staff recommends that the Planning Commission take the following actions:

1. **ADOPT** Resolution No. 2022-41, attached hereto, **AND:**

a.) **ADOPTING** the Initial Study/Mitigated Negative Declaration prepared for Plot Plan (PEN21-0102) on file with the Community Development Department, incorporated herein by this reference, which was completed in compliance with CEQA and the CEQA Guidelines, and reflects that the Planning Commission reviewed and considered the information contained in the Initial Study/Mitigated Negative Declaration, and exercised its independent judgment and analysis of the proposed Project's potential environmental impacts; and

b.) **ADOPTING** the Mitigation Monitoring and Reporting Program prepared for the Project, which consists of Plot Plan (PEN21-0102) pursuant to CEQA and the CEQA Guidelines.

2. That the Planning Commission **ADOPT** Resolution No. 2022-42 attached hereto, **AND:**

a.) **APPROVING** Plot Plan (PEN21-0102) based on the Recital, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2022-42.

At 7:18 p.m. Chairperson DeJohnette requested a recess and asked everyone to reconvene at 7:30 p.m.

At 7:30 p.m. Chairperson DeJohnette reconvened the meeting.

Public Hearing Opened: 7:30 PM

Speakers

Major John Kalis

Simon Housman

Lt. Col. Hamilton Underwood

Dan Fairbanks

Grace Martin

Greg Kuster

Public Hearing Closed: 7:54 PM

Public Hearing Opened: 7:56 PM

Public Hearing Closed: 8:00 PM

Minutes Acceptance: Minutes of Dec 22, 2022 6:00 PM (CONSENT CALENDAR)

RESULT: APPROVED [5 TO 0]
MOVER: Alvin DeJohnette, Chairperson
SECONDER: Omar Cobian, Commissioner
AYES: Alvin DeJohnette, Omar Cobian, JoAnn Stephan, Jeffrey Sims, Ray L. Baker
ABSTAIN: Matthew Chen

At 8:08 p.m. Vice-Chairperson Chen rejoined the Commission at the dais.

2. A Conditional Use Permit for the operation of a commercial cannabis microbusiness within an existing 30,905 square-foot suite within the Sunnymead Village Center.

A. Staff recommends that the Planning Commission take the following actions:

1. That the Planning Commission **ADOPT** Resolution No. 2022-59, attached hereto, **AND:**

a.) **FINDING** that Conditional Use Permit PEN21-0174 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 1 Exemption (Section 15301, Existing Facilities) and 15061(b)(3) common sense exemption; and

b.) **APPROVING** Conditional Use Permit PEN21-0174 subject to the attached Conditions of Approval as Exhibit A to the Resolution.

Public Hearing Opened: 8:37 PM

Speakers

Kris Hansen
 Kreg McCoy
 Derek Spikoi
 Jonathan Zacanas
 Michelle Irving
 Andrew (Last name not provided)

Public Hearing Closed: 8:50 PM

Public Hearing Opened: 8:56 PM

Public Hearing Closed: 8:59 PM

RESULT: APPROVED [UNANIMOUS]
MOVER: Jeffrey Sims, Commissioner
SECONDER: Ray L. Baker, Commissioner
AYES: Jeffrey Sims, Ray L. Baker, Alvin DeJohnette, Matthew Chen, JoAnn Stephan, Omar Cobian

Minutes Acceptance: Minutes of Dec 22, 2022 6:00 PM (CONSENT CALENDAR)

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

Planning Official, Sean Kelleher, thanked the Commission for a great year, extended his thanks to the development team, and wished everyone Happy Holidays.

PLANNING COMMISSIONER COMMENTS

All members of the Commission thanked staff for a great job and wished everyone a Happy Holiday.

Chairperson DeJohnette thanked Sheriff Buelna for being present and supporting the Commission. He also asked if the Commission is able to establish a time limit for the applicant to speak and give presentations.

Planning Official confirmed that he is able to do so upon introducing the applicant to speak.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson adjourned the meeting at 9:03 PM.

Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Dec 22, 2022 6:00 PM (CONSENT CALENDAR)

**OFFICIAL MINUTES OF THE
PLANNING COMMISSION
OF THE CITY OF MORENO VALLEY**

**REGULAR MEETING – 6:00 PM
February 9, 2023**

CALL TO ORDER

This regular meeting of the Planning Commission of the City of Moreno Valley was called to order at 6:00 p.m., by Chairperson DeJohnette in the Council Chambers located at 14177 Frederick Street, Moreno Valley, California.

ROLL CALL

Planning Commission:	Alvin DeJohnette	Chairperson	Present
	Matthew Chen	Vice-Chairperson	Present
	Joann Stephan	Commissioner	Present
	Omar Cobian	Commissioner	Present
	Jeffrey Sims	Commissioner	Present
	Ray L. Baker	Commissioner	Present

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Vice Chairperson Chen.

APPROVAL OF AGENDA

RESULT: APPROVED [UNANIMOUS]
MOVER: Ray L. Baker, Commissioner
SECONDER: Matthew Chen, Vice-Chairperson
AYES: Ray L. Baker, Matthew Chen, Alvin DeJohnette, Joann Stephan, Omar Cobian, Jeffrey Sims

PUBLIC COMMENTS PROCEDURE

PUBLIC COMMENTS

Speakers

Jonathan Vaughn

CONSENT CALENDAR

No items for discussion

NON-PUBLIC HEARING ITEMS

1. General Plan Annual Progress Report as required by Government Code 65400
 - A. Staff recommends that the Planning Commission take the following actions:
 1. **APPROVE** Resolution No. 2023-03, and thereby, recommending that the City Council:

- a) **Find and conclude** that the January 2022 to December 2022 General Plan Annual Report is consistent with the requirements of Government Code Section 65400 and direct staff to submit the Annual Report to the Office of Planning and Research and to the Department of Housing and Community Development by April 1, 2023.

Public Hearing Opened: 6:09 p.m.

No public speakers

Public Hearing Closed: 6:09 p.m.

RESULT: APPROVED [UNANIMOUS]
MOVER: Matthew Chen, Vice-Chairperson
SECONDER: Jeffrey Sims, Commissioner
AYES: Matthew Chen, Jeffrey Sims, Alvin DeJohnette, Omar Cobian, Joann Stephan, Ray L. Baker

PUBLIC HEARING ITEMS

- 1. Plot Plan for a 5,400 S.F. Express Car Wash Facility within the Stoneridge Town Center.
 - A. Staff recommends that the Planning Commission take the following actions:
 - 1. **APPROVE** Resolution No. 2023-01, and thereby:
 - a) **FINDING** that Plot Plan PEN22-0172 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) as a Class 32 Exemption (Section 15332, In-Fill Development); and
 - b) **APPROVING** Conditional Use Permit PEN22-0172 subject to the attached Conditions of Approval as Exhibit A to the Resolution.

Public Hearing Opened: 6:20 p.m.

No public speakers

Public Hearing Closed: 6:20 p.m.

RESULT: APPROVED [UNANIMOUS]
MOVER: Ray L. Baker, Commissioner
SECONDER: Omar Cobian, Commissioner
AYES: Ray L. Baker, Omar Cobian, Alvin DeJohnette, Matthew Chen, Joann Stephan, Jeffrey Sims

Minutes Acceptance: Minutes of Feb 9, 2023 6:00 PM (CONSENT CALENDAR)

OTHER COMMISSION BUSINESS

No items for discussion.

STAFF COMMENTS

Planning Official, Sean Kelleher, introduced new staff: Patty Castreje, Administrative Assistant.

PLANNING COMMISSIONER COMMENTS

Planning Commissioners welcomed new staff member.

ADJOURNMENT

There being no further business to come before the Planning Commission, Chairperson adjourned the meeting at 6:26 PM.

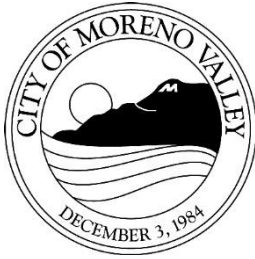
Submitted by:

Approved by:

Rachel Ramirez
Planning Commission Secretary

Alvin DeJohnette
Chairperson

Minutes Acceptance: Minutes of Feb 9, 2023 6:00 PM (CONSENT CALENDAR)



PLANNING COMMISSION

STAFF REPORT

Meeting Date: February 23, 2023

PEN21-0099 AMENDED CONDITIONAL USE PERMIT FOR A NEW CLASSROOM BUILDING, SHADE STRUCTURE, AND PARKING.

Case: PEN21-0099 - Amended Conditional Use Permit

Applicant: Integrated Care Communities

Property Owner: Jan Peterson Child Day Care, Inc.

Representative: Kay Kite, Community Works Design Group

Project Site: 26895 and 26940 Brodiaea Avenue, 14315 Nason Street
(APN: 486-280-039, 486-280-046, 486-280-048, & 486-280-051)

Case Planner: Gabriel Diaz, Associate Planner

Council District: 3

Proposed Project: An Amended Conditional Use Permit (CUP) for a new approximately 1,700 square foot classroom building, a new approximately 1,000 square foot shade structure, and additional parking at the existing Jan Peterson Child Development Center on an approximately 1.91-acre site.

CEQA: Exempt from California Environmental Quality Act (CEQA) under CEQA Guidelines as a Class 32 Exemption (Section 15332, Infill Development)

SUMMARY

Integrated Care Communities (“Applicant”) submitted an application for approval of an Amended Conditional Use Permit (CUP) for a new approximately 1,700 square foot classroom building, a new approximately 1,000 square foot shade structure, and additional parking at the existing Jan Peterson Child Development Center on an approximately 1.91-acre portion of the 8.8-acre site located at the Southwest corner of

Nason Street and Brodiaea Avenue within the Downtown Center (DC) District (“Proposed Project”). The Proposed Project as designed and conditioned is consistent with the goals, policies, and objectives of the City’s General Plan, as well as, the requirements of the Downtown Center (DC) District, and the City’s Municipal Code.

PROJECT DESCRIPTION

The Proposed Project consists of an Amended Conditional Use Permit (CUP) for a new approximately 1,700 square-foot classroom building, a new approximately 1,000 square-foot shade structure, and additional parking at the existing Jan Peterson Child Development Center on an approximately 1.91-acre portion of the 8.8-acre site. The original Conditional Use Permit PA99-0024 was approved by the Planning Commission on August 26, 1999. The approval included the following uses: assisted living, skilled nursing, adult day health care, child daycare, and administrative offices.

Site and Surrounding Area

The subject Project Site is approximately 1.91 acres and is located on the southwest corner of Nason Street and Brodiaea Avenue. All parcels adjacent to the Project Site are within the Downtown Center (DC) District. To the north is an existing Mobile Home Park, to the east is the existing Integrated Care Facility, and to the west is an existing Skilled Nursing Facility with the Riverside University Health System Medical Center Hospital further south.

Access/Parking

The Proposed Project’s main access would be from Brodiaea Avenue on the northern perimeter of the Project Site. Secondary access for the Proposed Project would be off Hospital Road on the south perimeter of the Project Site.

Parking for the Proposed Project based on the Municipal Code requirements would be 4 spaces. The Proposed Project would provide a total of 13 additional parking spaces to the existing site.

Design/Landscaping

The Proposed Project would develop a new approximately 1,700 square foot classroom building, a new approximately 1,000 square foot shade structure, and additional parking at the existing Jan Peterson Child Development Center. The new one-story classroom building will be architecturally compatible with the existing Spanish-influenced architectural style of the complex. The shade structure will include a tan fabric shade roof with powder-coated teal posts.

REVIEW PROCESS

All appropriate outside agencies have considered the Proposed Project part of the standard review process. The Proposed Project was reviewed by the Project Review Staff Committee as required by the Municipal Code. Following subsequent revisions and reviews by staff, the Proposed Project was determined to be complete.

ENVIRONMENTAL

The Proposed Project has been evaluated in compliance with the criteria set forth in the California Environmental Quality Act (CEQA). As designed and conditioned, the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines 15332 for In-Fill Development. The in-fill development exemption is applicable to this project as it is: 1) consistent with the applicable General Plan policies and all applicable zoning designation and regulations and applicable policies; 2) occurs on a site that is less than five acres in size substantially surrounded by urban uses; 3) the site has no value, as habitat for rare, threatened or endangered species; 4) the project will not result in significant effects related to traffic, noise, air quality, or water quality; and 5) the site can be adequately served by all required utilities and public services.

NOTIFICATION

Public notice was sent to all property owners of record within 600 feet of the project. Notice was provided pursuant to Government Code 65905. The public hearing notice for this project was also posted on the project site and published in the local Press-Enterprise newspaper.

REVIEW AGENCY COMMENTS

Staff has coordinated with outside agencies and where applicable, conditions of approval have been included to address concerns from the responding agencies, including addressing input from the tribal agencies.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission take the following actions:

- A. That the Planning Commission **ADOPT** Resolution No. 2023-02, attached hereto, and thereby:
 1. **FINDING** the Amended Conditional Use Permit (PEN21-0099) project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA), as a Class 32 Exemption, under CEQA Guidelines Section 15332, In-Fill Development Projects; and
 2. **APPROVING** Amended Conditional Use Permit (PEN21-0099) based on the Recitals, Evidence contained in the Administrative Records and Findings as set forth in Resolution No. 2023-02.

Prepared by:
Gabriel Diaz
Associate Planner

Approved by:
Sean P Kelleher
Planning Division Manager

ATTACHMENTS

To view large attachments, please click your “bookmarks”



on the left hand side of this document for the necessary attachment.

1. Resolution No. 2023-02 -Amended Conditional Use Permit
2. Project Plans
3. Zoning Map

RESOLUTION NUMBER 2023-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, APPROVING AN AMENDED CONDITIONAL USE PERMIT (PEN21-0099) FOR A NEW APPROXIMATELY 1,700 SQUARE-FOOT CLASSROOM BUILDING, A NEW APPROXIMATELY 1,000 SQUARE-FOOT SHADE STRUCTURE, AND ADDITIONAL PARKING AT THE EXISTING JAN PETERSON CHILD DEVELOPMENT CENTER LOCATED AT 26895 AND 26940 BRODIAEA AVENUE, 14315 NASON STREET (APN: 486-280-039, 486-280-046, 486-280-048, & 486-280-051)

WHEREAS, the City of Moreno Valley (“City”) is a general law city and a municipal corporation of the State of California; and

WHEREAS, Integrated Care Communities (“Applicant”) has filed an application for the approval of an Amended Conditional Use Permit PEN21-0099 for a new approximately 1,700 square-foot classroom building, a new approximately 1,000 square-foot shade structure, and additional parking at the existing Jan Peterson Child Development Center (“Proposed Project”), located at 26895 and 26940 Brodiaea Avenue, 14315 Nason Street (APN: 486-280-039, 486-280-046, 486-280-048, & 486-280-051) (“Project Site”); and

WHEREAS, Section 9.02.020 (Permitted Uses) provides that Day Care Centers are allowed within Downtown Center (DC) District, with a properly secured conditional use permit approved through the Planning Commission when the use is located 300 feet or less from a residential zone or use; and

WHEREAS, Section 9.02.060 (Conditional Use Permits) of the Moreno Valley Municipal Code acknowledges that the purpose of conditional use permits is to allow the establishment of uses that may have special impacts or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location and that the conditional use permit application process involves the review of location, design, and configuration of improvements related to the proposed project, and the potential impact of the proposed project on the surrounding area based on fixed and established standards; and

WHEREAS, the Proposed Project has been evaluated in accordance with Section 9.02.060 (Conditional Use Permits) of the Municipal Code with consideration given to the City’s General Plan, Zoning Ordinance, and other applicable laws and regulations; and

WHEREAS, Section 9.02.060 of the Municipal Code imposes conditions of approval upon projects for which a Conditional Use Permit is required, which conditions may be imposed by the Planning Commission to address on-site improvements, off-site improvements, the manner in which the site is used, and any other conditions as may be deemed necessary to protect the public health, safety and welfare to ensure that the proposed Project will be developed in accordance with the purpose and intent of Title 9

(Planning and Zoning) of the Municipal Code; and

WHEREAS, pursuant to the provisions of Section 9.02.200 (Public Hearing and Notification Procedures) of the Municipal Code and Government Code Section 65905, a public hearing was scheduled for February 23, 2023, and notice thereof was duly published and posted, and mailed to all property owners of record within 600 feet of the Project Site; and

WHEREAS, on February 23, 2023, the duly noticed public hearing to consider the Proposed Project was duly conducted by the Planning Commission at which time all interested persons were provided with an opportunity to testify and to present evidence; and

WHEREAS, consistent with the requirements of Section 9.02.060 (Conditional Use Permits) of the Municipal Code, at the public hearing the Planning Commission considered Conditions of Approval to be imposed upon Amended Conditional Use Permit PEN21-0099 (“Amended Conditional Use Permit”), which conditions were prepared by Planning Division staff who deemed said conditions to be necessary to protect the public health, safety, and welfare and to ensure the proposed Project will be developed in accordance with the purpose and intent of Title 9 (“Planning and Zoning”) of the Municipal Code; and

WHEREAS, on February 23, 2023, in accordance with the provisions of the California Environmental Quality Act (CEQA¹) and CEQA Guidelines², the Planning Commission approved Resolution 2023-01, finding that the Proposed Project has been evaluated against criteria set forth in the California Environmental Quality Act (CEQA) Guidelines and it was determined that the Proposed Project will not have a significant effect on the environment, and is exempt from the provisions of CEQA as a Class 32 Categorical Exemption in accordance with CEQA Guidelines Section 15332 for In-fill Development Projects; and

WHEREAS, at the public hearing, the Planning Commission considered whether each of the requisite findings specified in Section 9.02.060 of the Municipal Code and set forth herein could be made with respect to the proposed Project as conditioned by the Conditions of Approval.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MORENO VALLEY, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. Recitals and Exhibits

That the foregoing Recitals and attached Exhibits are true and correct and are hereby incorporated by this reference.

¹ Public Resources Code §§ 21000-21177

² 14 California Code of Regulations §§15000-15387

Section 2. Notice

That pursuant to Government Code section 66020(d)(1), notice is hereby given that the proposed Project is subject to certain fees, dedications, reservations, and other exactions as provided herein, in the staff report and conditions of approval (collectively, “Conditions”); and these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the ninety-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), has begun.

Section 3. Evidence

That the Planning Commission has considered all of the evidence submitted into the administrative record for the proposed Amended Conditional Use Permit, including, but not limited to, the following:

- (a) Moreno Valley General Plan and all other relevant provisions contained therein;
- (b) Title 9 (Planning and Zoning) of the Moreno Valley Municipal Code and all other relevant provisions referenced therein;
- (c) Application for the approval of an Amended Conditional Use Permit PEN21-0099 and all documents, records, and references contained therein;
- (d) Conditions of Approval for Amended Conditional Use Permit PEN21-0099 attached hereto as Exhibit A;
- (e) Staff Report prepared for the Planning Commission’s consideration and all documents, records, and references related thereto, and Staff’s presentation at the public hearing;
- (f) Staff’s determination that the Proposed Project is categorically exempt in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines;
- (g) Testimony and/or comments from Applicant and its representatives during the public hearing; and
- (h) Testimony and/or comments from all persons that was provided in written format or correspondence, at, or prior to, the public hearing.

Section 4. Findings

That based on the content of the foregoing Recitals and the Evidence contained in the Administrative Record as set forth above, the Planning Commission makes the following findings:

- (a) The Proposed Project is consistent with the goals, objectives, policies, and programs of the General Plan;
- (b) The Proposed Project complies with all applicable zoning and other regulations;
- (c) The Proposed Project will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity; and
- (d) The location, design, and operation of the Proposed Project will be compatible with existing and planned land uses in the vicinity.

Section 5. Determination of Categorical Exemption

That the Planning Commission hereby determines that the Proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 (In-Fill Developments).

Section 6. Notice of Exemption

That the Planning Division is hereby directed to prepare, execute, and file a Notice of Exemption as required by Section 5.2 (Noticing Requirements) of the City's Rules and Procedures for the Implementation of the California Environmental Quality Act and CEQA Guidelines Section 15062.

Section 7. Approval

That based on the foregoing Recitals, Administrative Record and Findings, the Planning Commission hereby approves the Proposed Project (Amended Conditional Use Permit PEN21-0099) subject to the Conditions of Approval for Amended Conditional Use Permit PEN21-0099, attached hereto as Exhibit A.

Section 8. Repeal of Conflicting Provisions

That all the provisions as heretofore adopted by the Planning Commission that are in conflict with the provisions of this Resolution are hereby repealed.

Section 9. Severability

That the Planning Commission declares that, should any provision, section, paragraph, sentence or word of this Resolution be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this Resolution as hereby adopted shall remain in full force and effect.

Section 10. Effective Date

That this Resolution shall take effect immediately upon the date of adoption.

Section 11. Certification

That the Secretary of the Planning Commission shall certify to the passage of this Resolution.

PASSED AND ADOPTED THIS 23rd day of FEBRUARY 2023.

CITY OF MORENO VALLEY
PLANNING COMMISSION

Alvin DeJohnette, Chairperson

ATTEST:

Sean P. Kelleher, Planning Official

APPROVED AS TO FORM:

Steven B. Quintanilla, Interim City Attorney

Exhibits:

Exhibit A: Amended Conditional Use Permit (PEN21-0099) Conditions of Approval

Attachment: Resolution No. 2023-02 -Amended Conditional Use Permit [Revision 5] (6091 : PEN21-0099 Amended Conditional Use Permit)

Exhibit A

Amended Conditional Use Permit (PEN21-0099) Conditions of Approval

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN21-0099)

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CITY OF MORENO VALLEY
 CONDITIONS OF APPROVAL
 Conditional Use Permit (PEN21-0099)

EFFECTIVE DATE:

EXPIRATION DATE:

COMMUNITY DEVELOPMENT DEPARTMENTPlanning Division

1. A change or modification to the land use or the approved site plans may require a separate approval. Prior to any change or modification, the property owner shall contact the City of Moreno Valley Community Development Department to determine if a separate approval is required.
2. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s). (MC 9.02.080)
3. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust. (MC 9.02.030)
4. Unless specifically superseded herein, these conditions of approval do not replace or supersede the final conditions of approval for approved project PA99-0024 or any related projects or plan checks.
5. The expiration date of this modification does not extend the expiration of any related project or activity.
6. This approval shall expire three years after the approval date of this project unless used or extended as provided for by the City of Moreno Valley Municipal Code; otherwise it shall become null and void and of no effect whatsoever. Use means the beginning of substantial construction contemplated by this approval within the three-year period, which is thereafter pursued to completion, or the beginning of substantial utilization contemplated by this approval. (MC 9.02.230)
7. In the event the use hereby permitted ceases operation for a period of one (1) year or more, or as defined in the current Municipal Code, this permit may be revoked in accordance with provisions of the Municipal Code.
8. The Developer shall defend, indemnify and hold harmless the City, city council, commissions, boards, subcommittees and the City's elected and appointed

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Conditional Use Permit (PEN21-0099)

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officials, commissioners, board members, officers, agents, consultants and employees ("City Parties") from and against any and all liabilities, demands, claims, actions or proceedings and costs and expenses incidental thereto (including costs of defense, settlement and reasonable attorneys' fees), which any or all of them may suffer, incur, be responsible for or pay out as a result of or in connection with any challenge to the legality, validity or adequacy of any of the following items: (i) any prior or current agreements by and among the City and the Developer; (ii) the current, concurrent and subsequent permits, licenses and entitlements approved by the City; (iii) any environmental determination made by the City in connection with the Project Site and the Project; and (iv) any proceedings or other actions undertaken by the City in connection with the adoption or approval of any of the above. In the event of any administrative, legal, equitable action or other proceeding instituted by any third party (including without limitation a governmental entity or official) challenging the legality, validity or adequacy of any of the above items or any portion thereof, the Parties shall mutually cooperate with each other in defense of said action or proceeding. Notwithstanding the above, the City, at its sole option, may tender the complete defense of any third party challenge as described herein. In the event the City elects to contract with special counsel to provide for such a defense, the City shall meet and confer with the Developer regarding the selection of counsel, and the Developer shall pay all costs related to retention of such counsel by the City.

9. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris. (MC 9.02.030)
10. The site shall be developed in accordance with the approved plans on file in the Community Development Department - Planning Division, the Municipal Code regulations, General Plan, and the conditions contained herein. Prior to any use of the project site or business activity being commenced thereon, all Conditions of Approval shall be completed to the satisfaction of the Planning Official. (MC 9.14.020)
11. Any signs indicated on the submitted plans are not included with this approval. Any signs, whether permanent (e.g. wall, monument) or temporary (e.g. banner, flag), require separate application and approval by the Planning Division. No signs are permitted in the public right of way. (MC 9.12)
12. All site plans, grading plans, landscape and irrigation plans, fence/wall plans, lighting plans and street improvement plans shall be coordinated for consistency with this approval.

Special Conditions

13. The site has been approved for an Amended Conditional Use Permit (CUP) for a

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new approximately 1,700 square foot classroom building, a new 1,000 square foot shade structure, and additional parking at the existing Jan Peterson Child Development Center on an approximately 1.91 acre portion of the 8.8 acre site. A change or modification will require a separate approval.

Prior to Grading Permit

14. Prior to issuance of any grading permit, all Conditions of Approval shall be printed on the grading plans.
15. Prior to issuance of grading permits, the developer shall pay the applicable Stephens' Kangaroo Rat (SKR) Habitat Conservation Plan mitigation fee. (Ord)
16. If potential historic, archaeological, Native American cultural resources or paleontological resources are uncovered during excavation or construction activities at the project site, work in the affected area must cease immediately and a qualified person (meeting the Secretary of the Interior's standards (36CFR61)) shall be consulted by the applicant to evaluate the find, and as appropriate recommend alternative measures to avoid, minimize or mitigate negative effects on the historic, prehistoric, or paleontological resource. Determinations and recommendations by the consultant shall be immediately submitted to the Planning Division for consideration, and implemented as deemed appropriate by the Community Development Director, in consultation with the State Historic Preservation Officer (SHPO) and any and all affected Native American Tribes before any further work commences in the affected area.

If human remains are discovered during grading and other construction excavation, no further disturbance shall occur until the County Coroner has made necessary findings as to origin. If the County Coroner determines that the remains are potentially Native American, the California Native American Heritage Commission shall be notified within 5-days of the published finding to be given a reasonable opportunity to identify the "most likely descendant." The "most likely descendant" shall then make recommendations, and engage in consultations concerning the treatment of the remains (California Public Resources Code 5097.98). (GP Objective 23.3, CEQA).

17. Prior to approval of any grading permits, plans for any security gate system shall be submitted to and approved by to the Planning Division.
18. Prior to issuance of any building permit, all Conditions of Approval shall be printed on the building plans.
19. Prior to issuance of any building permits, final landscaping and irrigation plans shall be submitted for review and approved by the Planning Division. After the third plan

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check review for landscape plans, an additional plan check fee shall apply. The plans shall be prepared in accordance with the City's Landscape Requirements and shall include:

- a. A three (3) foot high decorative wall, solid hedge or berm shall be placed in any setback areas between a public right of way and a parking lot for screening.
 - b. Finger and end planters with required step outs and curbing shall be provided every 12 parking stalls as well as at the terminus of each aisle.
 - c. Diamond planters shall be provided every 3 parking stalls.
 - d. Drought tolerant landscape shall be used. Sod shall be limited to gathering areas (or No sod shall be installed).
 - e. On-site trees shall be planted at an equivalent of one (1) tree per thirty (30) linear feet of the perimeter of a parking lot and per thirty linear feet of a building dimension for the portions of the building visible from a parking lot or right of way. Trees may be massed for pleasing aesthetic effects.
 - f. Enhanced landscaping shall be provided at all driveway entries and street corner locations. The review of all utility boxes, transformers etc. shall be coordinated to provide adequate screening from public view.
 - g. All site perimeter and parking lot landscape and irrigation shall be installed prior to the release of certificate of any occupancy permits for the site or pad in question.
20. Prior to issuance of building permits, the Planning Division shall review and approve the location and method of enclosure or screening of transformer cabinets, commercial gas meters and back flow preventers as shown on the final working drawings. Location and screening shall comply with the following criteria: transformer cabinets and commercial gas meters shall not be located within required setbacks and shall be screened from public view either by architectural treatment or landscaping; multiple electrical meters shall be fully enclosed and incorporated into the overall architectural design of the building(s); back-flow preventers shall be screened by landscaping. (GP Objective 43.30)
 21. Prior to issuance of a building permit, the developer/property owner or developer's successor-in-interest shall pay all applicable impact fees due at permit issuance, including but not limited to Multi-species Habitat Conservation Plan (MSHCP) mitigation fees. (Ord)
 22. Prior to building final, the developer/owner or developer's/owner's

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successor-in-interest shall pay all applicable impact fees, including but not limited to Transportation Uniform Mitigation fees (TUMF), and the City's adopted Development Impact Fees. (Ord)

23. Prior to or at building plan check submittal, the elevation plans shall include decorative lighting sconces on all sides of the buildings of the complex facing a parking lot, courtyard or plaza, or public right of way or open space to provide up-lighting and shadowing on the structures. Include drawings of the sconce details for each building within the elevation plans, approved by the Planning Division prior to building permit issuance.
24. Detailed, on-site, computer generated, point-by-point comparison lighting plan, including exterior building, parking lot, and landscaping lighting, shall be included in the Building Plans for review by the Planning Division. The lighting plan shall be generated on the plot plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for light fixtures used, shall include style, illumination, location, height and method of shielding per the City's Municipal Code requirements. After the third plan check review for lighting plans, an additional plan check fee will apply. (MC 9.08.100, 9.16.280)
25. Prior to issuance of building permits, screening details shall be addressed on the building plans for roof top equipment submitted for Planning Division review and approval through the building plan check process. All equipment shall be completely screened so as not to be visible from public view, and the screening shall be an integral part of the building.

Prior to Building Final or Occupancy

26. Prior to building final, all required landscaping and irrigation shall be installed per plan, certified by the Landscape Architect and inspected by the Planning Division. (MC 9.03.040, MC 9.17).
27. Prior to building final, Planning approved/stamped landscape plans shall be provided to the Community Development Department – Planning Division on a CD disk.
28. Prior to building final, all required and proposed fences and walls shall be constructed according to the approved plans on file in the Planning Division. (MC 9.080.070).

Building Division

29. The proposed non-residential project shall comply with the latest Federal Law,

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- Americans with Disabilities Act, and State Law, California Code of Regulations, Title 24, Chapter 11B for accessibility standards for the disabled including access to the site, exits, bathrooms, work spaces, etc.
30. Prior to submittal, all new development, including residential second units, are required to obtain a valid property address prior to permit application. Addresses can be obtained by contacting the Building Safety Division at 951.413.3350.
 31. Contact the Building Safety Division for permit application submittal requirements.
 32. Any construction within the city shall only be as follows: Monday through Friday seven a.m. to seven p.m.(except for holidays which occur on weekdays), eight a.m. to four p.m.; weekends and holidays (as observed by the city and described in the Moreno Valley Municipal Code Chapter 2.55), unless written approval is first obtained from the Building Official or City Engineer.
 33. Building plans submitted shall be signed and sealed by a California licensed design professional as required by the State Business and Professions Code.
 34. The proposed development shall be subject to the payment of required development fees as required by the City's current Fee Ordinance at the time a building application is submitted or prior to the issuance of permits as determined by the City.
 35. The proposed project will be subject to approval by the Eastern Municipal Water District and all applicable fees and charges shall be paid prior to permit issuance. Contact the water district at 951.928.3777 for specific details.
 36. All new structures shall be designed in conformance to the latest design standards adopted by the State of California in the California Building Code, (CBC) Part 2, Title 24, California Code of Regulations including requirements for allowable area, occupancy separations, fire suppression systems, accessibility, etc.
 37. The proposed project's occupancy shall be classified by the Building Official and must comply with exiting, occupancy separation(s) and minimum plumbing fixture requirements. Minimum plumbing fixtures shall be provided per the California Plumbing Code, Table 422.1. The occupant load and occupancy classification shall be determined in accordance with the California Building Code.
 38. Prior to permit issuance, every applicant shall submit a properly completed Waste Management Plan (WMP), as a portion of the building or demolition permit process. (MC 8.80.030)

ECONOMIC DEVELOPMENT DEPARTMENT (EDD)

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39. New Moreno Valley businesses may work with the Economic Development Department to coordinate job recruitment fairs.
40. New Moreno Valley businesses may adopt a “First Source” approach to employee recruitment that gives notice of job openings to Moreno Valley residents for one week in advance of public recruitment.
41. New Moreno Valley businesses are encouraged to hire local residents.
42. New Moreno Valley businesses are encouraged to provide a job fair flyer and/or web announcement to the City in advance of job recruitments, so that the City can assist in publicizing these events.
43. New Moreno Valley businesses may utilize the workforce recruitment services provided by the Moreno Valley Business & Employment Resource Center (“BERC”).

The BERC offers free assistance to Moreno Valley businesses recruiting and training potential employees. Complimentary services include:

- Job Announcements
- Applicant testing / pre-screening
- Interviewing
- Job Fair support
- Training space

FIRE DEPARTMENT**Fire Prevention Bureau**

44. Final fire and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.
45. The Fire Code Official is authorized to enforce the fire safety during construction requirements of Chapter 33. (CFC Chapter 33 & CBC Chapter 33)
46. Fire lanes and fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet and an unobstructed vertical clearance of not less than thirteen (13) feet six (6) inches. (CFC 503.2.1 and MVMC 8.36.060[E])

PUBLIC WORKS DEPARTMENT

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Land Development

47. The developer shall comply with all applicable City ordinances and resolutions including the City's Municipal Code (MC) and if subdividing land, the Government Code (GC) of the State of California, specifically Sections 66410 through 66499.58, said sections also referred to as the Subdivision Map Act (SMA). [MC 9.14.010]
48. The final approved conditions of approval (COAs) issued and any applicable Mitigation Measures by the Planning Division shall be photographically or electronically placed on mylar sheets and included in the Grading and Street Improvement plans.
49. The developer shall monitor, supervise and control all construction related activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
- (a) Removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day.
 - (b) Observance of working hours as stipulated on permits issued by the Land Development Division.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
 - (d) All dust control measures per South Coast Air Quality Management District (SCAQMD) requirements during the grading operations.
- Violation of any condition, restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedy as noted in City Municipal Code 8.14.090. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
50. The developer shall protect downstream properties from damage caused by alteration of drainage patterns (i.e. concentration or diversion of flow, etc). Protection shall be provided by constructing adequate drainage facilities, including, but not limited to, modifying existing facilities or by securing a drainage easement. [MC 9.14.110]
51. This project shall submit civil engineering design plans, reports and/or documents (prepared by a registered/licensed civil engineer) for review and approval by the City Engineer per the current submittal requirements, prior to the indicated threshold or as required by the City Engineer. The submittal consists of, but is not limited to, the following:
- a. Precise grading w/ erosion control plan prior to grading permit issuance;
 - b. As-Built revision for all plans prior to Occupancy release.

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52. Water quality best management practices (BMPs) designed to meet Water Quality Management Plan (WQMP) requirements for single-family residential development shall not be used as a construction BMP. Water quality BMPs shall be maintained for the entire duration of the project construction and be used to treat runoff from those developed portions of the project. Water quality BMPs shall be protected from upstream construction related runoff by having proper best management practices in place and maintained. Water quality BMPs shall be graded per the approved design plans and once landscaping and irrigation has been installed, it and its maintenance shall be turned over to an established Homeowner's Association (HOA). The Homeowner's Association shall enter into an agreement with the City for basin maintenance.

Prior to Grading Plan Approval

53. Resolution of all drainage issues shall be as approved by the City Engineer.
54. A final project-specific Water Quality Management Plan (WQMP) shall be submitted for review and approved by the City Engineer, which:
- a. Addresses Site Design Best Management Practices (BMPs) such as minimizing impervious areas, maximizing permeability, minimizes directly connected impervious areas to the City's street and storm drain systems, and conserves natural areas;
 - b. Incorporates Source Control BMPs and provides a detailed description of their implementation;
 - c. Describes the long-term operation and maintenance requirements for BMPs requiring maintenance; and
 - d. Describes the mechanism for funding the long-term operation and maintenance of the BMPs.

A copy of the final WQMP template can be obtained on the City's Website or by contacting the Land Development Division. A digital (pdf) copy of the approved final project-specific Water Quality Management Plan (WQMP) shall be submitted to the Land Development Division.

55. The final project-specific Water Quality Management Plan (WQMP) shall be consistent with the approved P-WQMP, as well as in full conformance with the document: "Water Quality Management Plan - A Guidance Document for the Santa Ana Region of Riverside County" dated October 22, 2012. The F-WQMP shall be submitted and approved prior to application for and issuance of grading permits. At a minimum, the F-WQMP shall include the following: Site Design BMPs; Source Control BMPs, Treatment Control BMPs, Operation and Maintenance requirements for BMPs and sources of funding for BMP implementation.
- a. The Applicant has proposed to incorporate the use of self retaining BMP's. Final design and sizing details of all BMPs must be provided in the first submittal of

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the F-WQMP. The Applicant acknowledges that more area than currently shown on the plans may be required to treat site runoff as required by the WQMP guidance document.

b. The Applicant shall substantiate the applicable Hydrologic Condition of Concerns (HCOC) in Section F of the F-WQMP. The HCOC designates that the project will be exempt from mitigation requirements based on Exemption 1.

c. All proposed LID BMP's shall be designed in accordance with the RCFC&WCD's Design Handbook for Low Impact Development Best Management Practices, dated September 2011.

d. The proposed LID BMP's as identified in the project-specific P-WQMP shall be incorporated into the Final WQMP.

e. The NPDES notes per City Standard Drawing No. MVFE-350-0 shall be included in the grading plans.

f. Post-construction treatment control BMPs, once placed into operation for post-construction water quality control, shall not be used to treat runoff from construction sites or unstabilized areas of the site.

g. Prior to precise grading plan approval, the grading plan shall show any proposed trash enclosure to include a cover (roof) and sufficient size for dual bin (1 for trash and 1 for recyclables). The architecture shall be approved by the Planning Division and any structural approvals shall be made by the Building and Safety Division.

56. The developer shall ensure compliance with the City Grading ordinance, these Conditions of Approval and the following criteria:

a. The project street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area and outlet points. Unless otherwise approved by the City Engineer, lot lines shall be located at the top of slopes.

b. Any grading that creates cut or fill slopes adjacent to the street shall provide erosion control, sight distance control, and slope easements as approved by the City Engineer.

c. All improvement plans are substantially complete and appropriate clearance letters are provided to the City.

d. A soils/geotechnical report (addressing the soil's stability and geological conditions of the site) shall be submitted to the Land Development Division for review. A digital (pdf) copy of the soils/geotechnical report shall be submitted to the Land Development Division.

57. Grading plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.

58. The developer shall select Low Impact Development (LID) Best Management Practices (BMPs) designed per the latest version of the Water Quality Management

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Plan (WQMP) - a guidance document for the Santa Ana region of Riverside County.

59. The developer shall pay all remaining plan check fees.
60. A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared in conformance with the State's current Construction Activities Storm Water General Permit. A copy of the current SWPPP shall be kept at the project site and be available for review upon request.
61. For projects that will result in discharges of storm water associated with construction with a soil disturbance of one or more acres of land, the developer shall submit a Notice of Intent (NOI) and obtain a Waste Discharger's Identification number (WDID#) from the State Water Quality Control Board (SWQCB) which shall be noted on the grading plans.

Prior to Grading Permit

62. A receipt showing payment of the Area Drainage Plan (ADP) fee to Riverside County Flood Control and Water Conservation District shall be submitted. [MC 9.14.100(O)]
63. For non-subdivision projects, a copy of the Covenants, Conditions and Restrictions (CC&Rs) shall be submitted for review by the City Engineer. The CC&Rs shall include, but not be limited to, access easements, reciprocal access, private and/or public utility easements as may be relevant to the project.
64. A digital (pdf) copy of all approved grading plans shall be submitted to the Land Development Division.
65. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the implementation and maintenance of erosion control measures. At least twenty-five (25) percent of the required security shall be in the form of a cash deposit with the City. [MC 8.21.160(H)]
66. Security, in the form of a cash deposit (preferable), bond or letter of credit shall be submitted as a guarantee of the completion of the grading operations for the project. [MC 8.21.070]
67. The developer shall pay all applicable inspection fees.

Prior to Occupancy

68. All outstanding fees shall be paid.

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69. All required as-built plans (prepared by a registered/licensed civil engineer) shall be submitted for review and approved by the City Engineer per the current submittal requirements.
70. The final/precise grade certification shall be submitted for review and approved by the City Engineer.
71. For commercial, industrial and multi-family projects, in compliance with Proposition 218, the developer shall agree to approve the City of Moreno Valley NPDES Regulatory Rate Schedule that is in place at the time of certificate of occupancy issuance. Under the current permit for storm water activities required as part of the National Pollutant Discharge Elimination System (NPDES) as mandated by the Federal Clean Water Act, this project is subject to the following requirements:
- a. Select one of the following options to meet the financial responsibility to provide storm water utilities services for the required continuous operation, maintenance, monitoring system evaluations and enhancements, remediation and/or replacement, all in accordance with Resolution No. 2002-46.
 - i. Participate in the mail ballot proceeding in compliance with Proposition 218, for the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule and pay all associated costs with the ballot process; or
 - ii. Establish an endowment to cover future City costs as specified in the Common Interest, Commercial, Industrial and Quasi-Public Use NPDES Regulatory Rate Schedule.
 - b. Notify the Special Districts Division of the intent to request building permits 90 days prior to their issuance and the financial option selected. The financial option selected shall be in place prior to the issuance of certificate of occupancy. [California Government Code & Municipal Code]
72. For commercial, industrial and multi-family projects, a “Stormwater Treatment Device and Control Measure Access and Maintenance Covenant” shall be recorded to provide public notice of the maintenance requirements to be implemented per the approved final project-specific WQMP. A boilerplate copy of the covenants and agreements can be obtained by contacting the Land Development Division.
73. The applicant shall ensure the following, pursuant to Section XII. I. of the 2010 NPDES Permit:
- a. Field verification that structural Site Design, Source Control and Treatment Control BMPs are designed, constructed and functional in accordance with the approved Final Water Quality Management Plan (WQMP).
 - b. Certification of best management practices (BMPs) from a state licensed civil engineer. An original WQMP BMP Certification shall be submitted for review and approved by the City Engineer.

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74. The Developer shall comply with the following water quality related items:
- a. Notify the Land Development Division prior to construction and installation of all structural BMPs so that an inspection can be performed.
 - b. Demonstrate that all structural BMPs described in the approved final project-specific WQMP have been constructed and installed in conformance with the approved plans and specifications;
 - c. Demonstrate that Developer is prepared to implement all non-structural BMPs described in the approved final project-specific WQMP; and
 - d. Demonstrate that an adequate number of copies of the approved final project-specific WQMP are available for future owners/occupants.
 - e. Clean and repair the water quality BMP's, including re-grading to approved civil drawing if necessary.
 - f. Obtain approval and complete installation of the irrigation and landscaping.

Special Districts Division

75. Major Infrastructure SFD Major Infrastructure Financing District. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for the construction and maintenance of major infrastructure improvements, which may include but is not limited to thoroughfares, bridges, and certain flood control improvements. This condition will be applicable provided said district is under development at the time this project applies for the 1st Building Permit. This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings. An alternative to satisfying this condition will be identified at such time as a special financing district has been established. At the time of development, the developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.

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76. Park Maintenance Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or fund an endowment) to provide an ongoing funding source for the continued maintenance, enhancement, and/or retrofit of parks, open spaces, linear parks, and/or trails systems.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

Alternatively, the condition can be satisfied by the Developer funding an endowment in an amount sufficient to yield an annual revenue stream that meets the annual obligation, as calculated by Special Districts Admin staff. The Developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to satisfy this condition.

77. Maintenance Services Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for the operation and maintenance of public improvements and/or services associated with impacts of the development. This condition will only be applicable provided said district is under development at the time this project applies for the 1st Building Permit.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN21-0099)

Page 15

or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

An alternative to satisfying this funding source will be identified at such time as a special financing district has been established. At the time of development, the developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.

78. Public Safety Funding. Prior to applying for the 1st Building Permit, the qualified elector (e.g. property owner) must initiate the process (i.e. pay the annexation fee or use the alternative identified at the time of the special financing district formation) to provide an ongoing funding source for Public Safety services, which may include but is not limited to Police, Fire Protection, Paramedic Services, Park Rangers, and Animal Control services. This condition will only be applicable provided said district is under development at the time this project applies for the 1st Building Permit.

This condition must be fully satisfied prior to issuance of the 1st Certificate of Occupancy. This condition will be satisfied with the successful annexation/formation (i.e. special election process) into a special financing district and payment of all costs associated with the special election process. Annexation into a special financing district requires an annual payment of the annual special tax, assessment, or fee levied against the property tax bill, or other lawful means, of the parcels of the project for such district. At the time of the public hearing to consider annexation into or formation of the district, the qualified elector(s) will not protest the annexation or formation, but will retain the right to object to any eventual tax/assessment/fee that is not equitable should the financial burden of the tax/assessment/fee not be reasonably proportionate to the benefit the affected property receives from the improvements to be installed and/or maintained or services provided. The special election requires a minimum 90-day process in compliance with the provisions of Article 13C of the California Constitution, Proposition 218, or other applicable legislation, and consistent with the scheduling for City Council meetings.

An alternative to satisfying this condition will be identified at such time as a special financing district has been established. At the time of development, the developer must contact Special Districts Administration at 951.413.3470 or at SDAdmin@moval.org to determine if this condition is applicable.

CONDITIONS OF APPROVAL

Conditional Use Permit (PEN21-0099)

Page 16

PARKS & COMMUNITY SERVICES DEPARTMENT

79. This project is subject to current Development Impact Fees.

JAN PETERSON CHILD DEVELOPMENT CENTER COURTYARD EXPANSION AT INTEGRATED CARE COMMUNITIES 26895 BRODIAEA AVENUE, MORENO VALLEY, CA

UTILITY COMPANIES	EMERGENCY NUMBERS
EASTERN MUNICIPAL WATER DISTRICT	(951) 928-3777
SOUTHERN CA EDISON	(800) 655-4555
UNDERGROUND SERVICE ALERT	(800) 422-4133

- SEE CIVIL DRAWINGS FOR ALL GRADES, SLOPES, AND SITE ELEVATIONS
- ALL REQUIRED DOOR LANDINGS TO COMPLY WITH THE DISABLED ACCESS REQUIREMENTS OF TITLE 24, FOR LANDING SIZE AND STRIKE CLEARANCE
- ALL DOORS AND EXITS TO COMPLY WITH THE REQUIREMENTS OF TITLE 24
- ROOF DRAIN DISCHARGE SHALL NOT BE ACROSS A WALKING SURFACE
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INVESTIGATE, VERIFY EXISTING CONDITIONS AND BE RESPONSIBLE FOR ALL DIMENSIONS AND ELEVATIONS, AND CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT REGARDING ANY CONDITION REQUIRING CHANGE OR MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR MUST CONFORM AND COORDINATE TO FACILITY REQUIREMENTS AS TO EXACT TIME WHEN UTILITIES/SERVICES WILL BE INTERRUPTED DURING CONSTRUCTION; SUCH INTERRUPTION TO OPERATIONS SHALL BE MINIMIZED TO EXTENT POSSIBLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATED ALL EXISTING UTILITIES WHETHER SHOWN HEREON OF NOT AND TO PROTECT THE FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENTS OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK

SYMBOL & HATCH LEGEND

SYMBOL	IMPROVEMENT TYPE - LEGEND NUMBER
ST-1	NEW AC PAVING
[Hatched]	EXISTING AC PAVING - GRIND & OVERLAY
[Dotted]	NEW CONCRETE PAVING
[Cross-hatched]	NEW STABILIZED D.G.
[Blue Dotted]	NEW RUBBERIZED PLAY SURFACING
[Grey Dotted]	EXISTING CONCRETE PAVING

LINETYPE LEGEND

LINETYPE	DESCRIPTION
[Solid Line]	PROJECT BOUNDARY
[Dashed Line]	PROPERTY LINE
[Dotted Line]	STREET CENTER LINE
[Dash-dot Line]	STREET RIGHT OF WAY
[Line with X's]	EXISTING FENCE
[Line with Circles]	PROPOSED FENCE
[Dashed Line with Circles]	EXISTING CURB
[Dashed Line with Squares]	PROPOSED CURB
[Line with Stars]	LIMIT OF WORK

SITE DATA

ADDRESS	26895 BRODIAEA AVENUE MORENO CALLEY, CA 92555
ASSESSOR'S PARCEL NUMBERS	486-280-039, 486-280-046, 486-280-048
EXISTING/PROPOSED LAND USE	COMMERCIAL
FEMA FLOOD ZONE DESIGNATION	NOT IN A FLOOD ZONE
TOTAL GROSS ACREAGE	4.93 ACRES
TOTAL NET ACREAGE	0.64 ACRES
PROJECT AREA	27,874 S.F.
EXISTING PARKING	1,863 S.F.
NEW PARKING	5,788 S.F.
EXISTING CONCRETE	1,240 S.F.
NEW CONCRETE	1,876 S.F.
RUBBERIZED PLAY SURFACING	952 S.F.
EXISTING LANDSCAPE	758 S.F.
NEW LANDSCAPE	7,135 S.F.
OPEN SPACE TURF	4,720 S.F.
D.G.	1,433 S.F.

BUILDING DATA

BUILDING TYPE	TYPE V, 1 STORY
OCCUPANCY	EDUCATIONAL
BUILDING AREA	1,460 S.F.

PARKING DATA

PARKING REQUIRED FOR NEW BUILDING	5 SPACES
PARKING REQUIRED FOR EXISTING BUILDING	29 SPACES
TOTAL PARKING REQUIRED	34 SPACES
EXISTING PARKING	45 SPACES
ADDITIONAL PROPOSED PARKING	13 SPACES
TOTAL PARKING PROVIDED	58
ADA PARKING	4

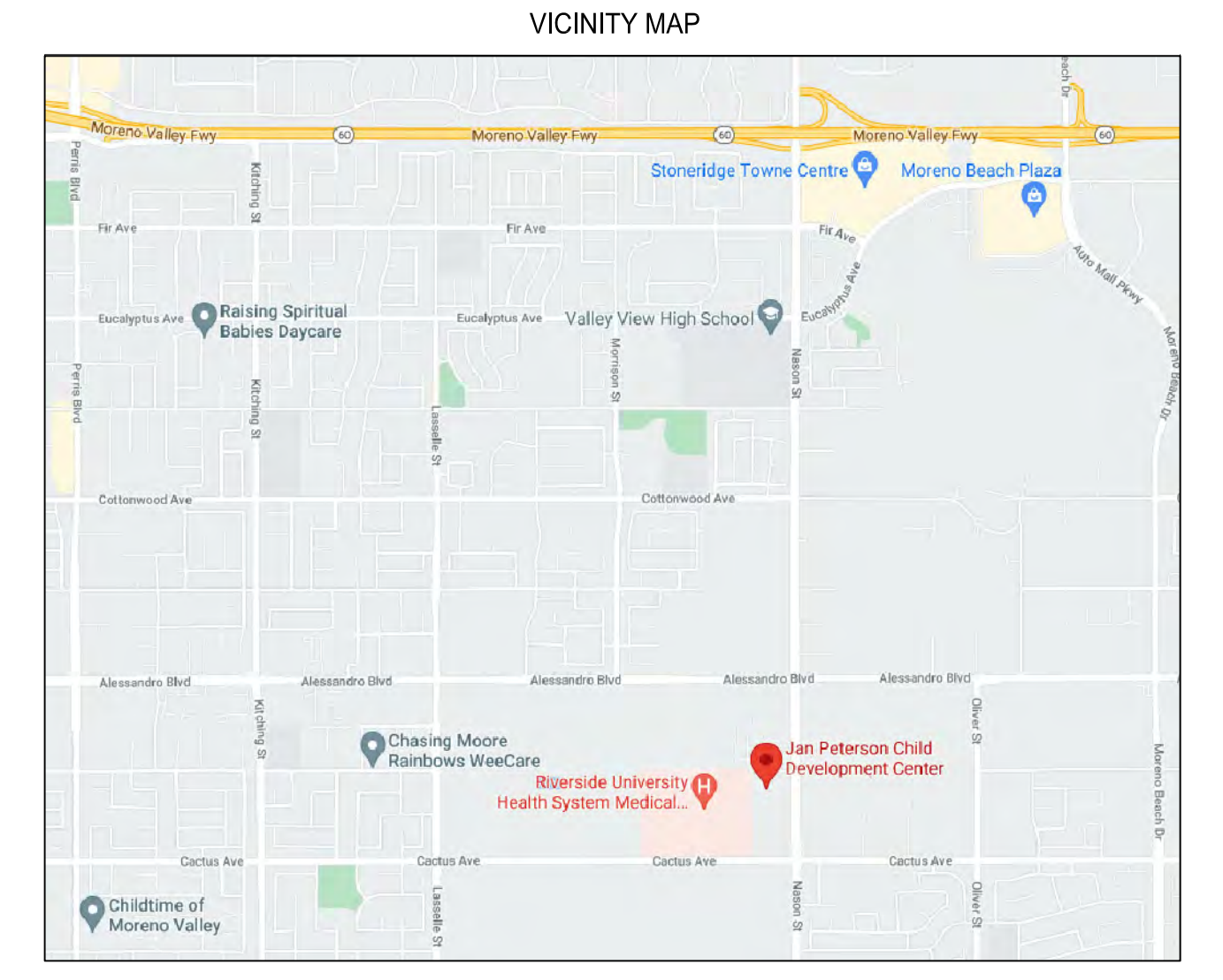
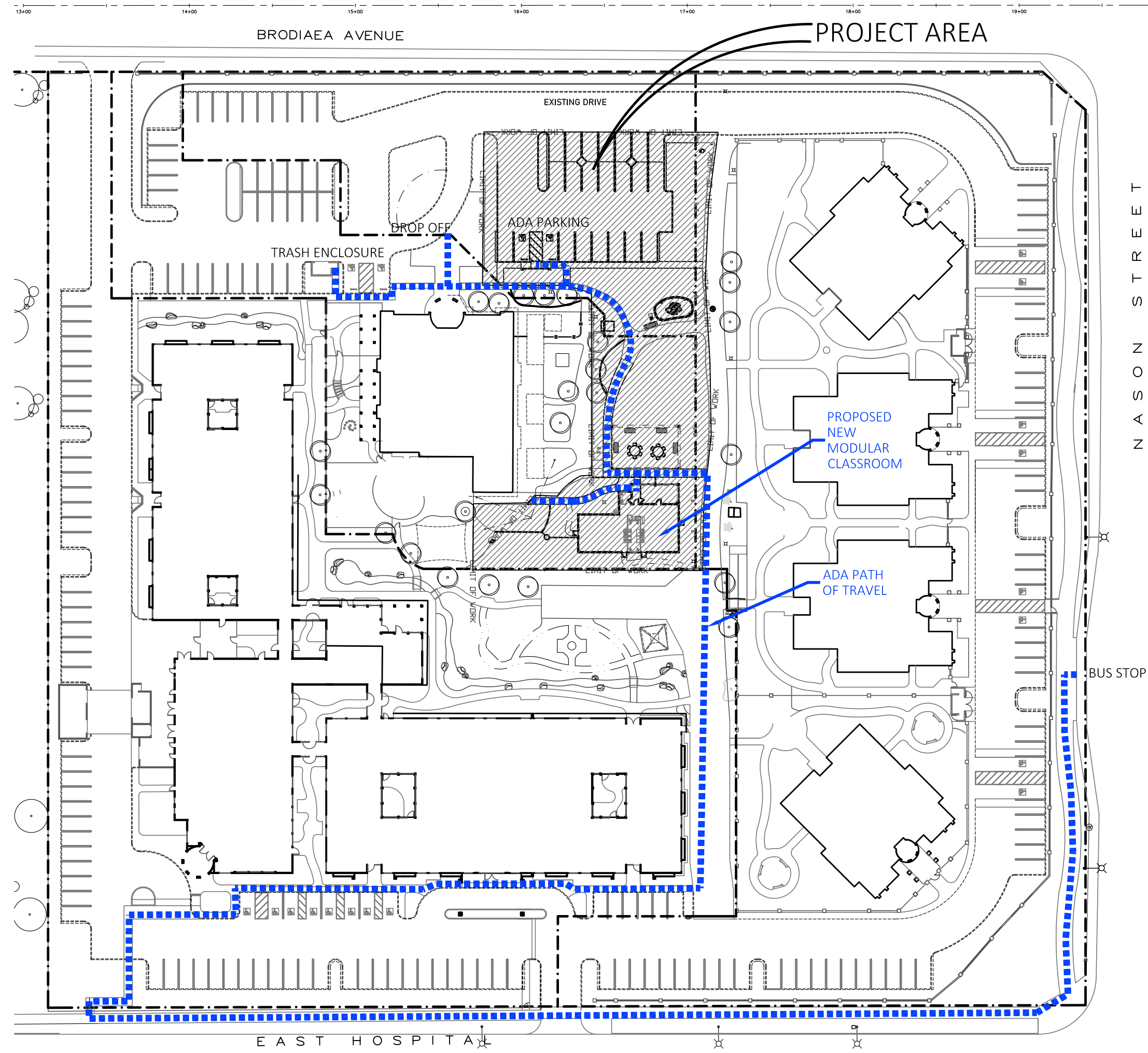
OWNER/DEVELOPER/APPLICANT:
INTEGRATED CARE COMMUNITIES
11751 DAVIS STREET
MORENO VALLEY, CA 92557
951-243-3837
CONTACT: PHIL SAUCEDO
EMAIL: psaucedo@icare.bz

PLAN PREPARER:
COMMUNITY WORKS DESIGN GROUP
4649 BROCKTON AVENUE
RIVERSIDE, CA 92506
951-369-0700
CONTACT: KAY KITE
EMAIL: kay@cwdg.fun

CIVIL ENGINEER:
ADKAN ENGINEERING
6879 AIRPORT DRIVE
RIVERSIDE, CA 92504
951-688-0241
CONTACT: BRYAN INGERSALL
CONTACT: Blngersoll@adkan.com

ELECTRICAL ENGINEER:
RASC ENGINEERING INC.
12941 RILEY COURT
RANCHO CUCAMONGA, CA 91739
909-609-1888
CONTACT: JOE ROGOWICZ
CONTACT: joe@rasceng.com

THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS, FOR CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES, AND POLICIES.



SHEET INDEX	
DESCRIPTION	SHEET No
TITLE SHEET	T-1
SITE PLAN	S-1
PRELIMINARY GRADING	G-1
PRELIMINARY GRADING	G-2
FLOOR PLAN	A-1
ELEVATIONS	A-2
PRELIMINARY LANDSCAPE	L-1

SCOPE OF WORK:

INSTALL NEW 2-ROOM MODULAR CLASSROOM ON CURRENTLY UNDEVELOPED PORTION OF INTEGRATED CARE COMMUNITIES CAMPUS WITH EXPANDED PARKING AREA FOR EVENT PARKING, TURF GATHERING SPACE FOR PHYSICAL ACTIVITIES AND GATHERINGS, FABRIC SHADE STRUCTURE FOR OUTDOOR GATHERINGS, ADDITIONAL WALKWAY CONNECTIONS, SITE LIGHTING, WATER FEATURE AND ENHANCED LANDSCAPE.

LEGAL DESCRIPTION:

PARCEL 2, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, AS PER PARCEL MAP 297000 RECORDED IN BOOK 195, PAGE 96 INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

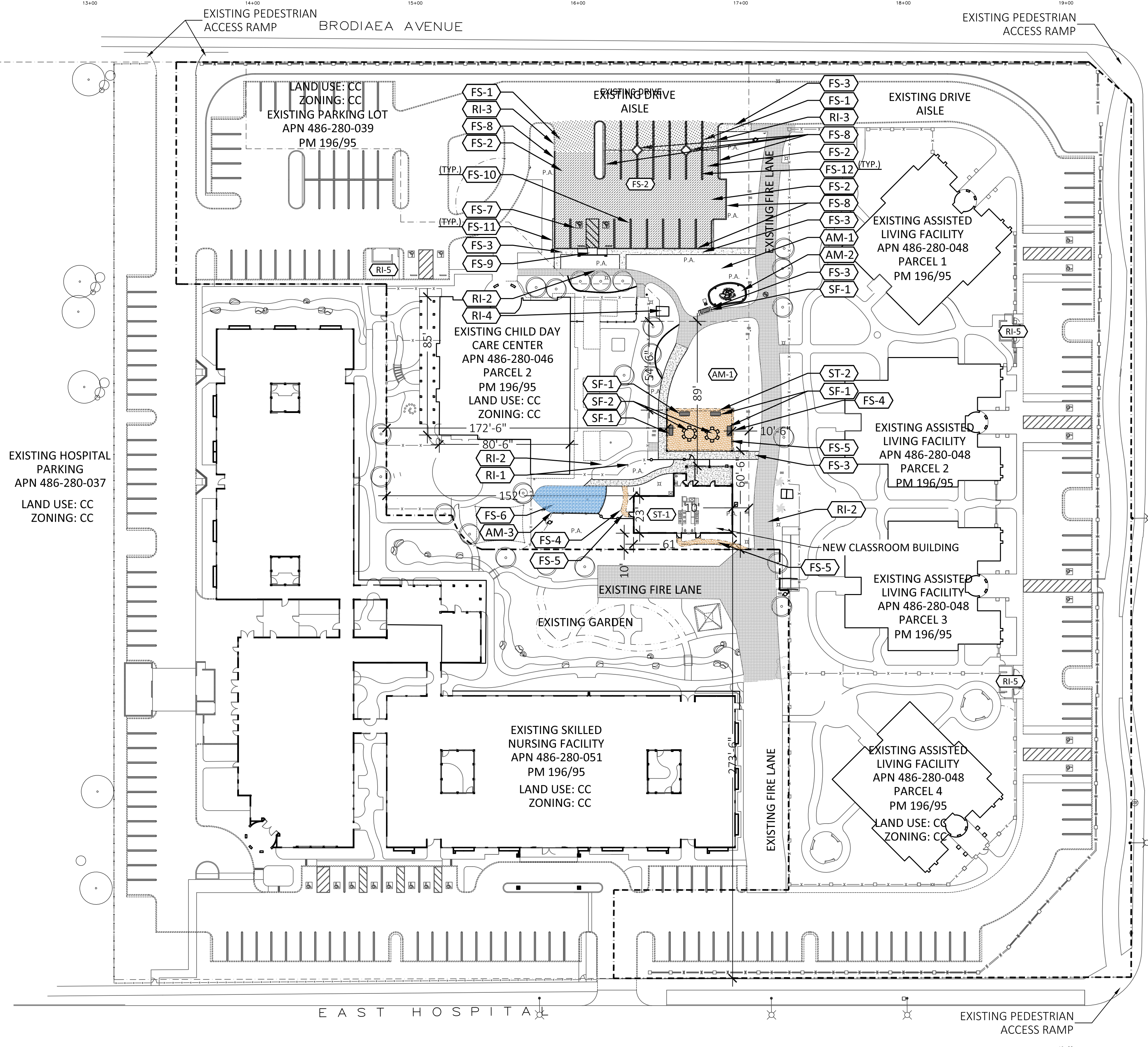
REVIEW BY CITY STAFF	BENCHMARK	BASIS OF BEARING					CITY OF MORENO VALLEY			COMMUNITY WORKS DESIGN GROUP LANDSCAPE ARCHITECTURE 4649 Brockton Avenue Riverside, CA 92506 (951) 369-0700 www.cwdg.fun	CITY OF MORENO VALLEY													
<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC</th> <th>APPR</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>EOR</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>						MARK	DATE				INITIAL	DESCRIPTION	REC	APPR	DATE			EOR	REVISION				ACCEPTED BY:	UNDER THE SUPERVISION OF: SCOTT J. RICE BLA 5111
MARK	DATE	INITIAL	DESCRIPTION	REC	APPR	DATE																		
		EOR	REVISION																					

LAND USE: R/O; ZONING: OC
EXISTING RESIDENTIAL
APN 486-270-011

LAND USE: R/O; ZONING: OC
EXISTING RESIDENTIAL
APN 486-270-010

LAND USE: R/O; ZONING: OC
EXISTING RESIDENTIAL
APN 486-270-020

LAND USE: CC
ZONING: CC



EXISTING HOSPITAL
PARKING
APN 486-280-037
LAND USE: CC
ZONING: CC

EXISTING PEDESTRIAN
ACCESS RAMP
BRODIAEA AVENUE

EXISTING PEDESTRIAN
ACCESS RAMP

EXISTING MEDICAL
OFFICES PARKING
APN 486-280-034

EXISTING MEDICAL
OFFICES
APN 486-280-034

SITE PLAN NOTES:

DESCRIPTION	QTY.
-------------	------

STRUCTURES

ST-1	PROPOSED NEW CLASSROOM BUILDING (1,420 S.F.)	1
ST-2	PROPOSED 40'X25' FABRIC SHADE SHELTER (1,000 S.F.)	1

FINISHED SURFACES

FS-1	PROPOSED 4" AC PAVING OVER 6" AGGREGATE BASE OVER COMPACTED SUBGRADE	5,860 S.F.
FS-2	PROPOSED GRIND & OVERLAY EXISTING PARKING STALLS	1,720 S.F.
FS-3	PROPOSED 4" NATURAL GRAY CONCRETE FLATWORK WITH MEDIUM BROOM FINISH. JOIN FLUSH TO ADJACENT PAVING WHERE OCCURS	1,990 S.F.
FS-4	PROPOSED ALUMINUM EDGING	190 L.F.
FS-5	PROPOSED STABILIZED DECOMPOSED GRANITE 3" THICK, COLOR: CALIFORNIA GOLD	12 C.Y.
FS-6	PROPOSED RUBBERIZED PLAY SURFACE OVER 3" CONCRETE BASE	655 S.F.
FS-7	PROPOSED ADA PARKING STALLS, STRIPING, AND SIGNAGE	1
FS-8	PROPOSED 6" CONCRETE CURB	412 L.F.
FS-9	PROPOSED ADA RAMP	1
FS-10	PROPOSED PARKING SPACE STRIPING PER CITY OF MORENO VALLEY STANDARDS	1
FS-11	PROPOSED 12" WIDE CONCRETE MAINTENANCE BAND	-

AMENITIES

DESCRIPTION	QTY.	
AM-1	TURF GATHERING AND ACTIVITY AREA	4,720 S.F.
AM-2	PROPOSED RECIRCULATING WATER FEATURE	1
AM-3	NEW PLAY STRUCTURE	1

FURNISHINGS

SF-1	NEW BENCH	8
SF-2	NEW CAFE TABLE	2

REFERENCE ITEMS

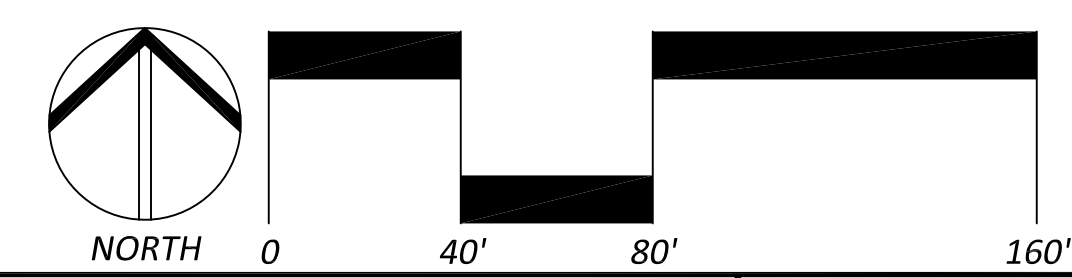
RI-1	EXISTING CHILD CARE FENCE TO REMAIN, PROTECT IN PLACE. CONTRACTOR TO REPLACE ANY FENCE PANELS DAMAGED BY CONSTRUCTION ACTIVITIES WITH MATCHING TUBULAR STEEL FENCE
RI-2	EXISTING CONCRETE TO REMAIN, PROTECT IN PLACE. CONTRACTOR TO REPLACE ANY PANELS IN WHOLE DAMAGED BY CONSTRUCTION ACTIVITIES
RI-3	EXISTING PARKING LOT CURB TO REMAIN, PROTECT IN PLACE. CONTRACTOR TO REPLACE ANY SECTIONS DAMAGED BY CONSTRUCTION ACTIVITIES
RI-4	EXISTING TRANSFORMER TO REMAIN, PROTECT IN PLACE
RI-5	EXISTING TRASH ENCLOSURE TO REMAIN, PROTECT IN PLACE

NOTES: P.A. = PLANTER AREA

ALL EXISTING BUILDINGS TO REMAIN IN PLACE

VACANT
APN 486-290-038
LAND USE: R/O
ZONING: 0

N A S O N S T R E E T



REVIEW BY CITY STAFF	BENCHMARK	BASIS OF BEARING	CITY OF MORENO VALLEY			
			ACCEPTED BY:			
MARK	DATE	INITIAL	DESCRIPTION	REC	APPR	DATE
			REVISION			

COMMUNITY WORKS DESIGN GROUP
LANDSCAPE ARCHITECTURE
4649 Brockton Avenue
Riverside, CA 92506
(951) 369-0700 | www.cwdg.fun

UNDER THE SUPERVISION OF:
Scott J. Rice
SCOTT J. RICE
RLA 5111

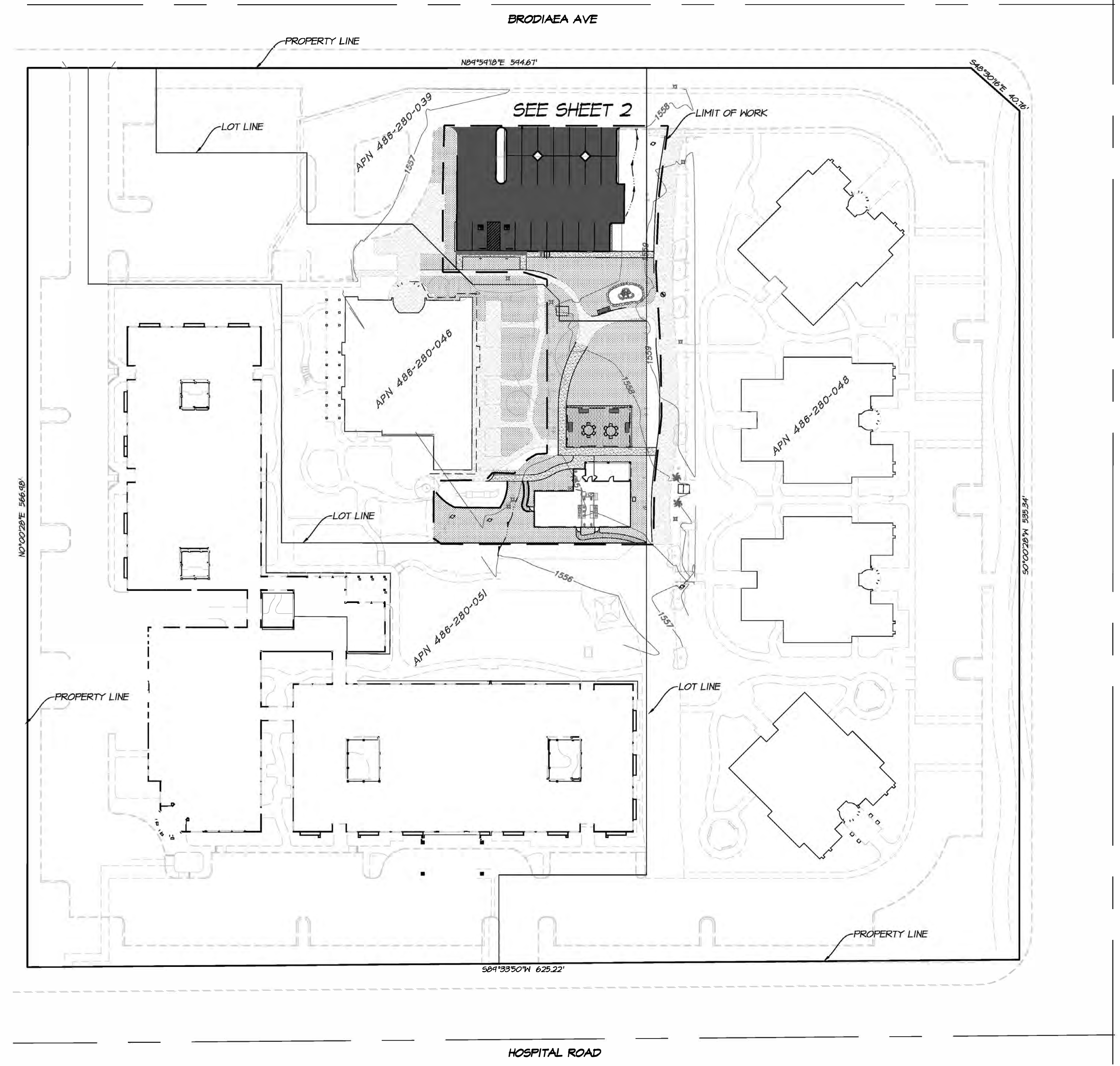
5/10/22
DATE

CITY OF MORENO VALLEY

CUP AMENDMENT
JAN PETERSON CHILD DEVELOPMENT
CENTER COURTYARD EXPANSION
SITE PLAN

S-1
SHEET 2 OF 7
CITY ID No

IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
GRADING PLAN
INTEGRATED CARE COMMUNITIES
14315 NASON STREET



OWNER
 JAN PETERSON CHILD DAY CARE INC
 INTEGRATED CARE COMMUNITIES INC
 11751 DAVIS STREET
 MORENO VALLEY, CA 92557

APPLICANT
 COMMUNITY WORKS DESIGN GROUP
 4644 BROCKTON AVENUE
 RIVERSIDE, CA 92506
 951-369-0700

ENGINEER
adkan ENGINEERS
 6879 AIRPORT DR.
 RIVERSIDE, CA 92504
 951-688-0241

ASSESSORS PARCEL NUMBERS
 486-280-039, 486-280-046,
 486-280-048

PROJECT SUMMARY
 DISTURBED AREA: 0.64 ACRES
 TOTAL PARKING PROVIDED: 23 SPACES
 ADA PARKING PROVIDED: 2 SPACES
 REGULAR PARKING PROVIDED: 21 SPACES

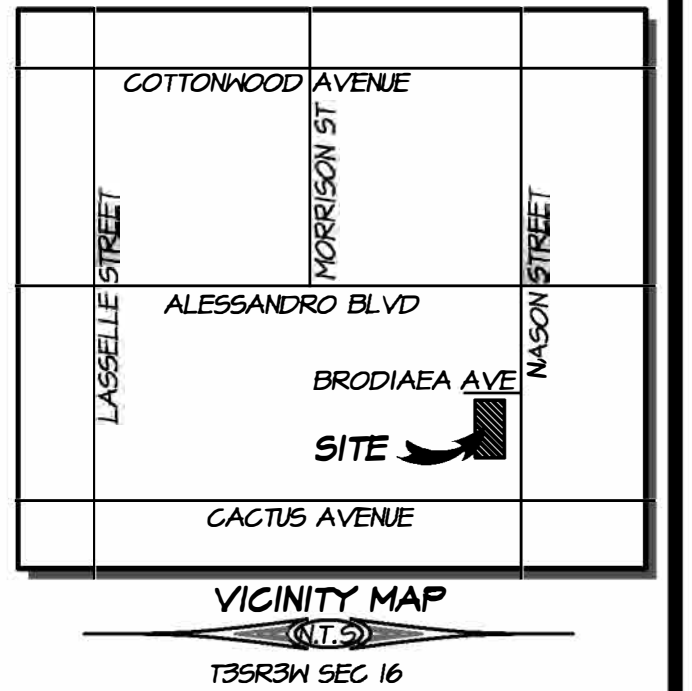
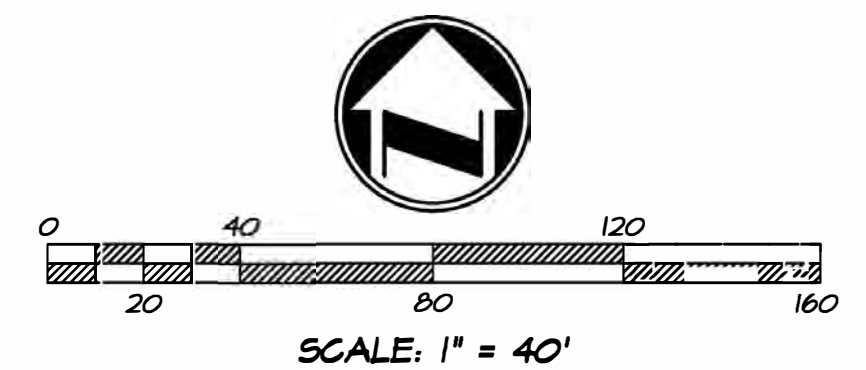
BENCHMARK
 TEMPORARY BENCHMARK LOCATED IN THE TOP OF CURB SET BY ADKAN ENGINEERS IN THE SOUTHWEST CORNER OF THE INTERSECTION OF CACTUS AVENUE AND PERRIS BOULEVARD.
 ELEVATION=1557.53
 DATUM=NGVD29

EARTHWORK RAW QUANTITIES
 THE QUANTITIES SHOWN BELOW ARE FOR DISCUSSION PURPOSES ONLY. SHRINKAGE, SUBSIDENCE, AND SURFACE LOSS FACTORS ARE NOT INCLUDED.
 CUT: 349 CY FILL: 134 CY NET: 265 CY CUT

LEGEND

TC	TOP OF CURB	N.T.S.	NOT TO SCALE
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISHED SURFACE	TF	TOP OF FOOTING
CL	CENTERLINE	FE	FINISHED ELEVATION
FG	FINISHED GROUND	PROP.	PROPOSED
HP	HIGH POINT	EX.	EXISTING
LP	LOW POINT	SW	SIDEWALK
O.S.	OPEN SPACE	C&G	CURB & GUTTER
TYF	TYPICAL	RM	RIGHT OF WAY
DWY	DRIVEWAY	T.E.	TRASH ENCLOSURE

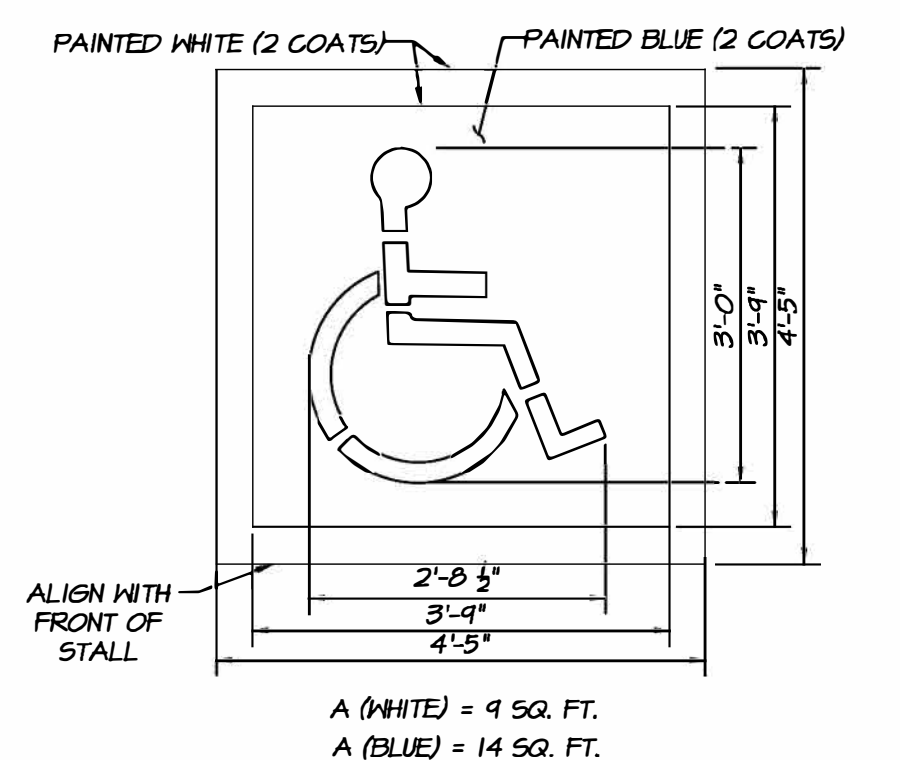
CENTERLINE	—————
RIGHT OF WAY	—————
PROPERTY LINE	—————
PROJECT BOUNDARY	—————
MAJOR EX. CONTOUR	—————
MINOR EX. CONTOUR	—————
LIMIT OF WORK	—————
FLOW LINE	—————
EX. CURB & GUTTER	—————
PROP. CURB & GUTTER	—————
PROP. ASPHALT	—————
PROP. CONCRETE	—————
PROP. D.G.	—————



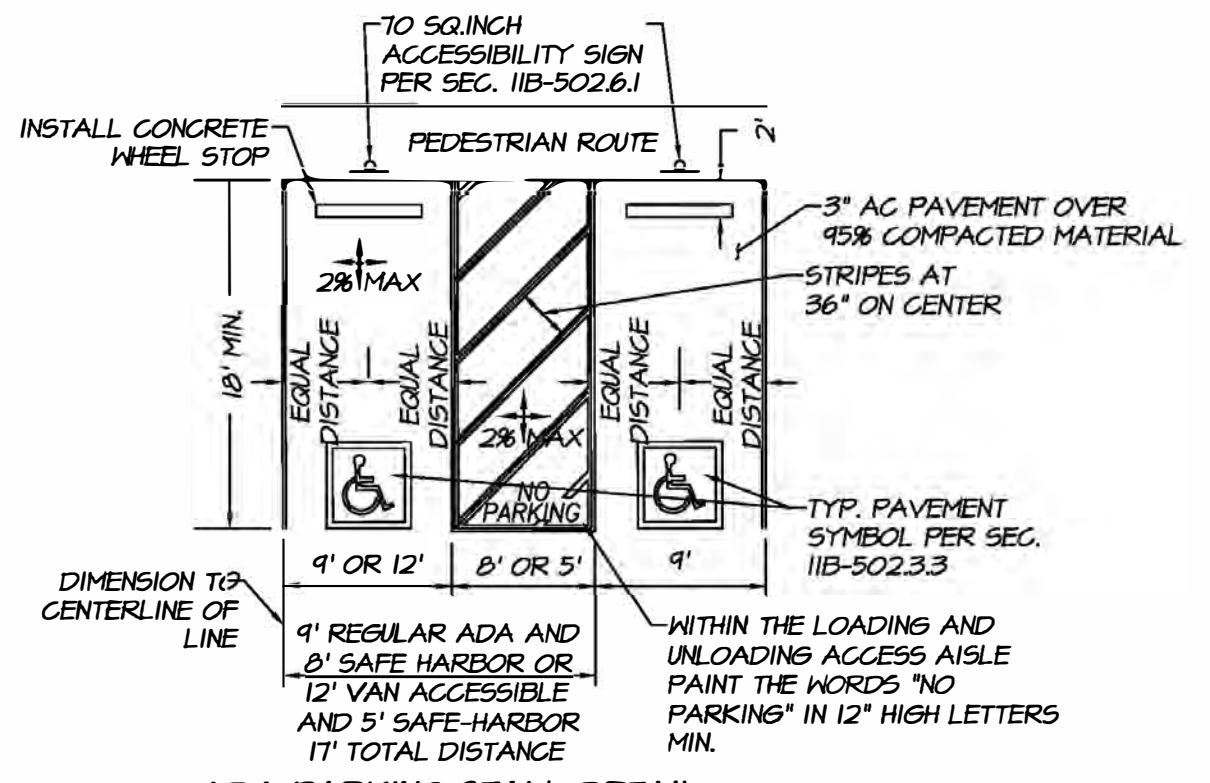
SHEET INDEX
 SHEET 1: TITLE SHEET
 SHEET 2: CONCEPTUAL GRADING

REVIEW BY CITY STAFF	BENCHMARK	BASIS OF BEARING	CITY OF MORENO VALLEY						
	TEMPORARY BENCHMARK LOCATED IN THE TOP OF CURB SET BY ADKAN ENGINEERS IN THE SOUTHWEST CORNER OF THE INTERSECTION OF CACTUS AVENUE AND PERRIS BOULEVARD. ELEVATION=1557.53 DATUM=NGVD29	CENTERLINE OF BRODIAEA AVENUE AT N89°59'18"E.	ACCEPTED BY:						
			MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR.	DATE
					EOR	REVISION			

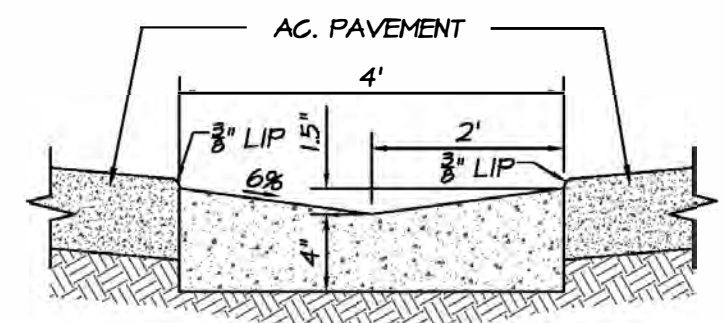
	PLANS PREPARED BY: adkan ENGINEERS Civil Engineering - Surveying - Planning 6879 Airport Drive, Riverside, CA 92504 Tel:(951) 688-0241 - Fax:(951) 688-0599 Under the Supervision of: Richard Dail Reeves, R.C.E. 80614 Exp. 03.31.23 Date:	CITY OF MORENO VALLEY CUP AMENDMENT JAN PETERSON CHILD DEVELOPMENT CENTER COURTYARD EXPANSION SITE PLAN		G-1 SHEET 1 OF 2 CITY ID No
		CITY OF MORENO VALLEY		



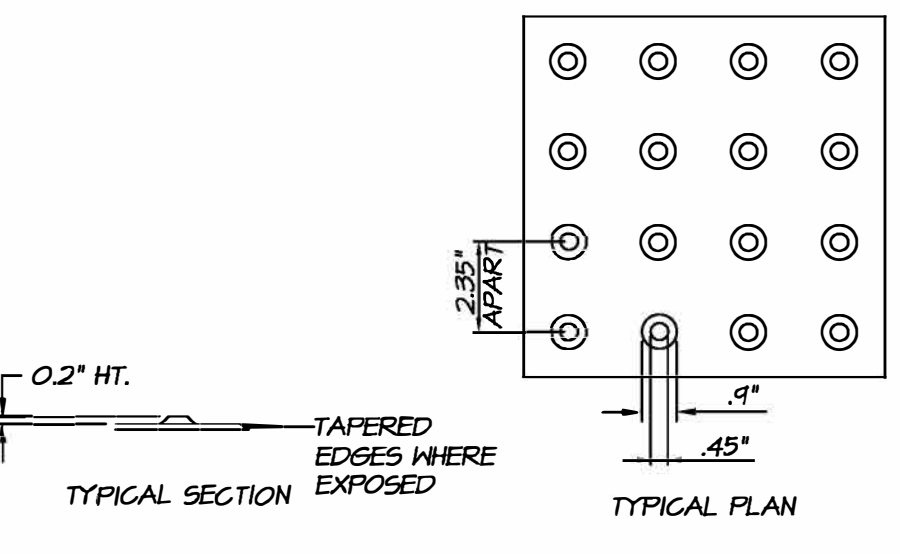
INTERNATIONAL SYMBOL OF ACCESSIBILITY MARKING
NTS



ADA PARKING STALL DETAIL
NTS
PER CBC 2019 SECTION 11B-502



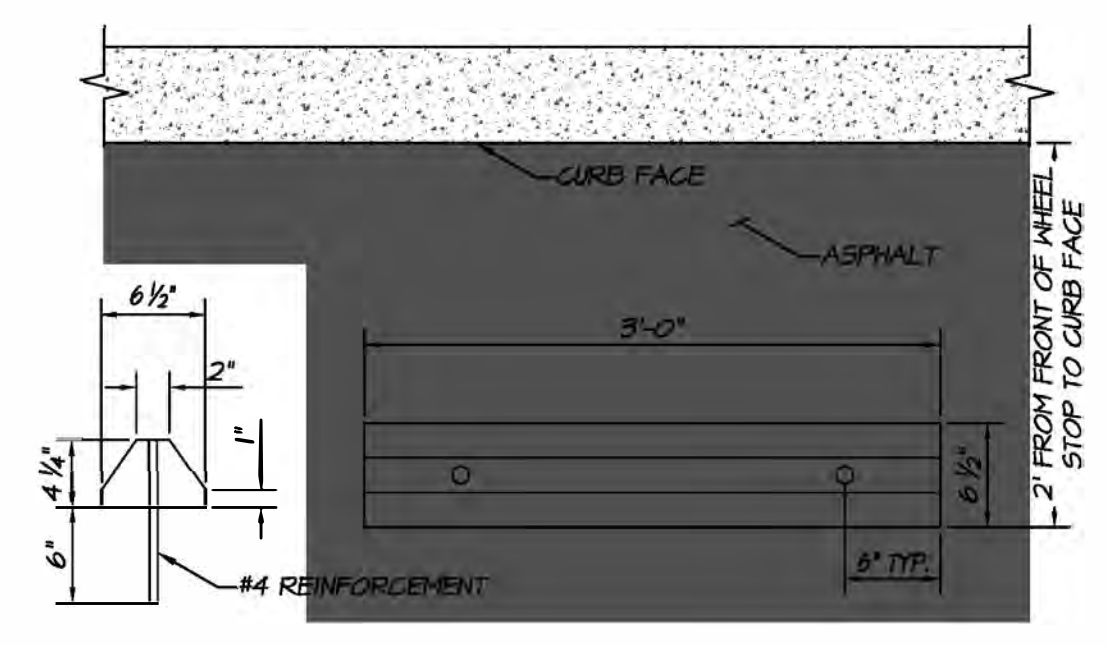
VALLEY GUTTER DETAIL
NTS



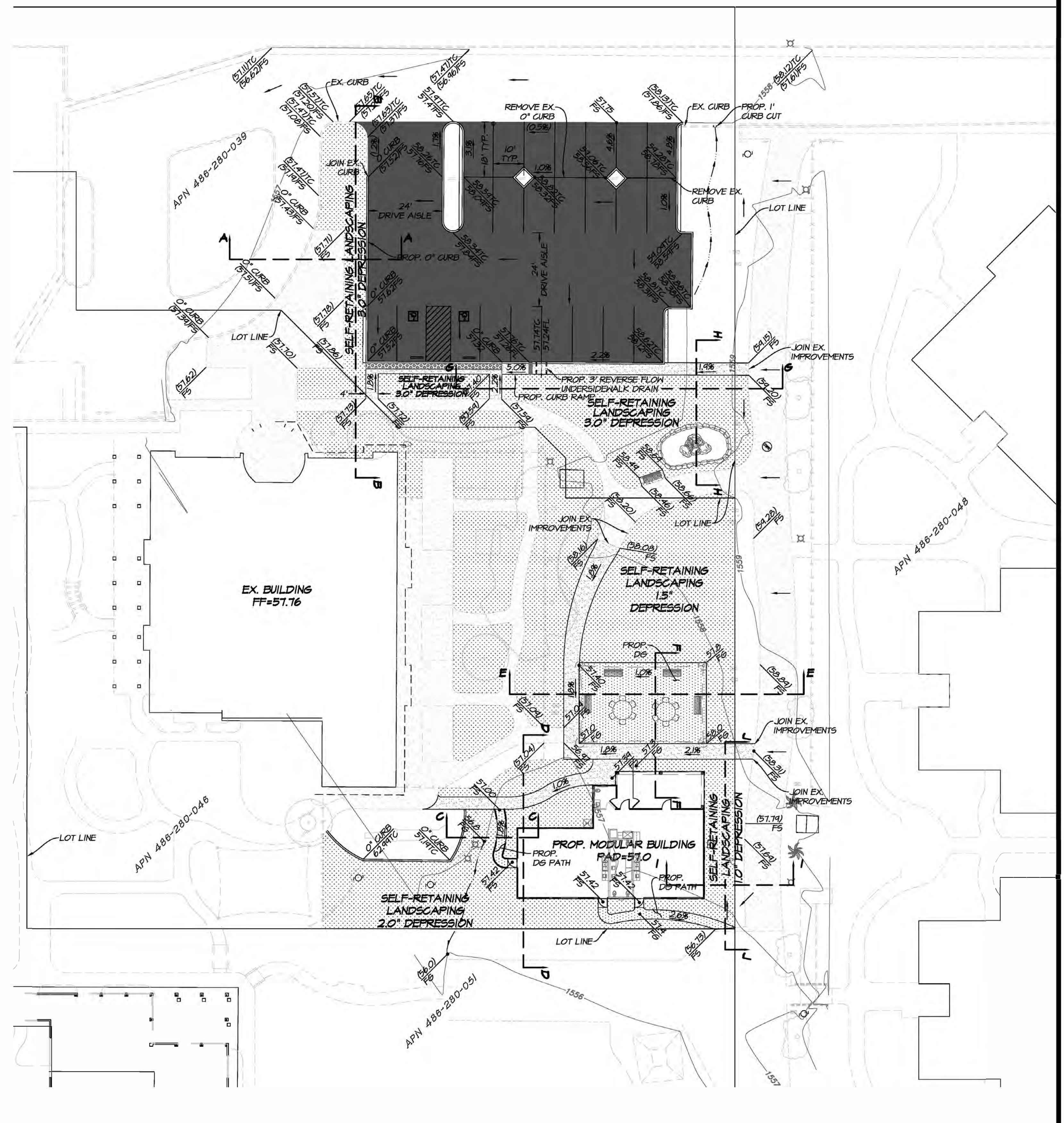
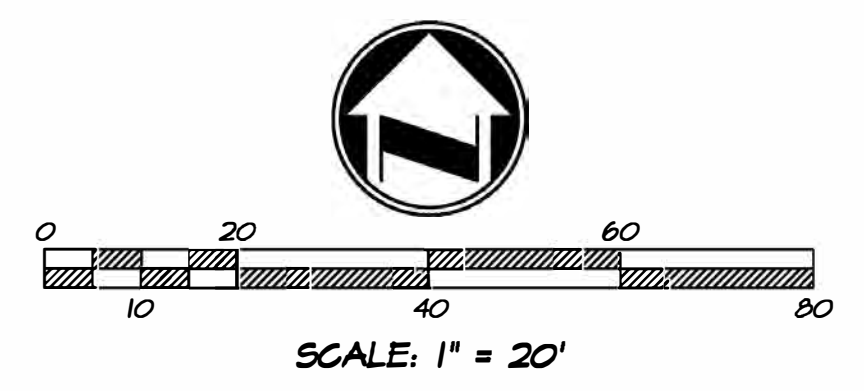
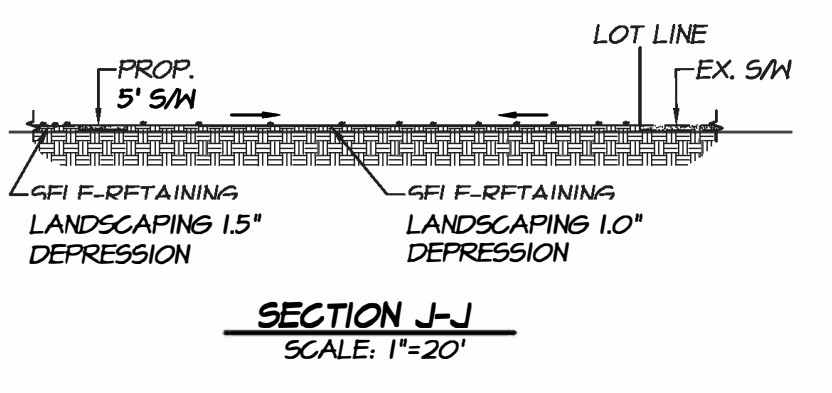
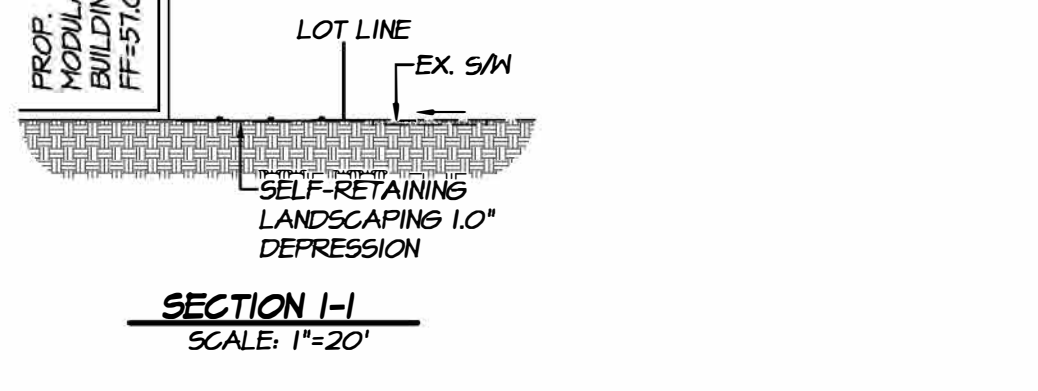
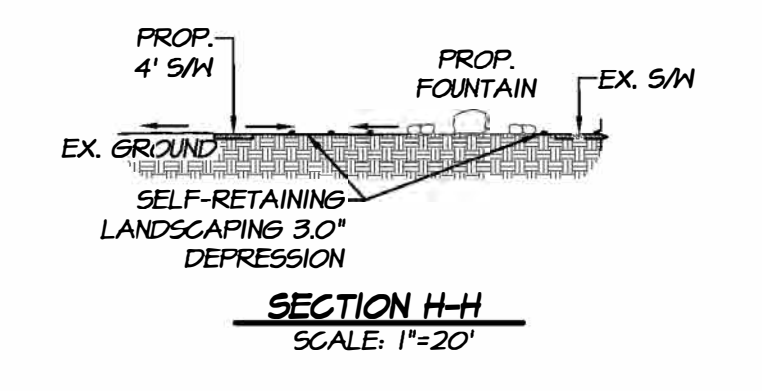
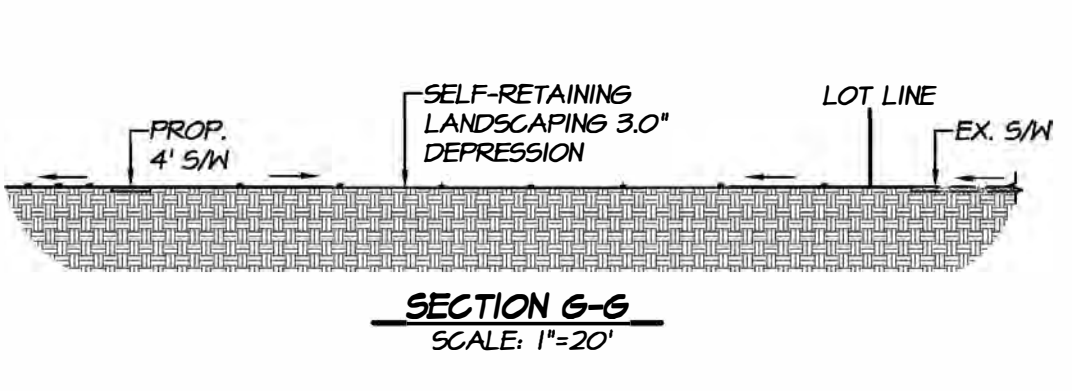
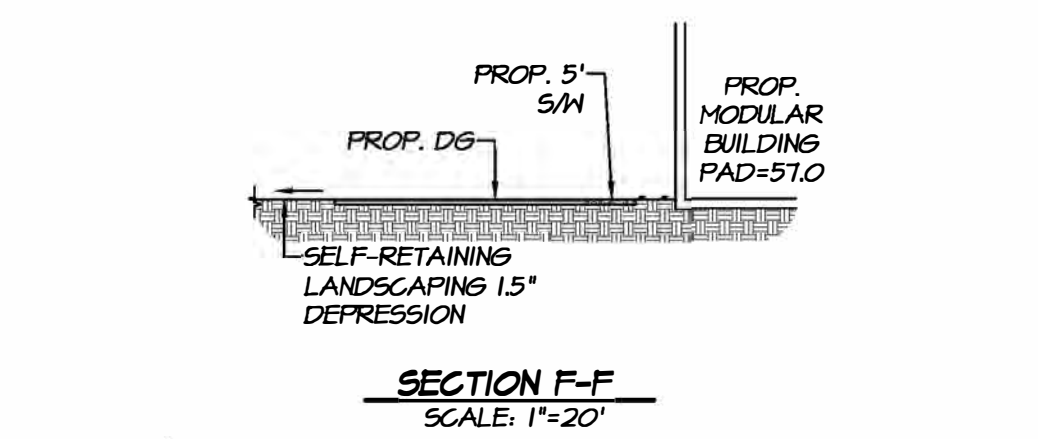
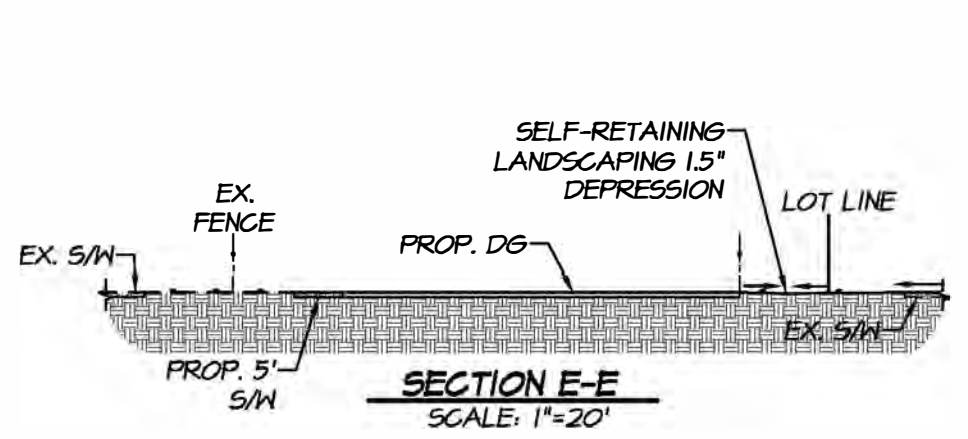
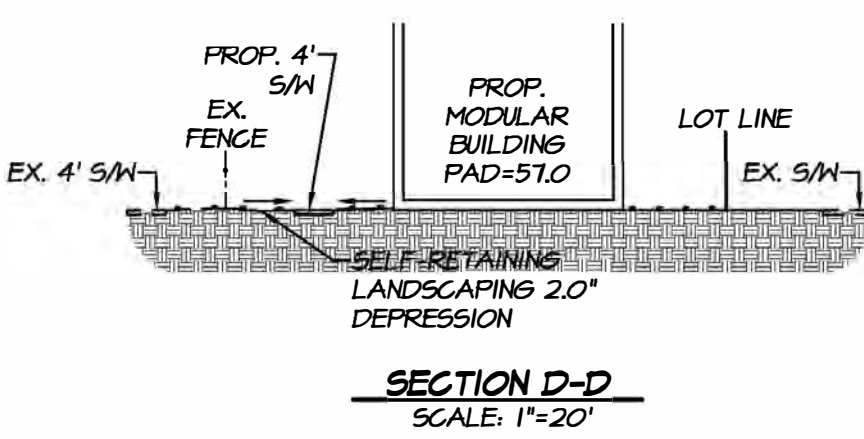
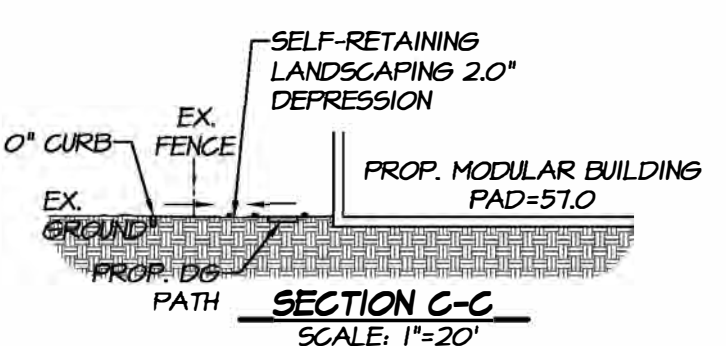
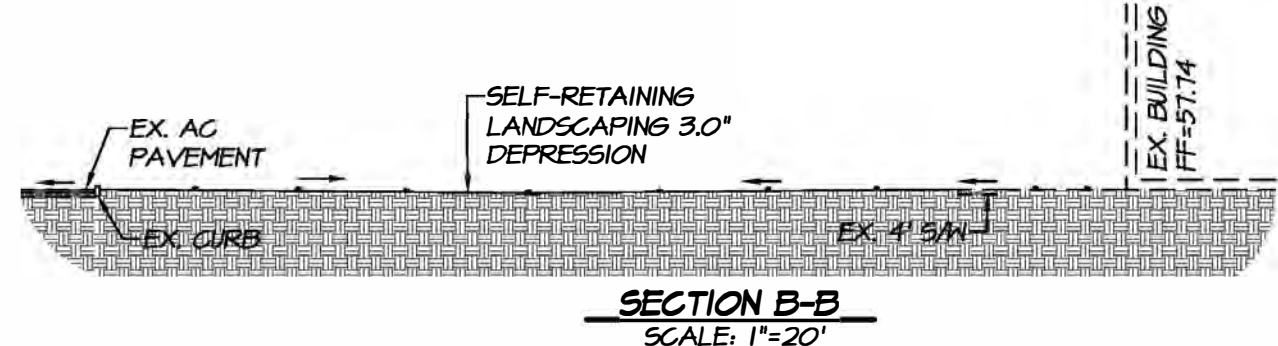
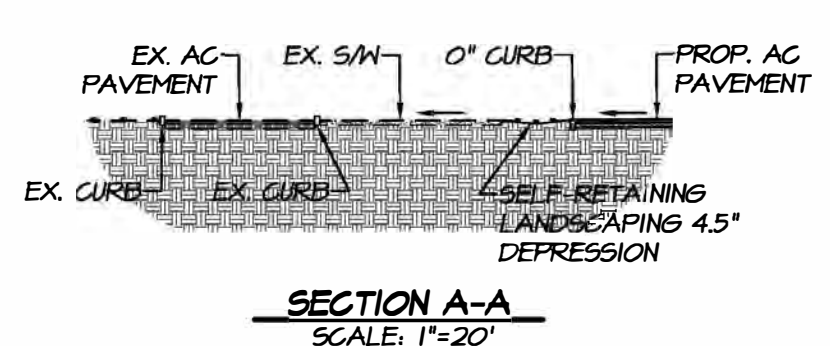
TRUNCATED DOME DETAIL
NTS

REFER TO SECTION 11B-105 OF CBC 2019

NOTE: DETECTABLE WARNING SURFACES BY ARMOR TILE OR APPROVED EQUAL, CAST IN PLACE.



WHEEL STOP DETAIL
NTS



REVIEW BY CITY STAFF

BENCHMARK

BASIS OF BEARING

TEMPORARY BENCHMARK LOCATED IN THE TOP OF CURB SET BY ADKAN ENGINEERS IN THE SOUTHWEST CORNER OF THE INTERSECTION OF CACTUS AVENUE AND PERRIS BOULEVARD. ELEVATION=1557.53 DATUM=NGVD29

CENTERLINE OF BRODIAEA AVENUE AT N89°59'18".

MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR.	DATE
		EOR	REVISION			

CITY OF MORENO VALLEY

ACCEPTED BY:



PLANS PREPARED BY:

adkan ENGINEERS

Civil Engineering - Surveying - Planning

6879 Airport Drive, Riverside, CA 92504
Tel:(951) 688-0241 Fax:(951) 688-0599

Under the Supervision of:
Richard Dail Reyes, P.E. No. 80614 Exp. 03/31/2023 Date:

CITY OF MORENO VALLEY

CUP AMENDMENT
JAN PETERSON CHILD DEVELOPMENT
CENTER COURTYARD EXPANSION
SITE PLAN

G-2
SHEET 2 OF 2
CITY ID No

FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	OCCUPANCY	AREA SQ.FT.	OCCUPANT LOAD	WALLS	FLOOR	BASE	CEILING	WALL & CEILING FINISH
100	LOBBY	B	314	3	GYP.	TILE	6" WD.	GYP.	LEVEL 4 FINISH - PAINTED PER OWNER
101	TODDLER CLASSROOM	E	650	18	GYP.	CARPET	6" WD.	GYP.	LEVEL 4 FINISH - PAINTED PER OWNER
102	PRE-SCHOOL CLASSROOM	E	659	18	GYP.	CARPET	6" WD.	GYP.	LEVEL 4 FINISH - PAINTED PER OWNER
103	UNI-SEX RESTROOM	B	104	4	GYP./TILE	VYNIL	6" WD.	GYP.	LEVEL 4 FINISH - PAINTED PER OWNER
104	UNI-SEX RESTROOM	B	53	1	GYP./TILE	VYNIL	6" WD.	T-BAR	LEVEL 4 FINISH - PAINTED PER OWNER
105	TODDLER PLAY AREA	B	280	4	STUCCO	CONCRETE		STUCCO	STUCCO
106	ENTRY	B	240	12	STUCCO	CONCRETE		STUCCO	STUCCO

TOTAL OCCUPANCY LOAD = 78

FINISH SCHEDULE NOTES

- BASE: TO BE SELECTED BY OWNER.
- CABINETS: TO BE SELECTED BY OWNER. COUNTERTOPS: TO BE SELECTED BY OWNER.
- FLOORING TO BE SELECTED BY OWNER.
- WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN C.B.C. TABLE 803.9
- INTERIOR FINISH TO COMPLY WITH SEC. 803.1.

FINISH LEGEND

CONC. CONCRETE	P. PAINT
GYP. GYPSUMBOARD	WD. WOOD
MTL. METAL	PVC PVC PANEL
N-S NON-SKID	

DOOR SCHEDULE									
#	DOOR NUMBER	WIDTH	HEIGHT	DOOR THK.	MATERIAL	FINISH	FRAME		REMARKS
							MATERIAL	FINISH	
	100	3'-0"	7'-0"	1-3/4"	MTL.	P.	MTL.	P.	
	101	3'-0"	7'-0"	1-3/4"	AL	AN.	AL.	N/A	TEMPERED GLASS
	102	3'-0"	7'-0"	1-3/4"	HC	P.	WD.	P.	
	102	3'-0"	6'-0"	2"	WROUGHT IRON	P.	WROUGHT IRON	P.	

DOOR SCHEDULE NOTES

- DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPLETE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY.
- DOOR SIZES SHOWN ARE THE PROPOSED DOOR WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/ OWNER TO REVIEW AND APPROVE.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. EXCEPTION IS FOR SMALL DECORATIVE GLASS OR SANDWICHED BETWEEN TEMPERED LAYERS. INSTALLATION IS PER C.B.C.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL DOORS PROVIDED FOR EGRESS PURPOSES SHALL COMPLY WITH C.B.C. SECTION 1008.
- ALL DOORS WILL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT C.B.C. 1008.1.9.
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHER-STRIPPED.
- HANDICAPPED ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH C.B.C. CHAPTER 11B.
- ALL HAND ACTIVATED DOOR OPENING HARDWARE REQUIRED FOR EXITING SHALL BE LEVER TYPE PER C.B.C. 1133.B.2.5.2. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR INTERIOR AND EXTERIOR DOORS PER C.B.C. 1133.B.2.5. THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE OF THE DOOR TO BE OPENED WITH A WHEELCHAIR FOOTREST WITHOUT A TRAP OR CONDITION PER C.B.C. 1133.B.2.6.

DOOR LEGEND									
AL	ALUMINUM & GLASS ANODIZED ALUMINUM	HC	HOLLOW CORE AN	AN	ANODIZED ALUMINUM				
MTL	METAL								
P	PAIN - COLOR BY OWNER								

WINDOW SCHEDULE									
#	WINDOW NUMBER	WIDTH	HEIGHT	TYPE	TEMP. GL.	MATERIAL	FINISH	REMARKS	
	200	5'-0"	6'-0"	SL	N/A	VYNIL	WHITE	-	
	201	4'-0"	6'-0"	SL	N/A	VYNIL	WHITE	-	

WINDOW SCHEDULE NOTES

- WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL REVIEW AND COMPLETE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF WINDOWS WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED WINDOW SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY.
- WINDOWS SIZES SHOWN ARE THE PROPOSED WINDOWS WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/ OWNER TO REVIEW AND APPROVE.
- SPECIALTY WINDOWS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.

WINDOW LEGEND

AL	ALUMINUM & GLASS ANODIZED ALUMINUM
MTL	METAL
P	PAIN - COLOR BY OWNER

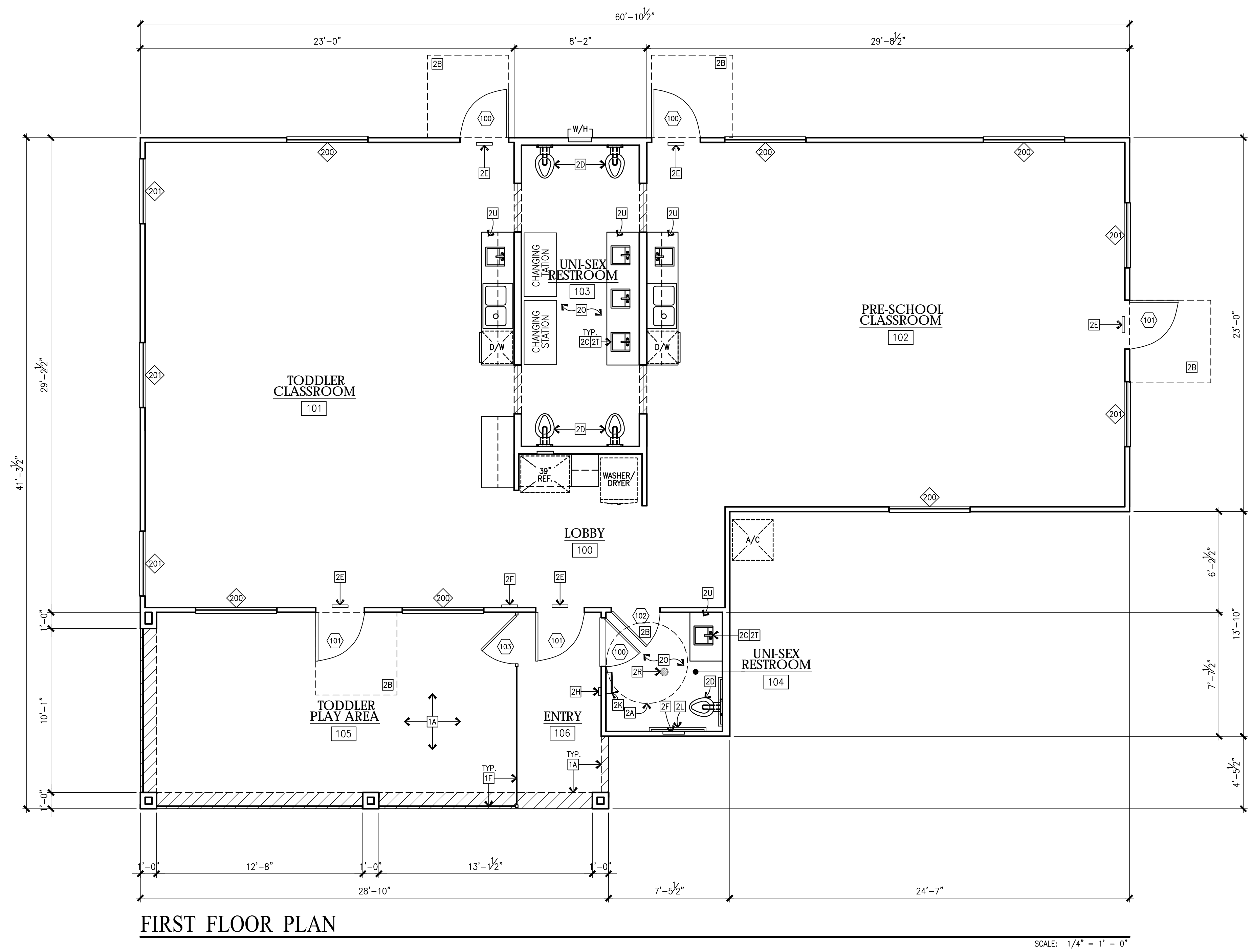
- NOTES:**
- MOUNTING HEIGHT OF ALL EQUIPMENT AND ACCESSORIES SHALL COMPLY WITH ANSI 4.25.
 - ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES, PROVIDED ON OR WITHIN WALLS, SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.
 - ALL HAND ACTIVATED DOOR OPENING HARDWARE REQUIRED SHALL BE LEVER TYPE PER C.B.C. 1008.1.9
 - MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, WITH SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS PER C.B.C. 1008.1.3

QUALITY ASSURANCE:

MANUFACTURERS AND MODEL NUMBERS ARE LISTED AS STANDARDS OF QUALITY. EQUIVALENT EQUIPMENT BY OTHER MANUFACTURERS MAY BE ACCEPTABLE IF, IN THE JUDGMENT OF THE BUILDER, THEY MEET THE INTENT OF THE SPECIFICATION IN TERMS OF DESIGN, FUNCTION, MATERIALS AND QUALITY OF WORKMANSHIP. OTHER MANUFACTURERS MAY BE PROPOSED FOR CONSIDERATION. EQUIPMENT SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

- FLOOR PLAN - LEGEND**
- NEW WALL
 - 12" GYPSUM BOARD DROP SOFFIT U.N.O. EXTERIOR SOFFIT - SEE ELEVATIONS
 - LAVATORY SINK
 - KITCHEN SINK: 36" DOUBLE WITH GARBAGE DISPOSAL
 - WATER CLOSET: CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND WITH NOT LESS THAN 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL

- FLOOR PLAN - KEYNOTES**
- EXTERIORS (REFER TO EXTERIOR ELEVATIONS)
 - LINE OF EXTERIOR SOFFIT - SEE ELEVATIONS
 - CONCRETE SLAB ON GRADE
 - DOOR LANDING MANEUVERING CLEARANCE PER SECTION 1133B.2.4.2
 - ACCESSIBLE ENTRANCE SIGN PER SECTION 1117B.5.1 - SEE DETAIL 14/AD.1
 - WROUGHT IRON FENCE
 - INTERIORS
 - 60" MINIMUM DIAMETER CLEAR WHEELCHAIR TURNING SPACE PER C.B.C. SECTION 11B-304.3.1
 - LEVEL AND CLEAR MANEUVERING CLEARANCE AT DOOR PER 11B-404.2.4.1 - 48" x 48" AT PUSH SIDE OF FRONT APPROACH DOOR, 60" x 60" AT PULL SIDE (36" WIDE DOOR)
 - ACCESSIBLE LAVATORY PER C.B.C. SECTIONS 11B-213.3.4 & 11B-606 - SEE DETAIL 1/AD.1
 - ACCESSIBLE WATER CLOSET PER C.B.C. SECTION 11B-213.3.2 & 11B-604 - SEE DETAIL 1/AD.1
 - TACTILE EXIT SIGN SHALL BE PROVIDED IN ACCORDANCE WITH 2016 CBC S 1011.4 AND THE INSTALLATION HEIGHT SHALL COMPLY WITH THE REQUIREMENTS OF 2016 CBC S 11B-703.4.1 SEE DETAIL 15/AD.1 & 2/AD.2
 - FIRE EXTINGUISHER
 - 22"x30" ATTIC ACCESS
 - KNOCK BOX SHALL BE MOUNTED ON THE BUILDING AT 6'-0" HT. NEXT TO MAIN ENTRANCE AND VISIBLE FROM THE ACCESS DRIVEWAY. (CFC 506.1)
 - PROVIDE SIGN "THIS DOOR SHALL REMAIN OPEN WHEN BUILDING OCCUPIED"
 - WATER CLOSET/TOILET - AMERICAN STANDARD "MADERA" 17" ELONGATED OR APPROVED EQUAL
 - SEMI-RECESSED PAPER TOWEL DISPENSER AND COVERED WASTE RECEPTACLE - BOBRICK MODEL # B-380328
 - GRAB BAR - SEE DETAIL 11/AD.1 PER C.B.C. SECTION 11B-609
 - UPPER CABINETS
 - LOWER CABINETS
 - PROVIDE SLIP-RESISTANT TILE FLOORING WITH TILE WAINSCOT AT +72" A.F.F. ALONG ALL SURROUNDING WALLS.
 - 2X6 METAL STUD WALL FRAMING, PROVIDE SOUND ATTENUATION INSULATION AT PLUMBING WALL LOCATION
 - FLOOR DRAIN
 - 1/2" MAX. BEVELED CHANGE IN ELEVATION AT ACCESSIBLE DOOR THRESHOLD PER C.B.C. SECTION 11B-303.3 - SEE DETAIL 15/AD.1
 - UNDER COUNTER LAVATORY - KOHLER "CAXTON" K-2210 OR APPROVED EQUAL W/ APPROVED ELECTRONIC SENSOR ACTIVATED FAUCET - PROVIDE ELECTRIC INSTANT WATER HEATER UNDER COUNTER - REFER TO PLUMBING DRAWINGS - MAINTAIN ACCESSIBILITY CLEARANCE REQUIREMENTS
 - COUNTERTOP-MOUNTED AUTOMATIC SOAP DISPENSER - BOBRICK MODEL NO. B-826 OR APPROVED EQUAL



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

RAW Construction & Design Co.
 General Contractor & Design Services
 25114 Kalmia Ave. Moreno Valley, CA 92557
 Phone: (951) 283-2437 rawconstructiondesign@gmail.com

Jan Peterson Child Development Center
 26895 Brodrene Ave. Moreno Valley, CA 92555
 Phone: (951) 801-9208
"New Building"

Issue Date
4/25/22

Revision Date

Design by:
Rene Alvarez

Project #
22-007

Sheet #
A-2



WEST ELEVATION



SOUTH ELEVATION

MATERIAL SCHEDULE

- 1: ROOF - LIGHT WEIGHT TILES - MAUFACTURER: EAGLE - COLOR: MATCH EXISTING COLOR
- 2: WALLS - STUCCO - MANUFACTURER: LA HABRA - COLOR: MATCH EXISTING COLOR
- 3: FASCIA - STUCCO - MANUFACTURER: LA HABRA - COLOR: MATHC EXISTING COLOR
- 4: STUCCO FOAM TRIM - MANUFACTURER: LA HABRA - COLOR: MATCH EXISTING COLOR
- 5: STUCCO WAINSCOTING - MANUFACTURER: LA HABRA - COLOR: MATCH EXISTING COLOR
- 6: WROUGHT IRON FENCE - COLOR: MATCH EXISTING COLOR OF ADJACENT BUILDINGS



EAST ELEVATION



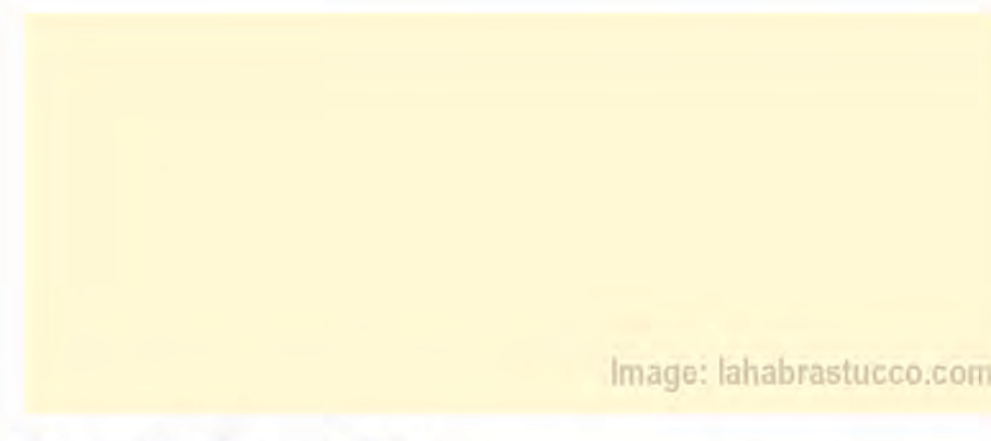
NORTH ELEVATION



Roof: Terra cotta tiles on main campus building.



Secondary Stucco Color:
LaHabra - X-11 Santana, acrylic finish



Primary Stucco Color:
LaHabra - X-55 French Vanilla, acrylic finish

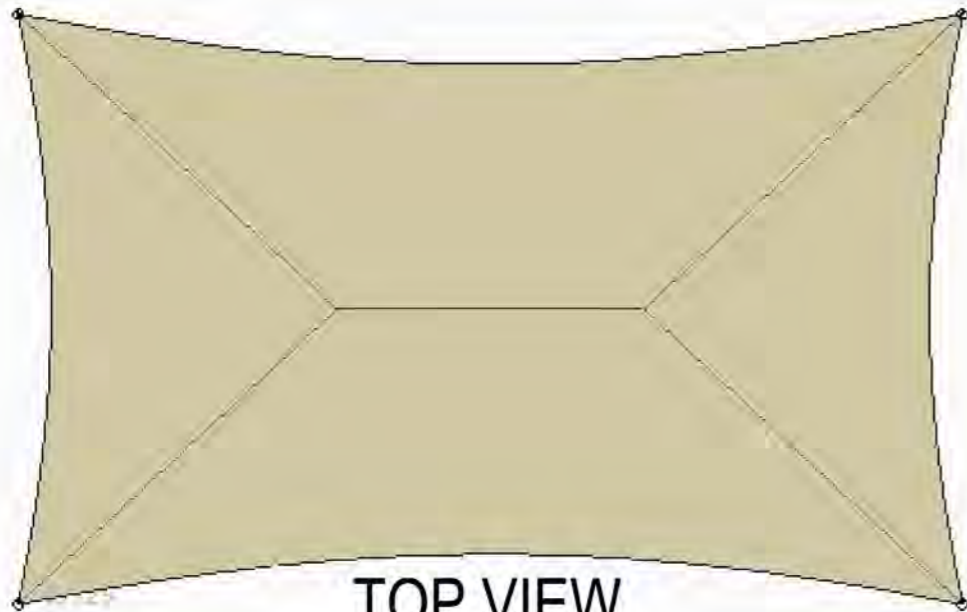
James Peterson Child Development Center
 26895 Brodiaea Ave. Moreno Valley, CA. 92555

RAW Construction & Design Co.

General Contractor & Design Services
 25114 Kalmia Ave. Moreno Valley, CA. 92557
 Phone (951) 283-2457 Email: rawconstructiondesign@gmail.com

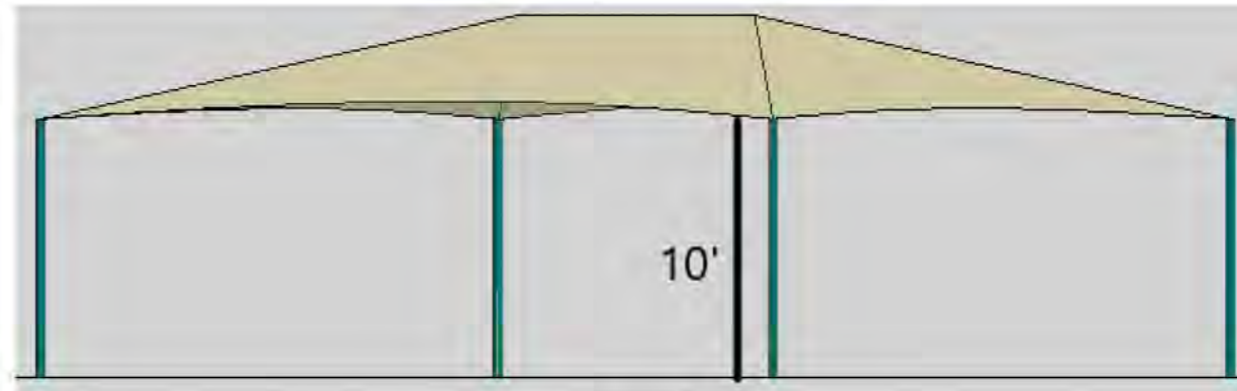
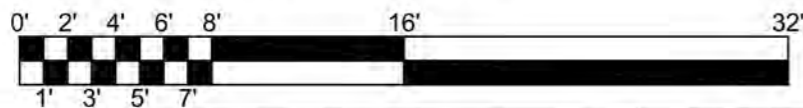
SHEET #
A-3





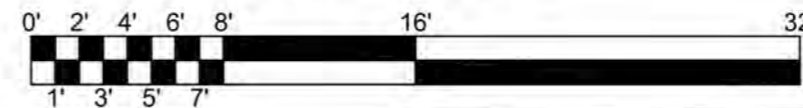
TOP VIEW

SCALE: 1/8" = 1'-0"



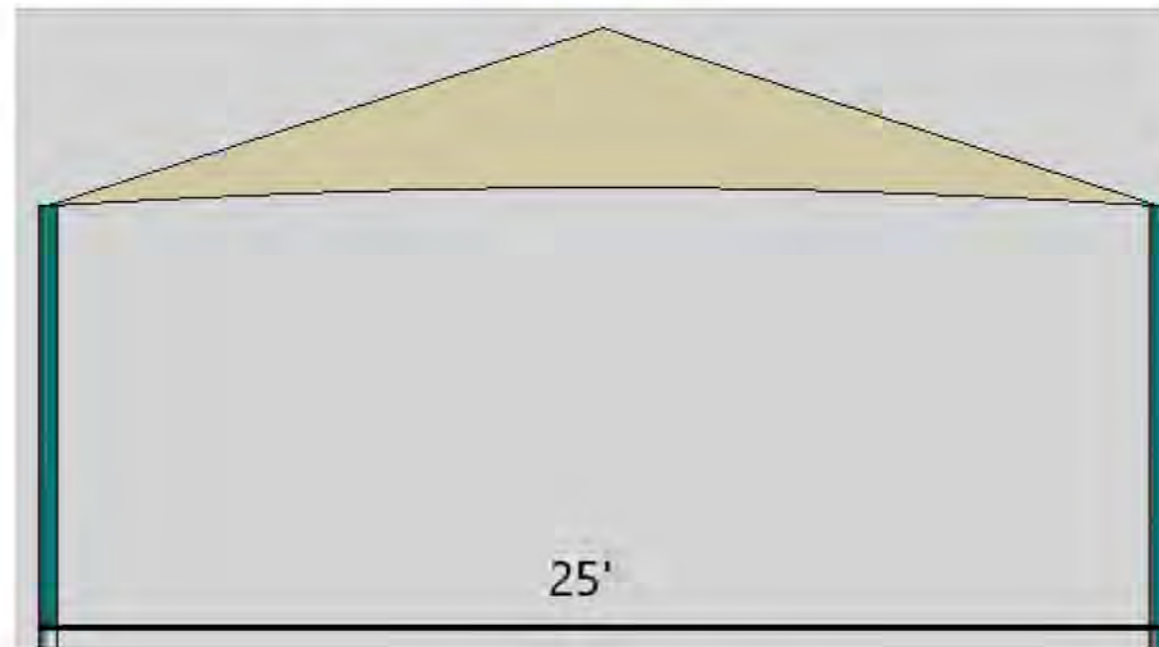
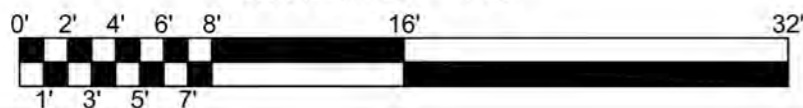
ISO VIEW

SCALE: 1/8" = 1'-0"



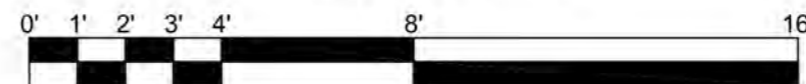
FRONT VIEW

SCALE: 1/8" = 1'-0"



SIDE VIEW

SCALE: 1/4" = 1'-0"



General Notes

Hip Canopy

No.	Revision/Issue	Date

Firm Name and Address
 Landrec
 Custom Shade Canopies
 info@landrec.com
 800-577-8093

Project Name and Address
 Project: Jan Marie CDC
 Sheet: S1-1

Scale: NTS

Attachment: Project Plans (6091 : PEN21-0099 Amended Conditional Use Permit)



Properties	Mass	Thickness	Fabric Width	Strip Tensile	Elongation at Break	Tearing Strength	Burst Strength	Burst Strength	Temp. Stability
Test Method	ASTM 3776	ASTM 1777	ASTM 3774	ASTM D 5034	ASTM D 4595-87	ASTM D 2261	ASTM 3787 Ball	ASTM 3786 Mullen	
				Warp Weft	Warp Weft	Warp Weft			
US	9.6 oz/yd	50.4 mil	118 in.	278 lbf 340 lbf	71% 74%	33 lbs 36 lbs	363 lb	460 psi	-13°F/+176°F
Metric	325 gsm	1.28 mm	3 m	1236 N 1512 N	71% 74%	147 N 160 N	1615 N	3172 kPa	-25°C/+80°C

Colors	UPF	UVR	Shade Factor	Fire Retardancy	Fire Resistance
Cream	13	92%	74%	Yes	ASTM E-84
Beige	33	97%	87%	Yes	ASTM E-84
True Blue	14	93%	89%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Forest Green	24	96%	94%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Silver	19	95%	93%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Sunblaze	14	94%	91%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Latte	18	95%	90%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Bottle Green	16	94%	91%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Charcoal	20	96%	94%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Midnight	33	98%	98%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Mint Green	18	95%	93%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Dove Blue	13	93%	90%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Oxide Red	14	93%	91%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Pearl Onyx	16	94%	86%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Purple	16	94%	86%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Olive	26	97%	96%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Yellow	16	94%	76%	Yes	ASTM E-84
Red	29	97%	86%	Yes	ASTM E-84
Brown	19	95%	93%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2
Navy Blue	23	96%	96%	Yes	CA 12371 Title 19 - CSFM NFPA-701 #2



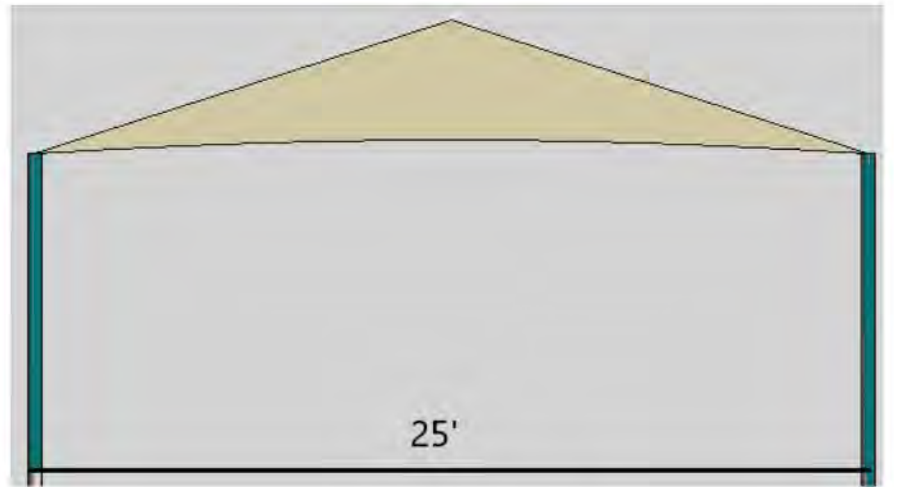
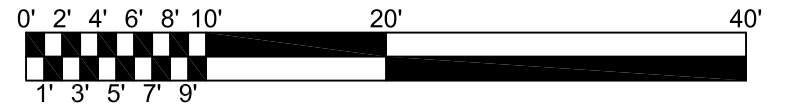
SHADE FABRIC COLOR - BEIGE



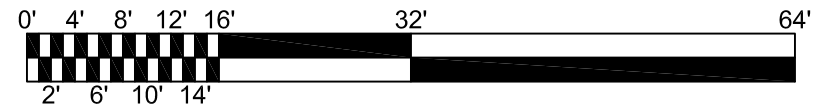

POWDER COATED POST
COLOR - TEAL



FRONT VIEW
SCALE: 3/32"=1'-0"



SIDE VIEW
SCALE: 3/16"=1'-0"



Attachment: Project Plans (6091 : PEN21-0099 Amended Conditional Use Permit)

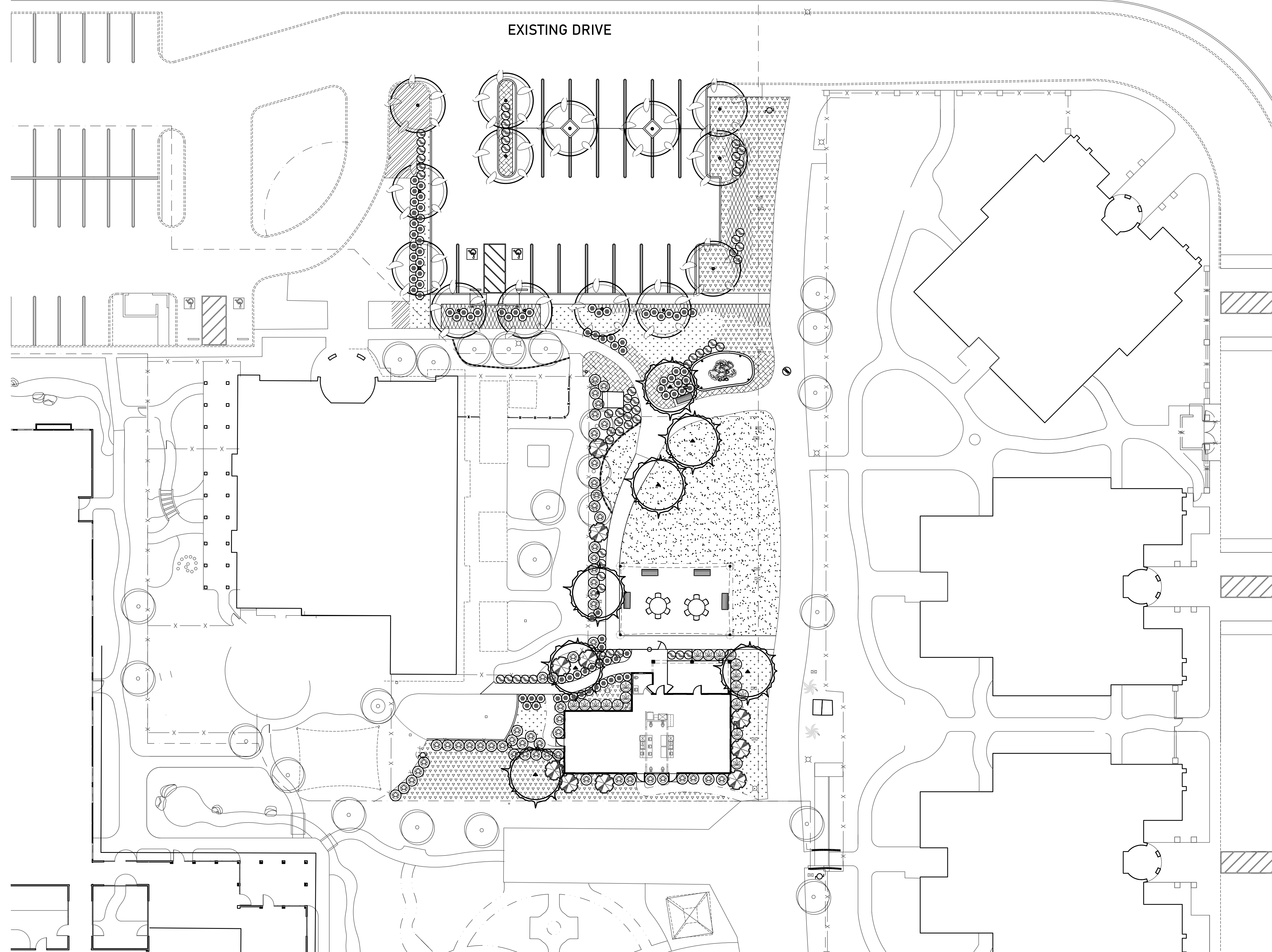
ELEVATIONS, MATERIALS, AND COLORS - FABRIC SHADE JAN PETERSON CHILD DEVELOPMENT CENTER INTEGRATED CARE COMMUNITIES

S1-2



BRODIAEA AVENUE

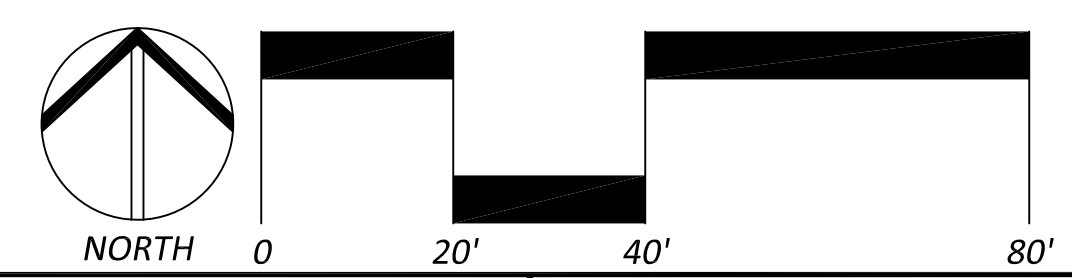
EXISTING DRIVE



PLANTING LEGEND:

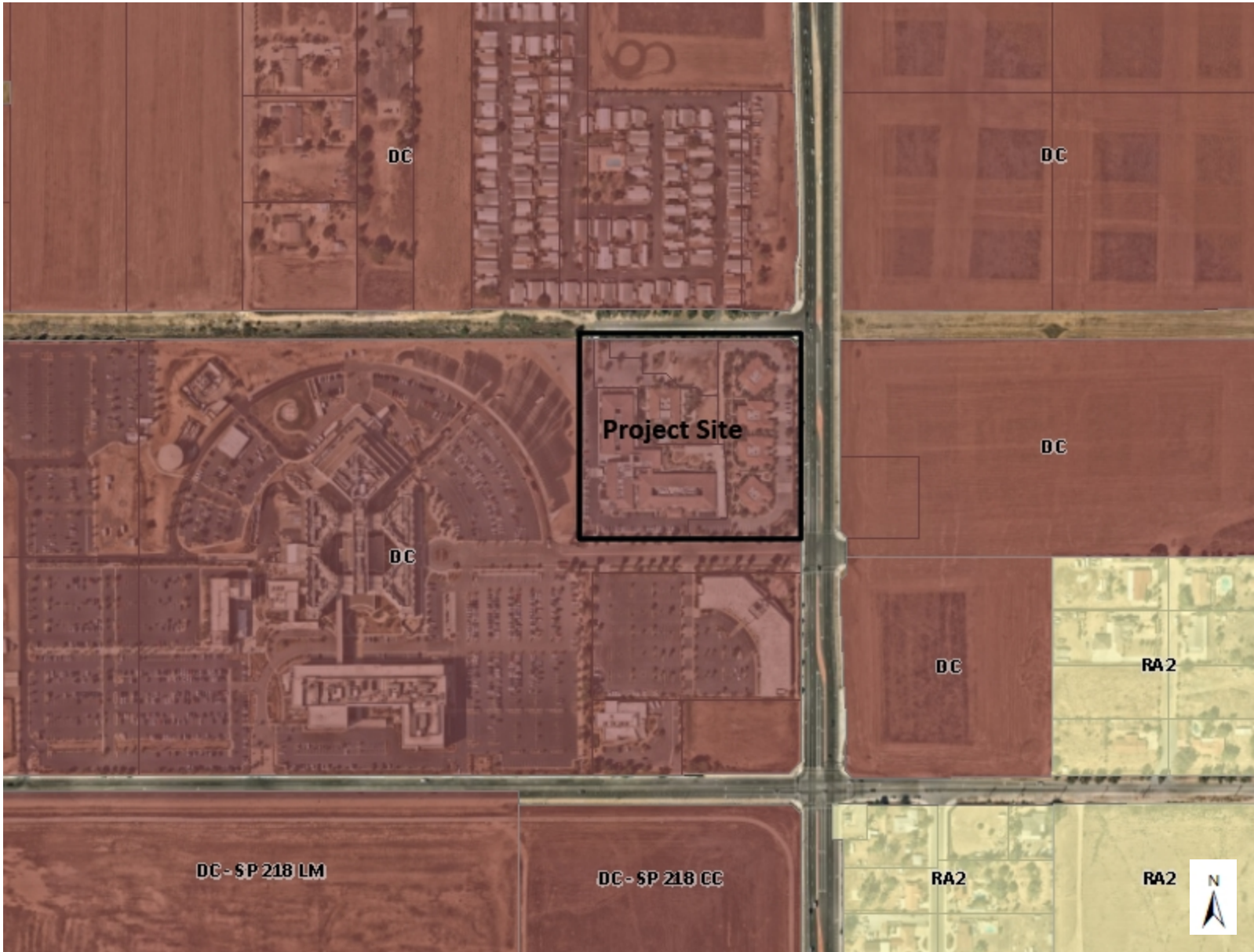
BOTANIC NAME	COMMON NAME	SIZE / SPACING	WUCOLS
TREES			
CUPANIOPSIS ANACARDIODES	CARROTWOOD	24" BOX	MOD.
ULMUS PARVIFOLIA 'TRUE GREEN'	EVERGREEN CHINESE ELM	15 GAL	MOD.
EXISTING TREE TO REMAIN, PROTECT IN PLACE			
SHRUBS / VINES			
ANIGOZANTHOS 'BIG RED'	BIG RED KANGAROO PAW	5 GAL	LOW
CISTUS PURPUREUS	ROCKROSE	5 GAL	LOW
ELEAGNUS PUNGENS 'FRUITLANDI'	FRUITLAND SILVERBERRY	5 GAL	LOW
MUHLENBERGIA CAPILLARIS	PINK MUHLY	5 GAL	LOW
RUSSELLIA EQUISETIFOMIS	FIRECRACKER PLANT	5 GAL	MOD.
GROUNDCOVERS			
BACCHARIS PILLULARIS 'PIGEON POINT'	DWARF COYOTE BUSH	1 GAL @ 72" O.C.	LOW
CAREX DIVULSA	BERKELEY SEDGE	FLATS @ 18" O.C.	LOW
DIANELLA REVOLUTA 'LITTLE' REV'	LITTLE REV FLAX LILY	1 GAL @ 18" O.C.	LOW
TEUCRIUM CHAMAEDRYS	GERMANDER	1 GAL @ 36" O.C.	LOW
SODDED TURF	TIFTUF BERMUDA AVAILABLE FROM A-G SOD FARMS 800-233-5254		HIGH
EXISTING LANDSCAPE AND IRRIGATION TO REMAIN, PROTECT IN PLACE			

- NOTES:**
- ALL TREES WITHIN 6' OF HARDSCAPE TO RECEIVE ROOTBARRIER PER DETAIL 'B', SHEET LP-2
 - ALL PLANTER AREAS TO RECEIVE A 3" MINIMUM DEPTH LAYER OF SHREDDED WOOD MULCH
 - PLANT WATER USE VALUES ARE PER WUCOLS IV PLANT LIST



REVIEW BY CITY STAFF	BENCHMARK	BASIS OF BEARING		CITY OF MORENO VALLEY			CITY OF MORENO VALLEY CUP AMENDMENT JAN PETERSON CHILD DEVELOPMENT CENTER COURTYARD EXPANSION PRELIMINARY LANDSCAPE	L-1 SHEET <u>7</u> OF <u>7</u> CITY ID No												
				ACCEPTED BY:	COMMUNITY WORKS DESIGN GROUP LANDSCAPE ARCHITECTURE 4649 Brockton Avenue Riverside, CA 92506 (951) 369-0700 www.cwdg.fun	UNDER THE SUPERVISION OF: SCOTT J. RICE RLA 5111														
				<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC</th> <th>APPR</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>EOB</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	MARK	DATE	INITIAL	DESCRIPTION	REC	APPR	DATE			EOB	REVISION				5/10/22 DATE	
MARK	DATE	INITIAL	DESCRIPTION	REC	APPR	DATE														
		EOB	REVISION																	

Zoning



Legend

Zoning

- Commercial
- Center Mixed Use
- Downtown Center
- Corridor Mixed Use
- Industrial/Business Park
- Public Facilities
- Highway Office/Commercial
- Office
- Business Flex
- Large Lot Residential
- Residential Agriculture 2 DU/AC
- Residential 2 DU/AC
- Suburban Residential
- Multi-family
- Open Space/Park

Parcels

Image Source: Nearmap

Notes:

PEN21-0099

867.2 0 433.59 867.2 Feet

DISCLAIMER: The information shown on this map was compiled from the City of Moreno Valley GIS and Riverside County GIS. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Riverside County and City of Moreno Valley will not be held responsible for any claims, losses or damages resulting from the use of this map.